

City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: The 66			
Building Permit #: Hydrology File #:			
Zone Atlas Page: KIT DRB#:EPC#:	Work Ord	er#:	
Zone Atlas Page: K17 DRB#: EPC#: Legal Description: Block 44 Valley Viaux	Addition		
Development Street Address: 4501 cantral Ave N	E		
Applicant: Scott Anderson	Contact:		
Address: 4419 4+5+ NW 87107			
Phone#: 505 401 7575 Fax#: E-mail: Scott@ Scaarch: tects.com			
E-mail: scott@ scaarchitects.com			
Development Information			
Build out/Implementation Year: 2024 Current/Proposed Zoning: MK-M			
Project Type: New: (X) Change of Use: () Same Use/Unchanged:	() Same Use/Increased	Activity: ()	
Change of Zoning: ()			
Proposed Use (mark all that apply): Residential: (X) Office: () Reta	nil: () Mixed-Use: ()		
Describe development and Head			
96 unit apartment			
		E	
Days and Hours of Operation (if known):			
1			
Facility			
Building Size (sq. ft.): 95, 352			
Number of Residential Units:			
Number of Commercial Units:			
Traffic Considerations			
TE Trip Generation Land Use Code	ITE land Use #220	_	
Expected Number of Daily Visitors/Patrons (if known):*	Multi-Family (Low-Rise)		
Expected Number of Employees (if known):*	96 DUs		
Expected Number of Delivery Trucks/Buses per Day (if known):*	AM peak 53 trips PM peak 62 trips		
Trip Generations during PM/AM Peak Hour (if known):*			
Driveway(s) Located on: Street Name Cantral \$ (9 Copp	2'		

Adjacent Roadway(s) Posted Speed: Street Name	Adamas NE	Posted Speed 2.5
Street Name		Posted Speed
* If these values are not known, assum	ptions will be made by City sta	ff. Depending on the assumptions, a full TIS may be required.)
Roadway Information (adjacent to site)		
Comprehensive Plan Corridor Designation/Fur (arterial, collector, local, main street)	nctional Classification:	Main St Corridor
Comprehensive Plan Center Designation:(urban center, employment center, activity center, etc.)	N/A	
Jurisdiction of roadway (NMDOT, City, Coun	ty): City	
Adjacent Roadway(s) Traffic Volume:		nme-to-Capacity Ratio (v/c):
Adjacent Transit Service(s):	Nearest Trans	it Stop(s):
Is site within 660 feet of Premium Transit?:	Yes	
Current/Proposed Bicycle Infrastructure:(bike lanes, trails)		
Current/Proposed Sidewalk Infrastructure:		
Relevant Web-sites for Filling out Roadway I City GIS Information: http://www.cabq.gov/gis/s		
Comprehensive Plan Corridor/Designation: See	GIS map.	
Road Corridor Classification: https://www.mrcc PDF?bidld=	og-nm.gov/DocumentCenter	/View/1920/Long-Range-Roadway-System-LRRS-
Traffic Volume and V/C Ratio: https://www.mrcd	og-nm.gov/285/Traffic-Cour	nts and https://public.mrcog-nm.gov/taqa/
Bikeways: http://documents.cabq.gov/planning/add	opted-longrange-plans/BTFF	P/Final/BTFP%20FINAL Jun25.pdf (Map Pages 75 to
TIS Determination		
<u>Note:</u> Changes made to development proposal TIS determination.	s / assumptions, from the	information provided above, will result in a new
Traffic Impact Study (TIS) Required: Yes [] No N	
Thresholds Met? Yes [] No		
Mitigating Reasons for Not Requiring TIS:	Previously Studied: [j
Notes:		
MP-P.E.	3/13/2023	
TRAFFIC ENGINEER	DATE	

Submittal

SOLID WASTE NOTES:

THE DEVELOPMENT HAS GATES, OWNER TO PROVIDE THE REFUSE DRIVER WITH REMOTE CONTROL GATE OPENER.

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

THERE IS NO FOOD SERVICE FOR THIS PROJECT.

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE

THIS FACILITY WILL NOT DISTRIBUTE, OR PROCESS FOOD, OR DRINK THAT WOULD LEAK FROM THE REFUSE CONTAINER.

THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY

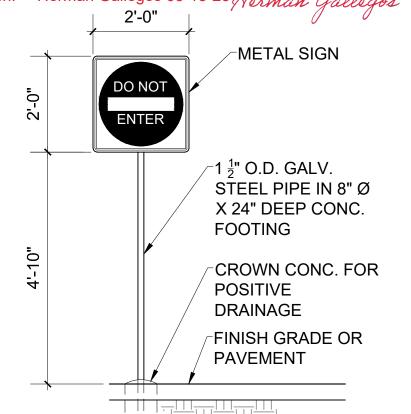
THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED COLLECTION POINT ON COLLECTION DAY.

OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.

