

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 20, 2023

Scott C. Anderson, RA
Scott Anderson & Associates Architects.
4419 4th St. NW
Albuquerque, NM 87107

Re: The 66
4501 Central Ave. NE
Traffic Circulation Layout
Architect's Stamp 03-06-23 (K17-D123)

Dear Mr. Anderson,

Based upon the information provided in your submittal received 04-07-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing access easements and rights of way width dimensions.
2. Please show on the site plan the site accesses width off Central Ave and Copper Ave.
3. Maximum access width for arterial, collector, and local streets are as follows:

| | Arterial& Collector | Local Streets |
|------------------|------------------------|------------------|
| One-way Drive | 20'-25' | 12'-20' |
| Two-Lane Drive | 22'-30' | 22'-24' |
| Three-Lane Drive | 24'-35' | 22'-30' |
| Larger Vehicles | ≤50' | ≤30' |

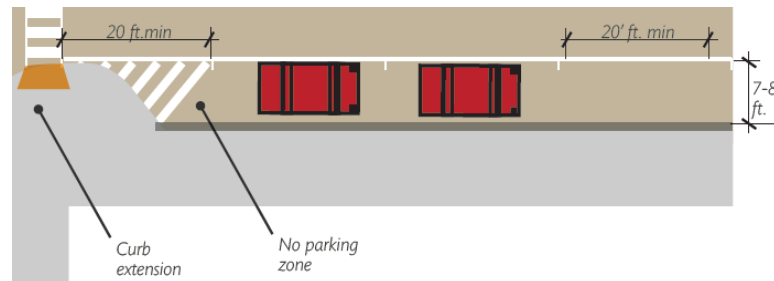
4. Keynote A: Provide the radius for the both proposed driveway accesses.
5. Provide the type of gate off Central Ave. and show on the site plan a setback allows at least one vehicle in the queue before the gate.
6. Provide turning around template for both site accesses.
7. Provide the dimensions for the on-street parking spaces.
8. Please show on the site plan a minimum 20ft. long no parking zone between the pedestrian crossing and the nearest on-street parking space.

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9. Please revised the site plan, the number of the parking spaces at the east side of the site is 46.
10. Please show on the site plan a minimum 4 ft. wide ADA pathway around each obstacle on the public sidewalk off Adams St. and Copper Ave.
11. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
12. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
13. Bicycle racks shall be sturdy and anchored to a concrete pad.
14. A 1-foot clear zone around the bicycle parking stall shall be provided.
15. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
16. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
17. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
18. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
19. Provide a copy of Fire Marshal approval.
20. Show on the site plan the Intersection clear site triangle at the corner of Central and Adams St. and at the corner of Adams St. and Copper Ave.

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21. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
22. Please specify the City Standard Drawing Number when applicable.
23. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
24. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

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If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Albuquerque

Marwa Al-najjar

NM 87103

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: The 66 Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Block 44 Valley View Addition

City Address: 4501 Central Ave NE

Applicant: Scott Anderson Contact: _____

Address: 4419 4th St NW Ste B, Alb. NM, 87107

Phone#: 505 401 7575 Fax#: _____ E-mail: scott@scarchitects.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

