

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 18, 2022

Lee Gamelsky, RA
Lee Gamelsky Architects P.C.
2412 Miles Rd. SE
Albuquerque, NM 87106

Re: FNHC Behavioral Health Outpatient Clinic
5110 Copper Ave. NE
Traffic Circulation Layout
Engineer's Stamp 03-05-2022 (K17-D118)

Dear Mr. Gamelsky,

The TCL submittal received 05-10-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: FNCH BEHAVIORAL Health OUTPATIENT Clinic Building Permit # _____ Hydrology File # _____
DRB# PR 2022-006872 SP-2022-00114 EPC# _____
Legal Description: LOT 1-A BLOCK 38 valley View Addition City Address OR Parcel 5110 Copper Ave N.E
Applicant/Agent: LEE GAMELSKY Architects P.C. Contact: LEE GAMELSKY
Address: 2412 Miles Rd SE Phone: 505. 842. 886/5
Email: lee @ lganm.com
Applicant/Owner: FNCH Contact: Linda son-stone
Address: 5608 Zuni Rd SE Phone: 505. 235 9998
Email: linda.son-stone @ FNCH.org

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: ☒
RE-SUBMITTAL: ☒ YES ☐ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE
Check all that apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 4 oct 2022

EXECUTIVE SUMMARY

- THE PROJECT IS LOCATED ON THE SOUTHWEST CORNER OF COPPER AVE. NE AND TRUMAN ST. NE.
- THE DEVELOPMENT CONCEPT FOR THE SITE IS TO DEVELOP A BEHAVIORAL HEALTH MEDICAL OUTPATIENT CLINIC. THE BUILDING WILL BE 5,803 GSF.
- THE EXISTING BUILDING WILL BE DEMOLISHED IN THE FUTURE. THE TRAFFIC CIRCULATION CONCEPT IS TO PROVIDE A NEW CURB CUT/ DRIVEPAD/ DRIVEWAY INTO THE SITE TO ACCOMMODATE BOTH ACCESS-EGRESS TRAFFIC. AN AMPLE "T" TURNAROUND IS PROVIDED AT THE WEST END OF THE PARKING LOT. THE PARKING LOT IS LOCATED OVER EXISTING ASPHALT, WITH NEW CONCRETE WHEEL STOPS PROVIDED. THE LENGTH OF THE DRIVE AISLE IS 143'-6". AN 8'-0" WIDE CONCRETE PEDESTRIAN/ HANDICAP ACCESS PATH IS DEFINED TO THE BUILDING ENTRANCE. THIS PROJECT WILL HAVE A MINIMAL IMPACT ON ADJACENT SITES, AS THE PARKING REQUIREMENTS ARE LESS THAN THE PREVIOUS USE ON THE SITE. THERE IS NO PREVIOUS TIS FOR THIS SITE.
- NO VARIANCES ARE REQUESTED.

GENERAL NOTES

- THIS PROPERTY IS IN THE PROCESS TO REPLAT INTO ONE PROPERTY. A SKETCH PLAT HAS BEEN SUBMITTED.
- ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. REFER TO COA STANDARD DETAIL #2430 AND #2415A.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT REMAIN OR BE INSTALLED IN THE CLEAR SIGHT TRIANGLE.
- THE SITE SLOPES GENERALLY FROM EAST TO WEST AT A SLOPE LESS THAN 1.10%. HANDICAP PAVING SLOPES AT 1.04%.

TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Armijo
Signed
10/18/2022
Date

