CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

April 20, 2023

Scott C. Anderson, RA Scott Anderson & Associates Architects. 4419 4th St. NW Albuquerque, NM 87107

Re: The 66

4501 Central Ave. NE
Traffic Circulation Layout
Architect's Stamp 03-06-23 (K17-D123)

Dear Mr. Anderson,

Based upon the information provided in your submittal received 04-07-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Identify all existing access easements and rights of way width dimensions.
- 2. Please show on the site plan the site accesses width off Central Ave and Copper Ave.
- 3. Maximum access width for arterial, collector, and local streets are as follows:

Arterial& Local Collector Streets 20'-25' 12'-20' One-way Drive Two-Lane Drive 22'-30' 22'-24' 24'-35' 22'-30' Three-Lane Drive ≤50' ≤30' Larger Vehicles

Albuquerque

PO Box 1293

NM 87103

www.cabq.gov

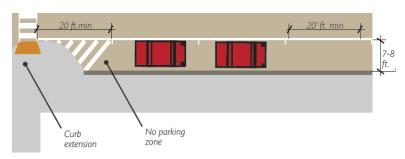
- 4. Keynote A: Provide the radius for the both proposed driveway accesses.
- 5. Provide the type of gate off Central Ave. and show on the site plan a setback allows at least one vehicle in the queue before the gate.
- 6. Provide turning around template for both site accesses.
- 7. Provide the dimensions for the on-street parking spaces.
- 8. Please show on the site plan a minimum 20ft. long no parking zone between the pedestrian crossing and the nearest on-street parking space.

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- 9. Please revised the site plan, the number of the parking spaces at the east side of the site is 46.
- 10. Please show on the site plan a minimum 4 ft. wide ADA pathway around each obstacle on the public sidewalk off Adams St. and Copper Ave.
 - 11. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
- 12. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
- 13. Bicycle racks shall be sturdy and anchored to a concrete pad.
- 14. A 1-foot clear zone around the bicycle parking stall shall be provided.
- 15. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
- 16. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
- 17. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
- 18. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
- 19. Provide a copy of Fire Marshal approval.
- 20. Show on the site plan the Intersection clear site triangle at the corner of Central and Adams St. and at the corner of Adams St. and Copper Ave.

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- It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
- 22. Please specify the City Standard Drawing Number when applicable.
- Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
- 24. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

- 1. The Traffic Circulation Layout
- 2. A Drainage Transportation Information Sheet (DTIS)
- 3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
- 4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

PO Box 1293

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Albuquerque

Marwa Al-najjar

NM 87103

Marwa Al-najjar

Associate Engineer, Planning Dept. **Development Review Services**

www.cabq.gov

\ma via: email C: CO Clerk, File



City of Albuquerque

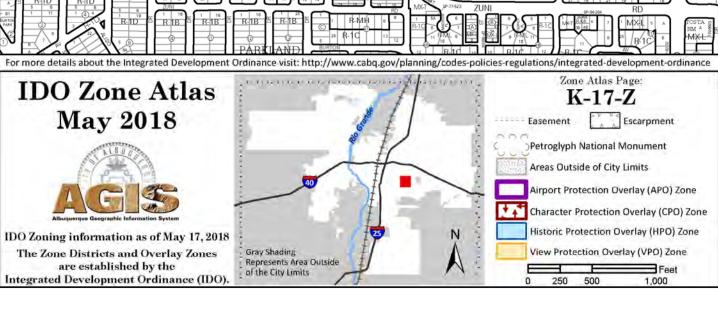
Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: The 66		Hydrology File #:
DRB#:	alley View Add	Work Order#:
Address: 4419 4 St NW	n SteB, Alb. Nr	Contact:
Phone#: 5054017575	Fax#:	E-mail: Scott @ tects.c
		Contact:
Address:	<u> </u>	
Phone#:	Fax#:	E-mail:
TYPE OF DEVELOPMENT:PLA	T (# of lots) RESID	ENCE DRB SITEADMIN SITE
IS THIS A RESUBMITTAL? Yes	No	
DEPARTMENT V TRANSPORTATION	HYDROLOGY	/DRAINAGE
Check all that Apply: TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICAT. PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE REPORT DRAINAGE MASTER PLAN FLOODPLAIN DEVELOPMENT PERMITELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TO TRAFFIC IMPACT STUDY (TIS) STREET LIGHT LAYOUT OTHER (SPECIFY) PRE-DESIGN MEETING?	C C C C C C C C C C	COF APPROVAL/ACCEPTANCE SOUGHT: BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL FOO-19 APPROVAL FOO-1
DATE SUBMITTED: 3/13/23	By: Mathies	h
COA STAFF:	ELECTRONIC SUBMITTAL	PECENTEN.