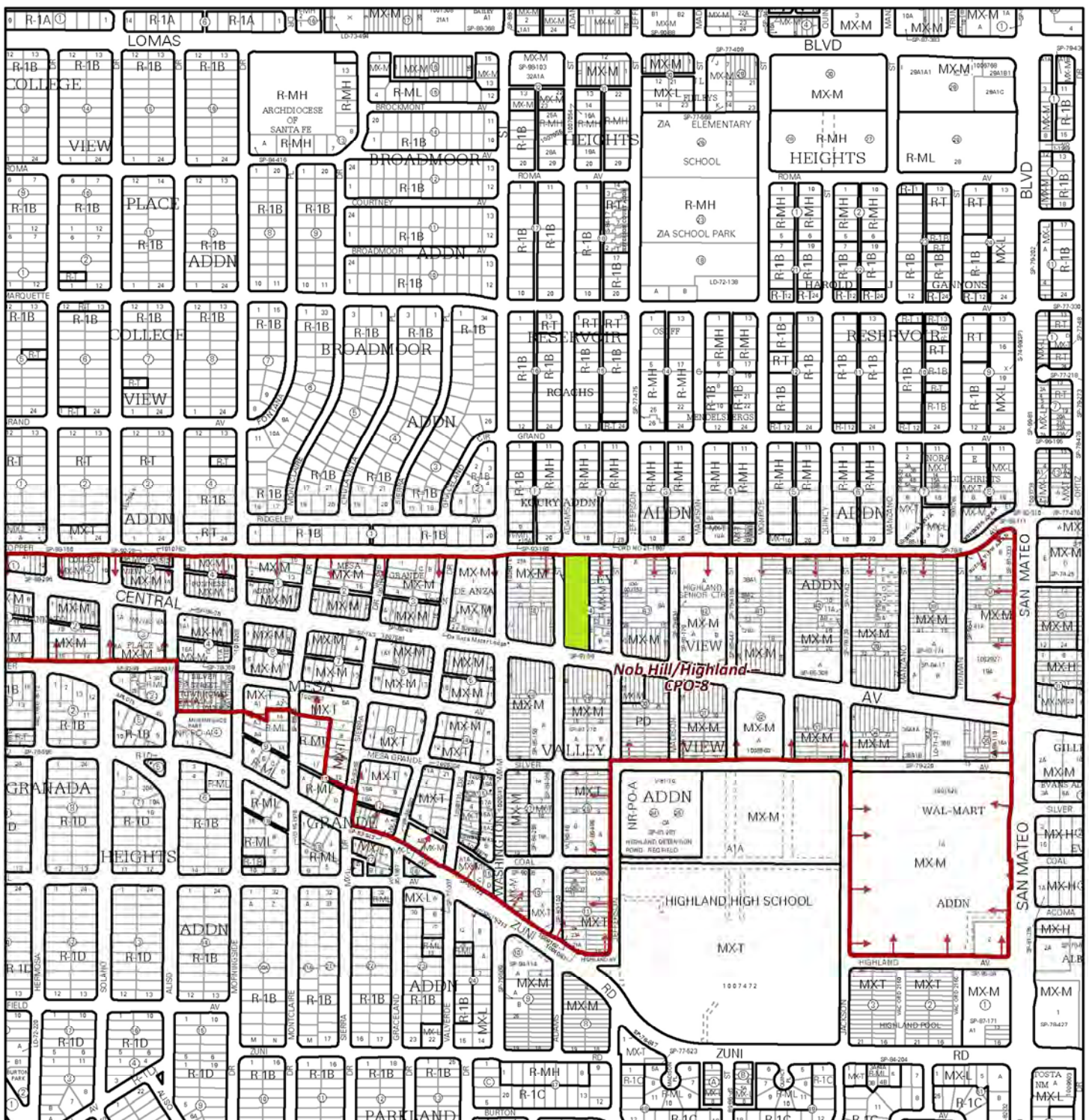
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 3/13/23 By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
K-17-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet

SOLID WASTE CALCS:
96 UNITS X 0.55 CY = 53 CY PER WEEK

SOLID WASTE NOTES:

THE DEVELOPMENT HAS GATES, OWNER TO PROVIDE THE REFUSE DRIVER WITH REMOTE CONTROL GATE OPENER.

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

THERE IS NO FOOD SERVICE FOR THIS PROJECT.

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE. SEE KEYED NOTE.

THIS FACILITY WILL NOT DISTRIBUTE, OR PROCESS FOOD, OR DRINK THAT WOULD LEAK FROM THE REFUSE CONTAINER.