KEYED NOTES

- 01100.01 PROPERTY LINE.
01100.03 DASHED LINE INDICATES ROOF ABOVE.
01100.08 ADA ACCESSIBLE PEDESTRIAN PATHWAY.
03200.01 EXISTING CONCRETE SIDEWALK/ PAD TO REMAIN.
03200.02 EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
03200.04 4" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SLAB/SIDEWALK. REINFORCE WITH 4X4-W2.3/W2.3 WELDED WIRE MESH, FLAT SHEETS ONLY. INSTALL ON CHAIRS CENTERED IN SLAB.
03200.07 CHAMFER OUTSIDE EDGE 3/4", TYPICAL.
03200.09 4000 PSI, AIR-ENTRAINED CAST IN PLACE CONCRETE FOOTING.
03200.13 CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2425A.
03200.14 CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415A.
03200.15 CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2430.
03200.19 PROVIDE A 4'-0" WIDE MINIMUM CONCRETE SIDEWALK/ PEDESTRIAN PATHWAY AROUND THE EXISTING ELECTRICAL POWER POLE AND ELECTRICAL CONDUIT.
03200.20 4000PSI AIR-ENTRAINED CONCRETE HEADER CURB. SEE SITE DETAILS.
03200.21 4000 PSI AIR-ENTRAINED EXTRUDED CONCRETE CURB 6" WIDE. SURFACE APPLIED.
03400.01 8'-0" X 8' X 6 1/2" PRECAST CONCRETE WHEEL STOP. PROVIDE (2) 18" LONG NO. 4 REBAR STAKES AT EACH WHEEL STOP. CENTER/ LOCATE WHEEL STOPS WITHIN THE PARKING SPACE AS INDICATED. NO. 4 REBAR CONTINUOUS.
05500.02 BIKE RACK: 1 1/2" OD SCHEDULE 40 BENT STEEL PIPE. SET IN CONCRETE FOOTING. SEE DETAIL. PRIME AND PAINT.
05500.20 (3) 3" LONG STUD BOLTS WELDED TO PIPE.
05800.05 (3) 1 1/2" LONG STUD BOLTS WELDED TO CHANNEL.
05800.06 EXISTING OVERHEAD DOOR.
08300.02 EXISTING MONUMENT SIGN ON POSTS. TO REMAIN. BOTTOM OF SIGN @ 8'-4" ABOVE EXISTING ASPHALT SURFACE.
10100.01 EXISTING TRAFFIC SIGN, TO REMAIN.
10100.02 MOTORCYCLE PARKING SIGN: ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE. SIGN LETTERING AND BORDERS ARE GREEN. SEE DETAIL. LOCATE SIGN CENTERED ON PARKING SPACE.
10100.04 ADA ACCESSIBLE PARKING SIGN: ALUMINUM OR FIBERGLASS PLATE: SIGN FIELD IS WHITE. SIGN LETTERING AND BORDERS ARE BLUE. SEE DETAIL. LOCATE SIGN CENTERED ON PARKING SPACE.
10100.05 EXISTING GAS METER. TO BE REMOVED WHEN BUILDING IS DEMOLISHED.
22400.10 EXISTING WATER METER.
22400.11 EXISTING WATER VALVE.
22400.12 EXISTING POWER POLE, TO REMAIN.
26200.06 EXISTING TRANSFORMER, TO REMAIN.
26200.07 EXISTING ELECTRICAL POWER PANEL. TO BE REMOVED WHEN BUILDING IS DEMOLISHED.
26200.08 EXISTING ELECTRICAL METER. TO BE REMOVED WHEN BUILDING IS DEMOLISHED.
26200.09 EXISTING ELECTRICAL VERTICAL CONDUIT TO REMAIN.
26800.02 EXISTING STREET LIGHT POLE, TO REMAIN.
31200.01 COMPACTED SUB-GRADE AT 95%, TYPICAL. SEE GEOTECHNICAL REPORT.
32100.01 EXISTING ASPHALT PAVING, TO REMAIN.
32100.03 PROVIDE AND INSTALL PARKING STRIPING. HANDICAP SYMBOL (36" X 36"), AND HANDICAP STRIPING. PROVIDE 6" WIDE X 2'-0" O.C. DIAGONAL PAINT STRIPING. SEE INDICATED LAYOUT. PROVIDE THE WORDS "NO PARKING" IN CAPITAL LETTERS, 1'-0" HIGH LETTERS X 2" WIDE STRIPES LOCATED SO AS TO BE CLOSE TO WHERE ADJACENT VEHICLE'S REAR TIRES WOULD BE PARKED. WHITE PARKING LINES AT REGULAR SPACE. AND BLUE COLOR AT HANDICAPPED SPACES AND ACCESS AISLE.
32100.04 PROVIDE 6" WIDE PAINT STRIPING, TYPICAL. SEE INDICATED LAYOUT.
32100.05 PROVIDE 12" WIDE PAINT STRIPING. SEE INDICATED LAYOUT.
32100.07 PROVIDE/ INSTALL ADHESIVE APPLIED DETECTABLE WARNING STRIP WITH TRUNCATED DOMES. 24" DEPTH IN DIRECTION OF TRAVEL X WIDTH OF LEVEL WALKING SURFACE. TRUNCATED DOMES PROVIDED PER ANSI SECTION 705.5.
32100.08 PROVIDE THE WORDS "MC" IN CAPITAL LETTERS, 1'-0" HIGH LETTERS X 2" WIDE STRIPES.
33100.02 EXISTING FIRE HYDRANT, TO REMAIN.