FEE PAID:





SOLID WASTE NOTES:

THE DEVELOPMENT HAS GATES, OWNER TO PROVIDE THE REFUSE DRIVER WITH REMOTE CONTROL GATE OPENER.

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

THERE IS NO FOOD SERVICE FOR THIS PROJECT.

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE

THIS FACILITY WILL NOT DISTRIBUTE, OR PROCESS FOOD, OR DRINK THAT WOULD LEAK FROM THE REFUSE CONTAINER.

THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY

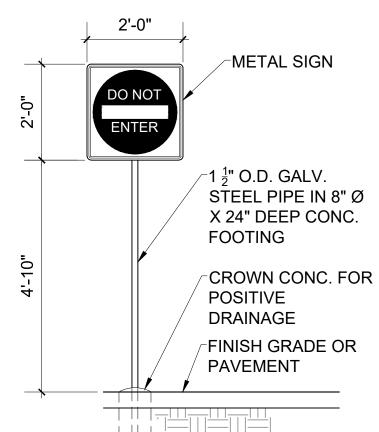
THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED

COLLECTION POINT ON COLLECTION DAY.

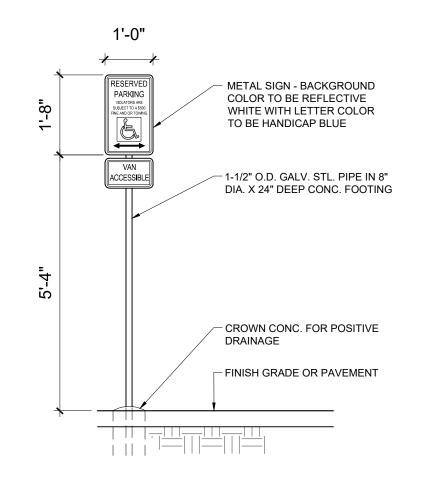
OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.



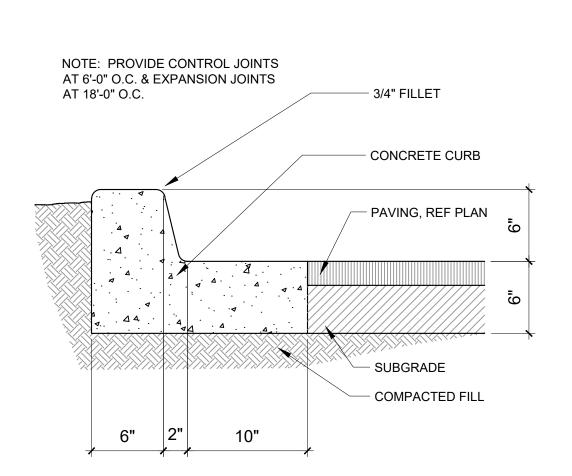
DO NOT ENTER SIGN

SCALE: NTS

SCALE: NTS

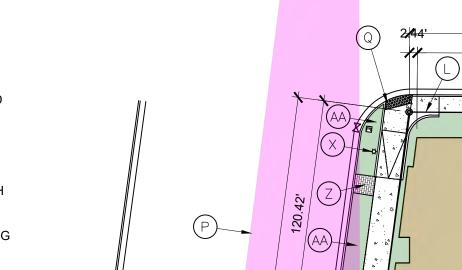


HC SIGN



CURB AND GUTTER

SCALE: NTS



HC PARKING SIGN, REF DETAIL

PEDESTRIAN ROUTE

4" STRIPE @ 36" OC PER

NMSA, THE ADA ADJACENT

BLUE PAVEMENT STRIPING

INTERNATIONAL SYMBOL

OF ACCESSIBILITY 36"

-12" HIGH LETTERING WITHIN

METAL SIGN - BACKGROUND

WHITE WITH LETTER COLOR

- 1-1/2" O.D. GALV. STL. PIPE IN 8"

- CROWN CONC. FOR POSITIVE

FINISH GRADE OR PAVEMENT

SCALE: 1/2" = 1'-0"

DIA. X 24" DEEP CONC. FOOTING

COLOR TO BE REFLECTIVE

TO BE RED

ACCESS AISLE

CLEARLY MARKED BY DIAGONAL,

SCALE: $\frac{1}{8}$ " = 1'-0"