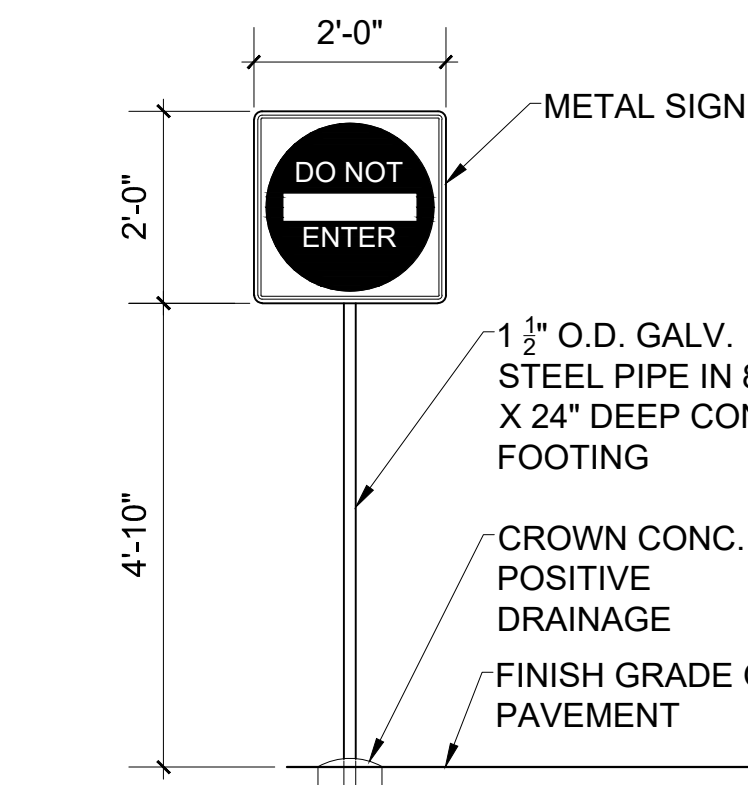
THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY 5:00AM.

THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

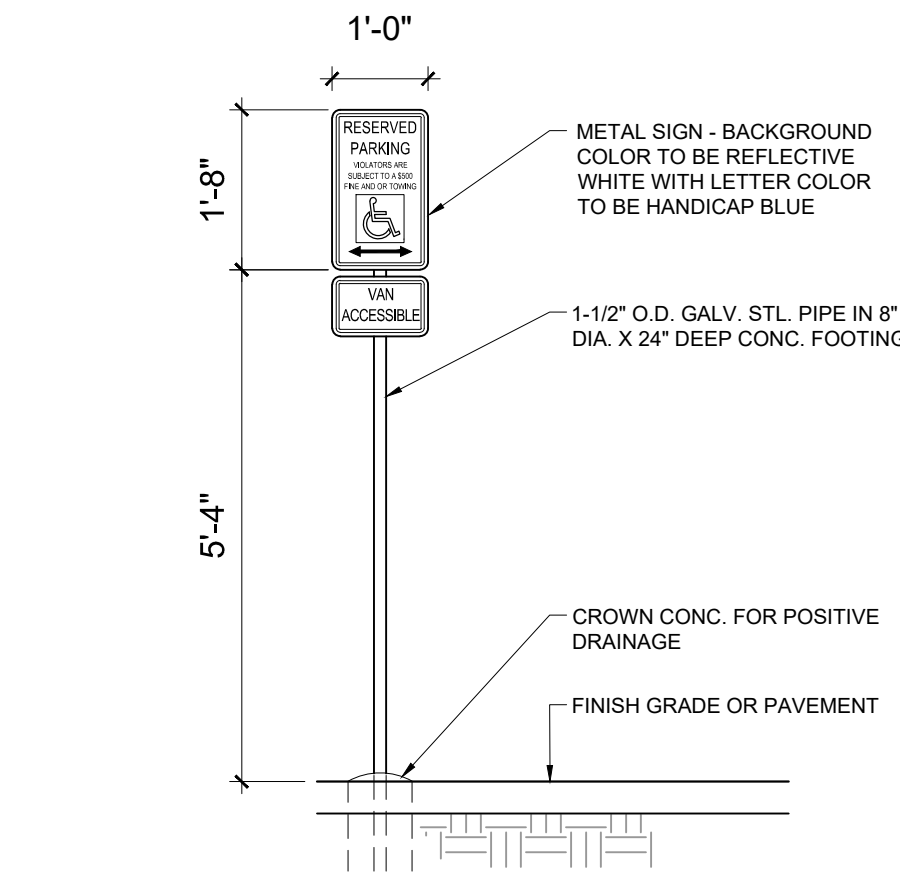
PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED COLLECTION POINT ON COLLECTION DAY.

OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.