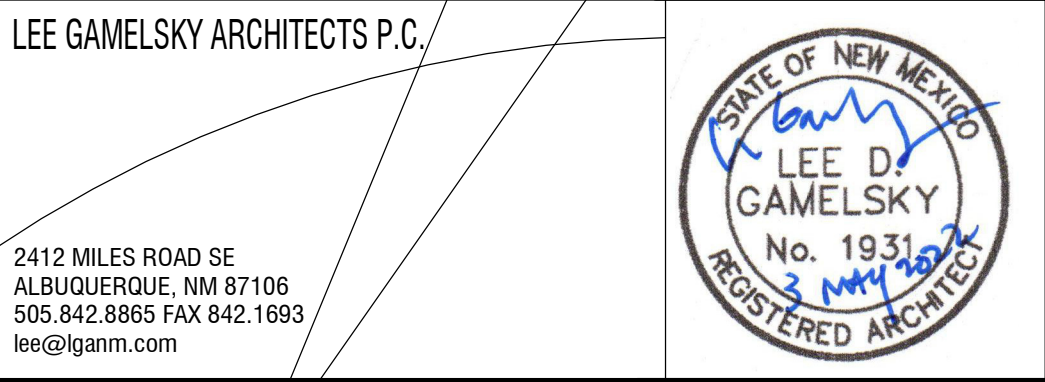


ZONE ATLAS MAP K-17-Z

ADDRESS:	5110 COPPER AVE. NE ALBUQUERQUE, NM 87108
LEGAL DESCRIPTION:	LOTS NUMBERED ONE (1) THROUGH SIXTEEN (16), INCLUSIVE, AND LOTS NUMBERED FORTY-ONE (41) THROUGH FIFTY-SIX (56), INCLUSIVE, IN BLOCK NUMBERED THIRTY-EIGHT (38) OF THE VALLEY VIEW ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 2, 1911, IN PLAT BOOK D1, FOLIO 32.
OVERALL SITE AREA:	2.27 ACRES
COA ZONING:	MX-M
ZONING REQUIREMENTS:	
SETBACKS:	FRONT = 5' SIDE = 5' REAR = 15'
BUILDING HEIGHT (MAX):	65' (PROJECT SITE IN PREMIUM TRANSIT AREA)
SETBACKS PROVIDED:	FRONT = 25' (TRUMAN ST. NE) SIDE = 17'-4" REAR = 102'-10"
PROPOSED BUILDING HEIGHT:	19'
TYPE OF DEVELOPMENT:	MEDICAL CLINIC (OUTPATIENT SERVICES)
TOTAL BUILDING AREA:	5,803 GROSS SF
PARKING REQUIREMENTS PER IDO 14-16-15:	
PARKING REQUIREMENTS: (PER MEDICAL OFFICES)	5 SPACES / 1,000 GSF
THEREFORE:	
PER BUILDING AREA: 5,803 GSF = 5.8 X 5 = 29 SPACES	1000
TRANSIT REDUCTION: 50% IF LOCATED IN PREMIUM TRANSIT AREA.	
50% X 29 = 14.5 = 15 SPACES ARE REQUIRED	
VEHICLE PARKING PROVIDED:	
17 PARKING SPACES (INCLUDING HANDICAP ACCESSIBLE)	17 IS > 15, THEREFORE OK.
HANDICAPPED PARKING REQUIREMENTS:	1 SPACE
HANDICAPPED PARKING PROVIDED:	1 SPACE
MOTORCYCLE SPACES REQUIRED:	1 SPACE
MOTORCYCLE SPACES PROVIDED:	1 SPACE
BIKE SPACES REQUIRED:	3
BIKE SPACES PROVIDED:	3

LEGEND

	NEW 6' HIGH FENCE W/ STEEL POSTS.
	EXISTING CONCRETE SIDEWALK TO REMAIN.
	NEW CONCRETE SIDEWALK.
	MOTORCYCLE PARKING.
	PAINTED ASPHALT INDICATING PEDESTRIAN PATH, 8'-0" WIDE.