ACCESS AISLE SHALL BE

WHEEL STOP

PARKIN

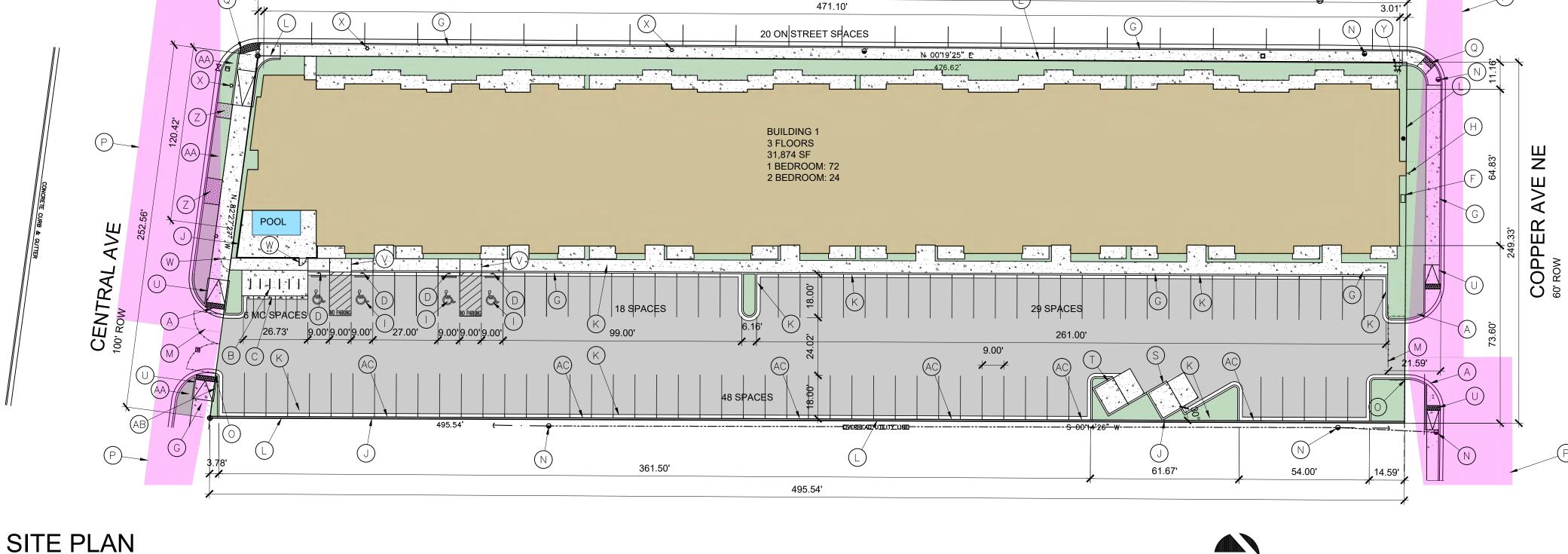
MIN

ADA PARKING

1'-2"

QZG

MOTORCYCLE SIGN



476.62'

ADAMS ST NE

SCALE: 1" = 30'-0"

3,000 PSI CONCRETE W/ #3 REBAR @ 18" OCBW IN CENTER OF SLAB USE 3 1 CHAIRS @ 48" OCBW - 6" AGGREGATE **BASE COURSE** 6" FLEX BASE, COMPACTED TO 95% PER TEX 113-E, IF SOILS REPORT HAS PVR OF GREATER THAN 3 INCHES

LOW ALBEDO PAVING SECTION

13'-6" VIP COMPACTOR

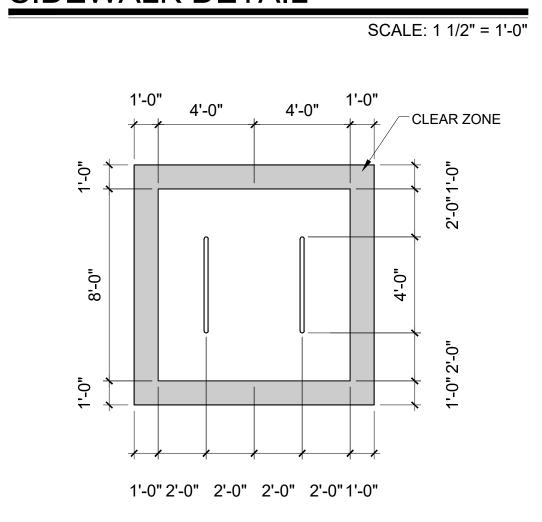
12'-0" STD. ENCLOSURE

SCALE: NTS

SCALE: 1/8" = 1'-0"

SIDEWALK DETAIL

BIKE PARKING



SCALE: 1/4" = 1'-0"