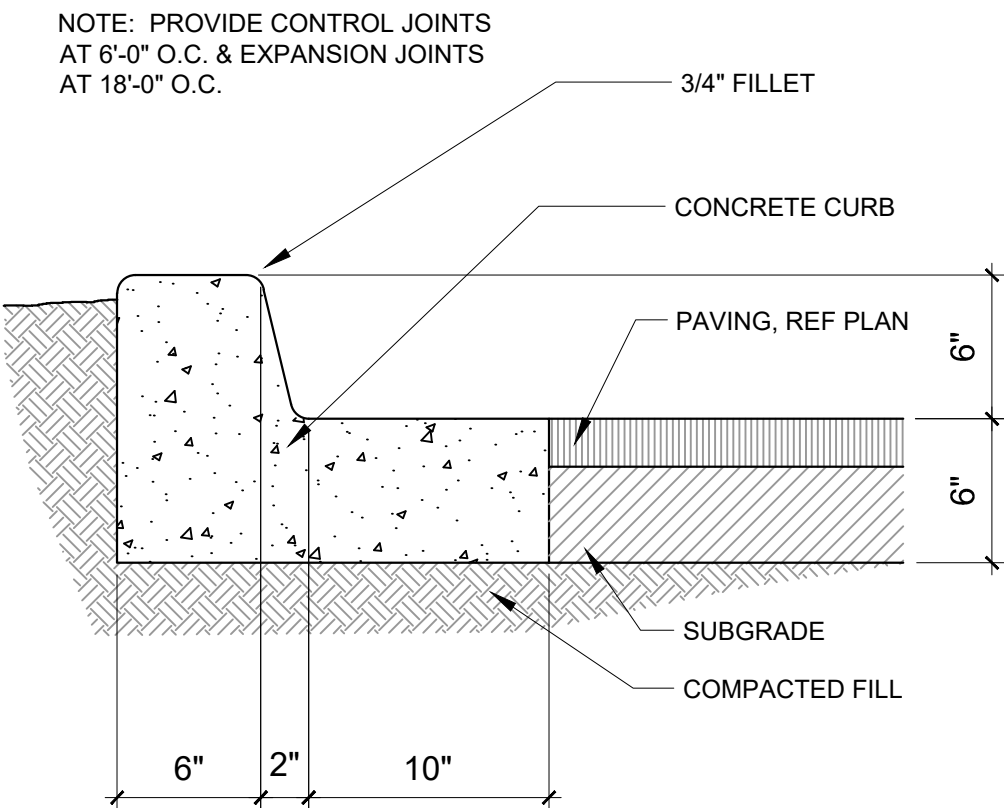
DO NOT ENTER SIGN

SCALE: NTS



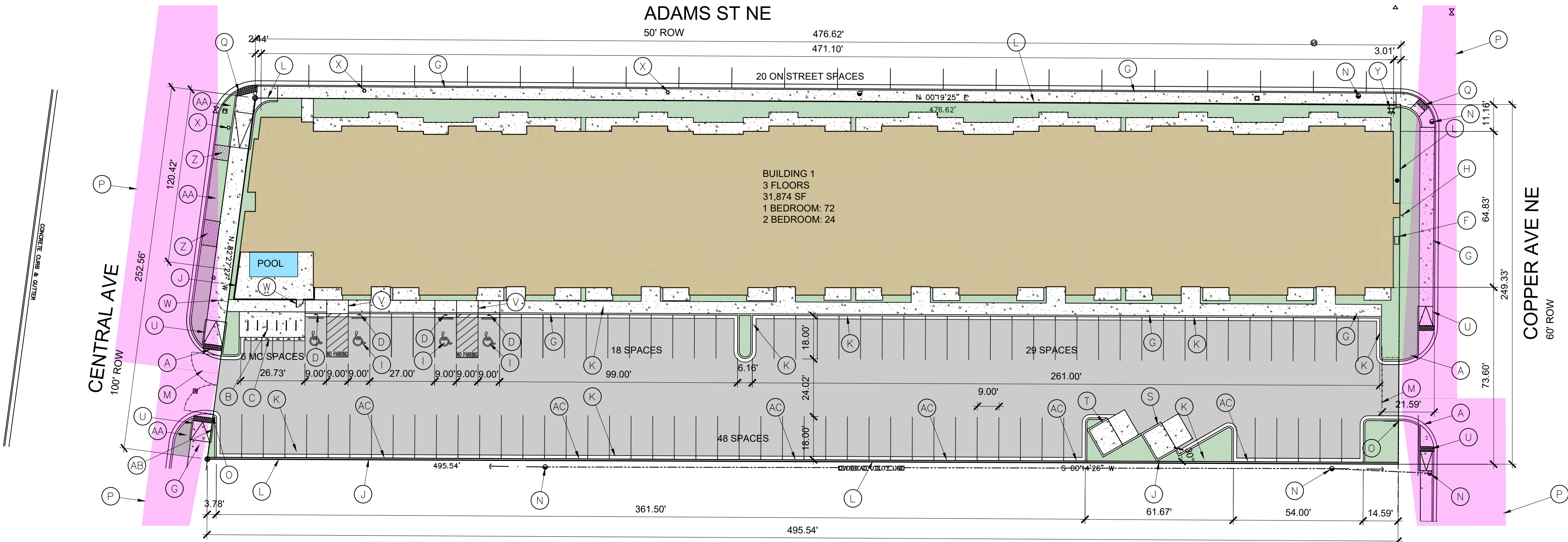
HC SIGN