Approved for access by the Solid Waste Department for a double trash enclosure The refuse and recycle driver will be given gate clickers for the gates off of Copper. **The owner of this property will have to purchase an 8-cubic yard dumpster for trash.** Herman Gallegos 03-13-23 Herman Gallegos



476.62' 471.10' 20 ON STREET SPACES **BUILDING 1** 3 FLOORS 31,874 SF 1 BEDROOM: 72 2 BEDROOM: 24 361.50' 61.67' 54.00' 14.59' 495.54'

ADAMS ST NE

DO NOT ENTER SIGN

SCALE: NTS

SCALE: NTS

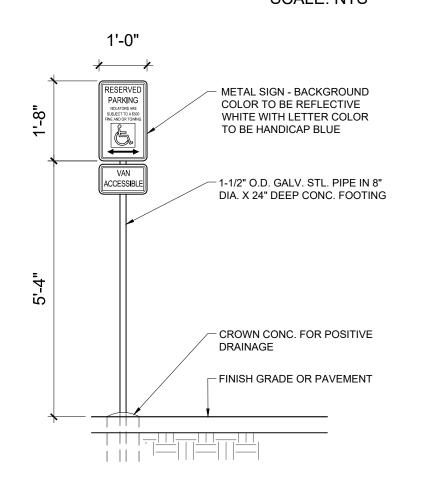
- 3/4" FILLET

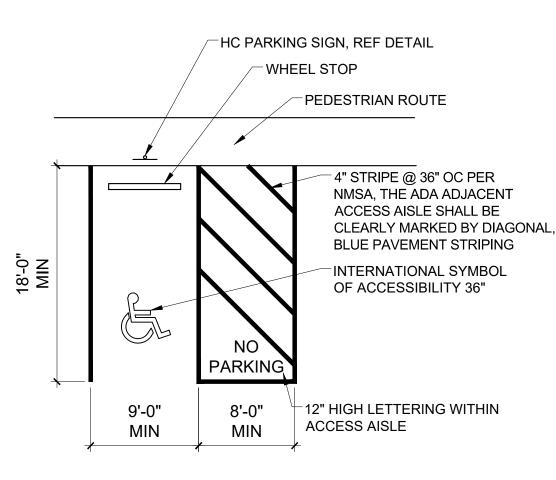
CONCRETE CURB

PAVING, REF PLAN

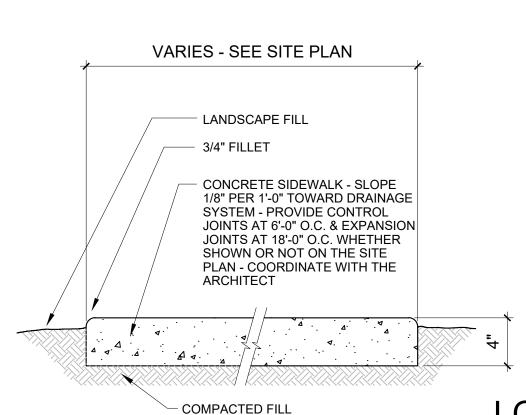
SUBGRADE

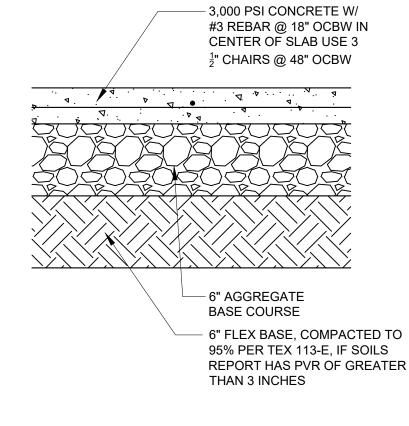
COMPACTED FILL





SITE PLAN



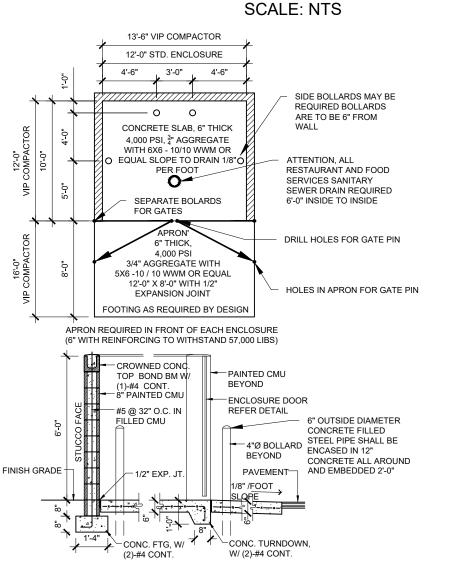


SCALE: 1" = 30'-0"