FNHC BEHAVIORAL HEALTH OUTPATIENT CLINIC
5110 COPPER AVE. NE, ALBUQUERQUE, NEW MEXICO

PROJECT ARCHITECT:
LEE GAMELSKY, AIA

Project #:
21-01-FNCH

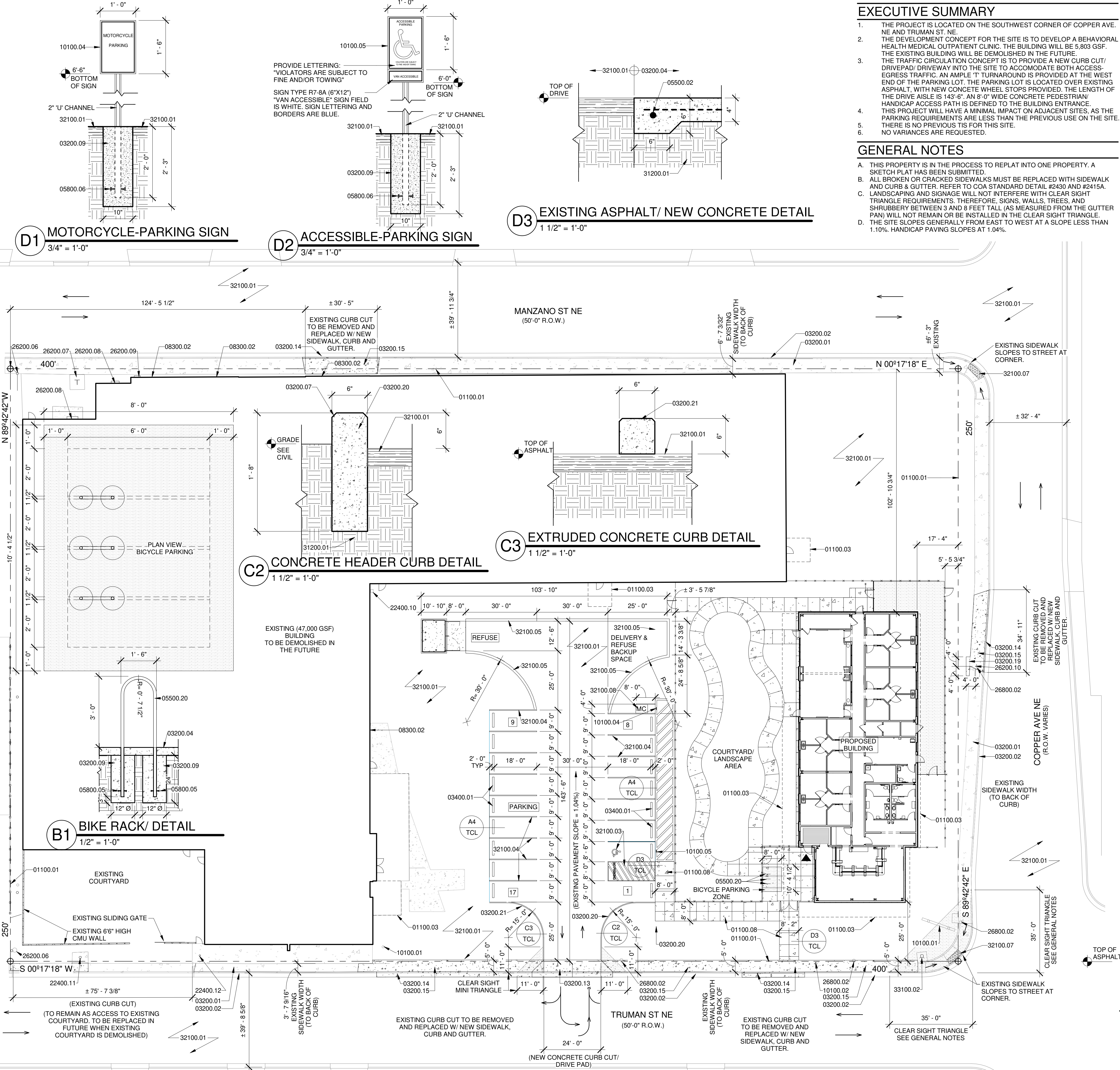
Date:
5.3.2022

TRAFFIC CIRCULATION LAYOUT PLAN

By:
File:

Sheet:
Of:

TCL



D1 MOTORCYCLE-PARKING SIGN
3/4" = 1'-0"

D2 ACCESSIBLE-PARKING SIGN
3/4" = 1'-0"

D3 EXISTING ASPHALT/ NEW CONCRETE DETAIL
1 1/2" = 1'-0"

C2 CONCRETE HEADER CURB DETAIL
1 1/2" = 1'-0"

C3 EXTRUDED CONCRETE CURB DETAIL
1 1/2" = 1'-0"

B1 BIKE RACK/ DETAIL
1/2" = 1'-0"

A1 TRAFFIC CIRCULATION LAYOUT PLAN
1" = 20'-0"

A4 WHEEL-STOP DETAIL
1 1/2" = 1'-0"