SCALE: NTS



CURB AND GUTTER

SCALE: NTS

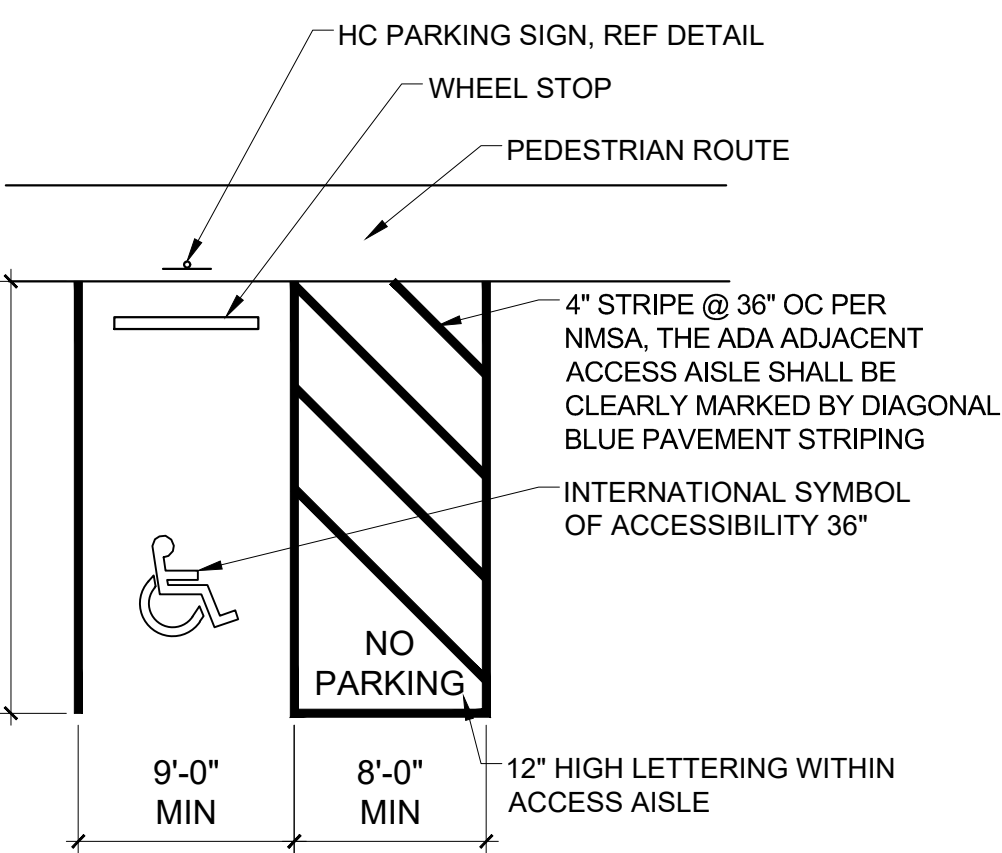


SITE PLAN

SCALE: 1" = 30'-0"

