



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: The 66
Building Permit #: _____ Hydrology File #: _____
Zone Atlas Page: K17 DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Block 44 Valley View Addition
Development Street Address: 4501 Central Ave NE
Applicant: Scott Anderson Contact: _____
Address: 4419 4th St NW 87107
Phone#: 505 401 7575 Fax#: _____
E-mail: scott@scaarchitects.com

Development Information

Build out/Implementation Year: 2024 Current/Proposed Zoning: MX-M
Project Type: New: ☒ Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()
Change of Zoning: ()
Proposed Use (mark all that apply): Residential: ☒ Office: () Retail: () Mixed-Use: ()
Describe development and Uses:
96 unit apartment
Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): 95,352
Number of Residential Units: 96
Number of Commercial Units: 0

Traffic Considerations

ITE Trip Generation Land Use Code _____
Expected Number of Daily Visitors/Patrons (if known):* _____
Expected Number of Employees (if known):* 3
Expected Number of Delivery Trucks/Buses per Day (if known):* _____
Trip Generations during PM/AM Peak Hour (if known):* _____
Driveway(s) Located on: Street Name Central & @ Copper

ITE land Use #220
Multi-Family (Low-Rise)
96 DUs
AM peak 53 trips
PM peak 62 trips

Adjacent Roadway(s) Posted Speed: Street Name Adamas NE Posted Speed 25
Street Name _____ Posted Speed _____

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Main St Corridor
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N/A
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____
(if applicable)

Adjacent Transit Service(s): _____ Nearest Transit Stop(s): _____

Is site within 660 feet of Premium Transit?: Yes

Current/Proposed Bicycle Infrastructure: _____
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: _____

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No ☒

Thresholds Met? Yes [] No ☒

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes:

M.P. P.E.

3/13/2023

TRAFFIC ENGINEER

DATE

Submittal

Approved for access by the Solid Waste Department for a double trash enclosure
The refuse and recycle driver will be given gate clickers for the gates off of Copper
**The owner of this property will have to purchase an 8-cubic yard dumpster
for trash.** Herman Gallegos 03-13-23 *Herman Gallegos*



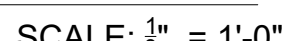
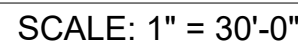
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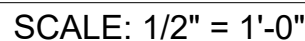
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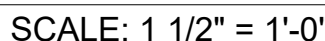
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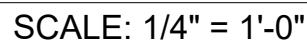
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SCALE: 1/2" = 1'-0"



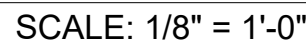
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SCALE: 1/4" = 1'-0"



SCALE: NTS



SCALE: 1/8" = 1'-0"

GRADE LEVEL OPEN SPACE = 10,937 SF PROVIDED
UPPER FLOOR BALCONIES & DECKS = 2,278 SF PROVIDED

- A. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE.
- B. 12 SPACE BIKE RACK, REF DETAIL THIS SHEET
- C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- D. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- E. NEW FIRE HYDRANT
- F. IRRIGATION BOX
- G. NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- H. FIRE DEPT. CONNECTION
- I. H. PARKING SYMBOL.
- J. 6" CMU WALL
- K. CURB, REF DETAIL THIS SHEET
- L. EXISTING PROPERTY LINE
- M. VEHICULAR GATE
- N. EXISTING POWER POLE. NEW POWER POLES WILL BE AGAINST BACK OF CURB OR KNOX BOX.
- O. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- Q. EXISTING CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2418, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- R. 6" WROUGHT IRON FENCE
- S. REFUSE CONTAINER, REF DETAIL THIS SHEET
- T. RECYCLING CONTAINER, REF DETAIL THIS SHEET
- U. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING C
- V. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING A
- W. PEDESTRIAN GATE
- X. EXISTING LIGHT POLE TO REMAIN
- Y. NEW FIRE HYDRANT
- Z. EXISTING BRICK PAVERS TO REMAIN
- AA. EXISTING LANDSCAPING TO REMAIN
- AB. "DO NOT ENTER" SIGN, REF DETAIL THIS SHEET
- AC. WALL MOUNTED CAR CHARGING STATION

The map displays a street grid in the Nob Hill/Highlands area. A red outline highlights a specific area labeled "Nob Hill/Highlands CPO-3". The map includes various street names such as Broadway, Alameda, and streets from R-1B to R-10B. It also shows landmarks like Highland High School and various lot numbers and street names.

SCALE:NTS