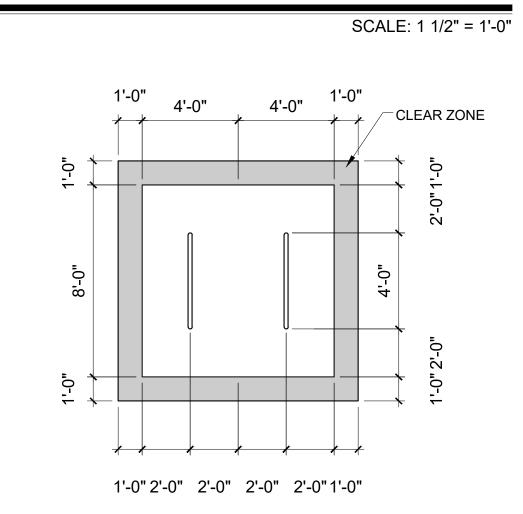
LOW ALBEDO PAVING SECTION

ADA PARKING

1'-2" METAL SIGN - BACKGROUND COLOR TO BE REFLECTIVE WHITE WITH LETTER COLOR TO BE RED QEO - 1-1/2" O.D. GALV. STL. PIPE IN 8" DIA. X 24" DEEP CONC. FOOTING - CROWN CONC. FOR POSITIVE FINISH GRADE OR PAVEMENT



SIDEWALK DETAIL



REFUSE ENCLOSURE

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK

PROVIDE ELECTRIC VEHICLE CHARGER AT EACH BAY OF LEASED GARAGES

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO

ZONE ATLAS PAGE: K-17 GROSS LOT AREA = 1.6139 AC = 70,301SF BUILDING FOOTPRINT = 31,561 SF

LEGAL: BLOCK 44, VALLEY VIEW ADDITION

UPC: 101705731123943209

ZONING: MX-M (UC-MS-PT)

NET LOT AREA = 38,740 SF

REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF; 74,520 SF PROVIDED MULTI-FAMILY 1 BEDROOM: 72 EACH X 1 SPACES (UC-MS-PT) = 72 SPACES

2 BEDROOM: 24 EACH X 1 SPACES (UC-MS-PT) = 24 SPACES LEASING OFFICE 668 SF X 0.0035 = 2.4 SPACES REQUIRED TOTAL SPACES REQUIRED = 98 SPACES SPACES PROVIDED = 115 SPACES

98 SPACES X 2% = 3 CHARGING SPACES REQUIRED, 6 PROVIDED

HC REQUIRED: 3 STANDARD, 2 VAN MOTORCYCLE PARKING 151-300 SPACES: 4 SPACES REQUIRED / 6 PROVIDED BIKE PARKING 10% OF 115: 12 REQUIRED, 12 SPACES PROVIDED

IDO TABLE 5-1-2 OPEN SPACE: 1 BEDROOM: 72 EA X 225 SF X 0.5 (UC-MS-PT) = 8,100 SF

2 BEDROOM: 24 EA X 285 SF X 0.5 (UC-MS-PT) = 3,420 SF

TOTAL REQUIRED = 11,520 SF

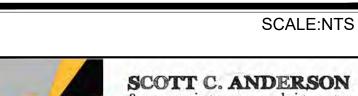
GRADE LEVEL OPEN SPACE = 10,937 SF PROVIDED UPPER FLOOR BALCONIES & DECKS = 2,278 SF PROVIDED

KEYED NOTES

- A. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING
- B. 12 SPACE BIKE RACK, REF DETAIL THIS SHEET
- C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- D. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- E. NEW FIRE HYDRANT
- F. IRRIGATION BOX G. NEW 6' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE,
- REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430 H. FIRE DEPT. CONNECTION
- HC PARKING SYMBOL 6' CMU WALL
- K. CURB, REF DETAIL THIS SHEET
- L. EXISTING PROPERTY LINE M. VEHICULAR GATE
- N. EXISTING POWER POLE. NEW POWER POLES WILL BE AGAINST BACK OF CURB. O. KNOX BOX
- P. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS,
- TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- Q. EXISTING CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2418, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- R. 6' WROUGHT IRON FENCE S. REFUSE CONTAINER, REF DETAIL THIS SHEET
- T. RECYCLING CONTAINER, REF DETAIL THIS SHEET
- U. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING C
- V. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443,
- DRAWING A W. PEDESTRIAN GATE
- X. EXISTING LIGHT POLE TO REMAIN Y. NEW FIRE HYDRANT
- Z. EXISTING BRICK PAVERS TO REMAIN AA. EXISTING LANDSCAPE TO REMAIN
- AB. "DO NOT ENTER" SIGN, REF DETAIL THIS SHEET AC. WALL MOUNTED CAR CHARGING STATION

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER







THE SIXTY-SIX 4501 CENTRAL AVE NE ALBUQUERQUE, NM 87108

DRAWING TITLE SITE PLAN PROJECT NO CHECKED No. 4341 3/6/2023 REVIEWED

3/6/2023

CURB AND GUTTER

10"

HC SIGN

NOTE: PROVIDE CONTROL JOINTS

AT 6'-0" O.C. & EXPANSION JOINTS AT 18'-0" O.C.

. 44.

SCALE: NTS

MOTORCYCLE SIGN

SCALE: 1/2" = 1'-0"

SCALE: $\frac{1}{8}$ " = 1'-0"

BIKE PARKING

SCALE: 1/4" = 1'-0"

SCALE: 1/8" = 1'-0"