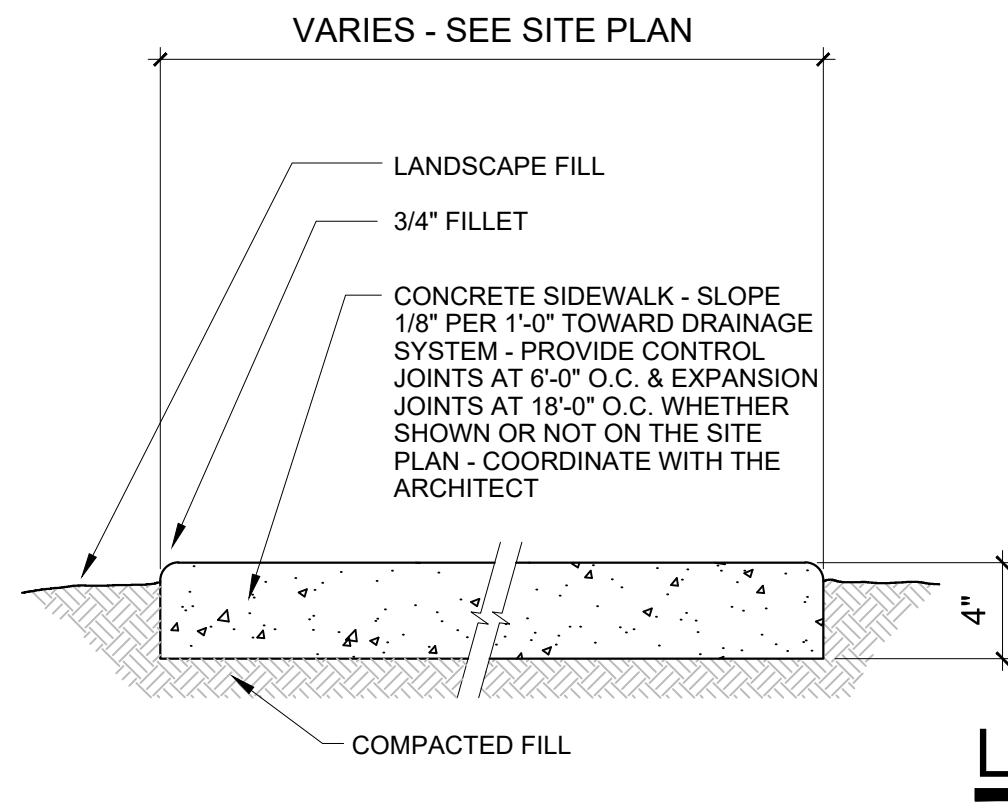


0' 15' 30' 60' 90' 120'



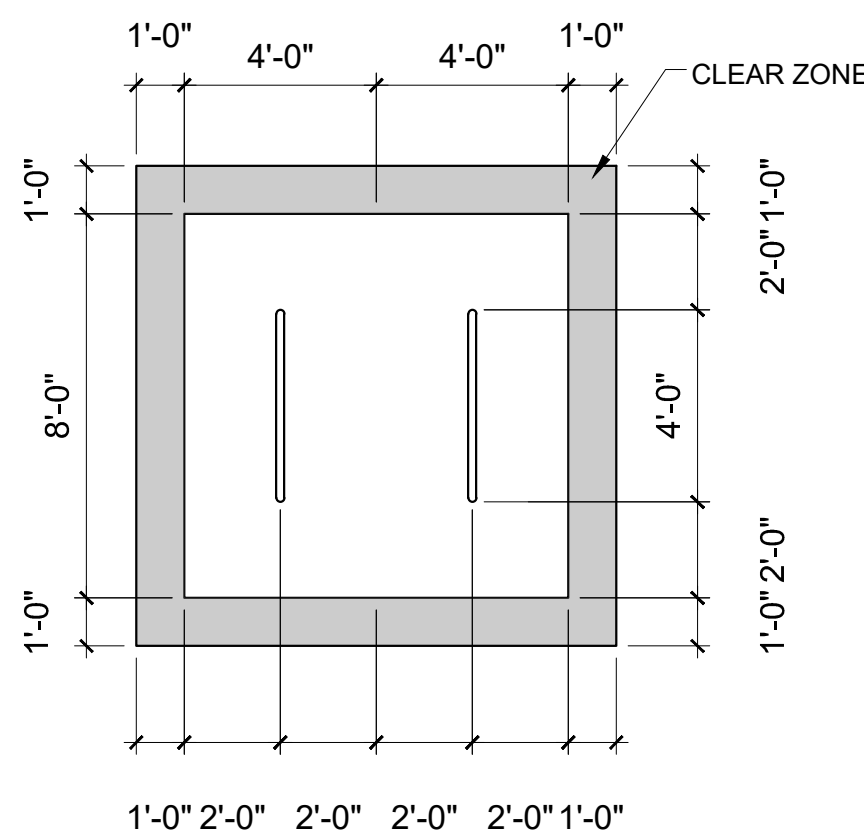
ADA PARKING

SCALE: 1/8" = 1'-0"



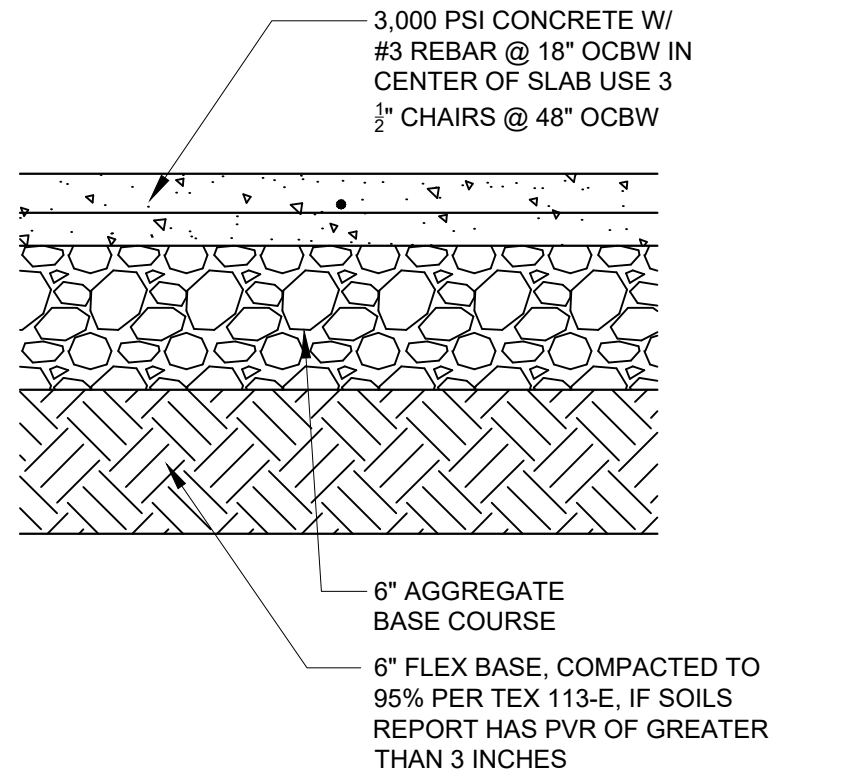
SIDEWALK DETAIL

SCALE: 1 1/2" = 1'-0"



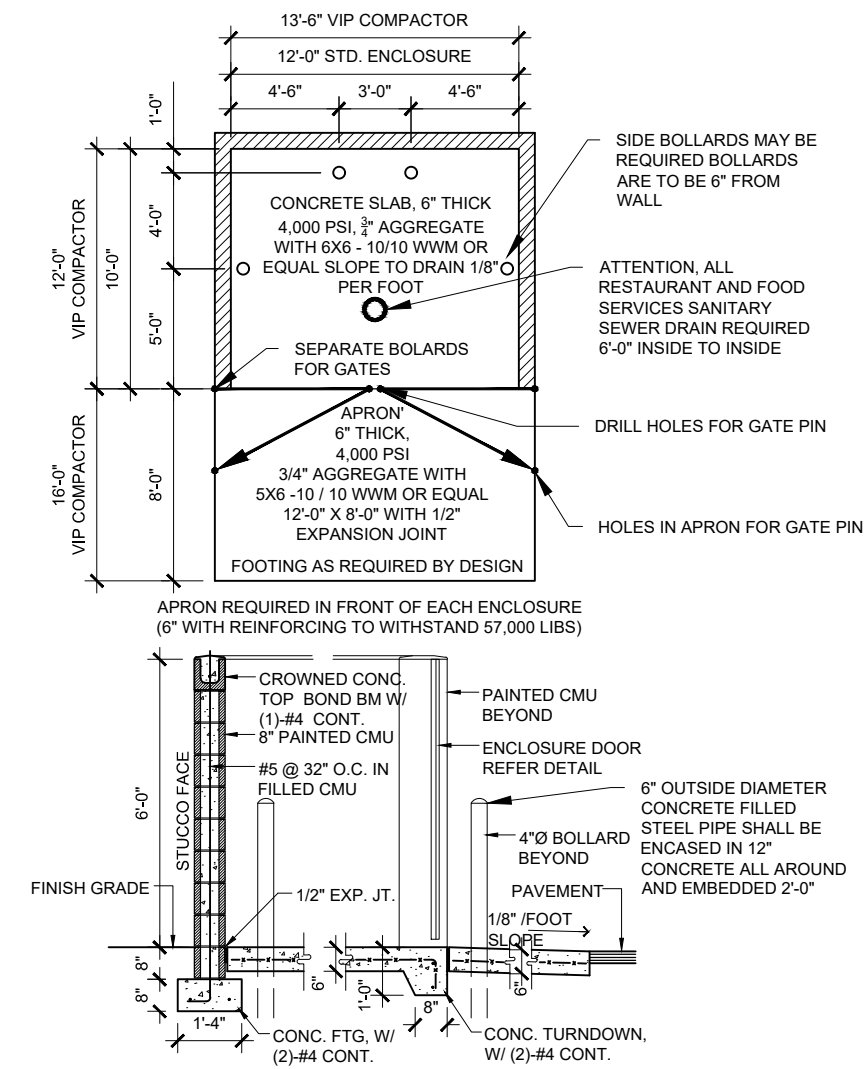
BIKE PARKING

SCALE: 1/4" = 1'-0"



LOW ALBEDO PAVING SECTION

SCALE: NTS



REFUSE ENCLOSURE

SCALE: 1/8" = 1'-0"

KEYED NOTES


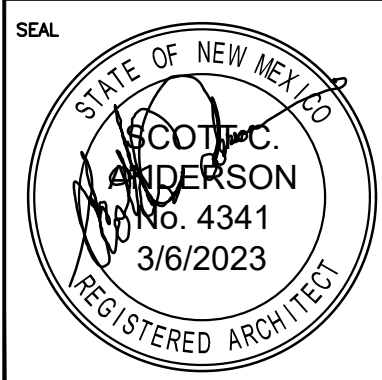
- NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- 12 SPACE BIKE RACK, REF DETAIL THIS SHEET
- MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- NEW FIRE HYDRANT
- IRRIGATION BOX
- NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- FIRE DEPT. CONNECTION
- HC PARKING SYMBOL
- 6" CMU WALL
- CURB, REF DETAIL THIS SHEET
- EXISTING PROPERTY LINE
- VEHICULAR GATE
- EXISTING POWER POLE. NEW POWER POLES WILL BE AGAINST BACK OF CURB.
- KNOX BOX
- CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2418, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- 6" WROUGHT IRON FENCE
- REFUSE CONTAINER, REF DETAIL THIS SHEET
- RECYCLING CONTAINER, REF DETAIL THIS SHEET
- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING C
- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING A
- PEDESTRIAN GATE
- EXISTING LIGHT POLE TO REMAIN
- NEW FIRE HYDRANT
- EXISTING BRICK PAVERS TO REMAIN
- EXISTING LANDSCAPE TO REMAIN
- "DO NOT ENTER" SIGN, REF DETAIL THIS SHEET
- WALL MOUNTED CAR CHARGING STATION

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER



AREA MAP

SCALE: NTS

| | | |
|--|---|---|
|  SCOTT C. ANDERSON & associates architects 4419 4th St. NW, Ste. B Albuquerque, NM 87107 505.401.7575 | | |
| THE SIXTY-SIX 4501 CENTRAL AVE NE ALBUQUERQUE, NM 87108 | | |
| DRAWING TITLE SITE PLAN | | |
| SEAL  | DESIGNED DRAWN CHECKED REVIEWED DATE 3/6/2023 | PROJECT NO SCALE DRAWING NO A-100 OF |