VARIES - SEE SITE PLAN

- LANDSCAPE FILL

CONCRETE SIDEWALK - SLOPE

SYSTEM - PROVIDE CONTROL

1/8" PER 1'-0" TOWARD DRAINAGE

JOINTS AT 6'-0" O.C. & EXPANSION

JOINTS AT 18'-0" O.C. WHETHER SHOWN OR NOT ON THE SITE

PLAN - COORDINATE WITH THE

- 3/4" FILLET

ARCHITECT

COMPACTED FILL

SIDE BOLLARDS MAY BE REQUIRED BOLLARDS ARE TO BE 6" FROM CONCRETE SLAB, 6" THICK $4,000 \text{ PSI}, \frac{3}{4}$ " AGGREGATE WITH 6X6 - 10/10 WWM OR
O EQUAL SLOPE TO DRAIN 1/8" RESTAURANT AND FOOD 0 SERVICES SANITARY SEPARATE BOLARDS 6'-0" INSIDE TO INSIDE ORILL HOLES FOR GATE PIN 4.000 PSI 3/4" AGGREGATE WITH 5X6 -10 / 10 WWM OR EQUAL 12'-0" X 8'-0" WITH 1/2" HOLES IN APRON FOR GATE PIN EXPANSION JOINT FOOTING AS REQUIRED BY DESIGN APRON REQUIRED IN FRONT OF EACH ENCLOSURE (6" WITH REINFORCING TO WITHSTAND 57,000 LIBS) CROWNED CONC.
TOP BOND BM W/ PAINTED CMU BEYOND ENCLOSURE DOOR #5 @ 32" O.C. IN REFER DETAIL 6" OUTSIDE DIAMETER CONCRETE FILLED
STEEL PIPE SHALL BE 4"Ø BOLLARD ENCASED IN 12" CONCRETE ALL AROUND 1/2" EXP. JT

REFUSE ENCLOSURE

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK

PROVIDE ELECTRIC VEHICLE CHARGER AT EACH BAY OF LEASED GARAGES

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO

ZONING: MX-M (UC-MS-PT) ZONE ATLAS PAGE: K-17 GROSS LOT AREA = 1.6139 AC = 70,301SF

BUILDING FOOTPRINT = 31,561 SF

LEGAL: BLOCK 44, VALLEY VIEW ADDITION

NET LOT AREA = 38,740 SF REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF; 74,520 SF PROVIDED

MULTI-FAMILY 1 BEDROOM: 72 EACH X 1 SPACES (UC-MS-PT) = 72 SPACES 2 BEDROOM: 24 EACH X 1 SPACES (UC-MS-PT) = 24 SPACES

UPC: 101705731123943209

TOTAL SPACES REQUIRED = 98 SPACES SPACES PROVIDED = 115 SPACES 98 SPACES X 2% = 3 CHARGING SPACES REQUIRED, 6 PROVIDED

LEASING OFFICE 668 SF X 0.0035 = 2.4 SPACES REQUIRED

HC REQUIRED: 3 STANDARD, 2 VAN MOTORCYCLE PARKING 151-300 SPACES: 4 SPACES REQUIRED / 6 PROVIDED BIKE PARKING 10% OF 115: 12 REQUIRED, 12 SPACES PROVIDED

IDO TABLE 5-1-2 OPEN SPACE: 1 BEDROOM: 72 EA X 225 SF X 0.5 (UC-MS-PT) = 8,100 SF 2 BEDROOM: 24 EA X 285 SF X 0.5 (UC-MS-PT) = 3,420 SF

TOTAL REQUIRED = 11,520 SF

GRADE LEVEL OPEN SPACE = 10,937 SF PROVIDED UPPER FLOOR BALCONIES & DECKS = 2,278 SF PROVIDED

KEYED NOTES

- A. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING
- B. 12 SPACE BIKE RACK, REF DETAIL THIS SHEET
- C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- D. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- E. NEW FIRE HYDRANT F. IRRIGATION BOX
- G. NEW 6' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE,
- REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430 H. FIRE DEPT. CONNECTION
- HC PARKING SYMBOL
- J. 6' CMU WALL K. CURB, REF DETAIL THIS SHEET
- L. EXISTING PROPERTY LINE M. VEHICULAR GATE
- N. EXISTING POWER POLE. NEW POWER POLES WILL BE AGAINST BACK OF CURB. O. KNOX BOX
- P. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS,
- TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- Q. EXISTING CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2418, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE R. 6' WROUGHT IRON FENCE
- S. REFUSE CONTAINER, REF DETAIL THIS SHEET T. RECYCLING CONTAINER, REF DETAIL THIS SHEET
- U. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443,
- DRAWING C V. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443,
- DRAWING A W. PEDESTRIAN GATE
- X. EXISTING LIGHT POLE TO REMAIN
- Y. NEW FIRE HYDRANT Z. EXISTING BRICK PAVERS TO REMAIN
- AA. EXISTING LANDSCAPE TO REMAIN
- AB. "DO NOT ENTER" SIGN, REF DETAIL THIS SHEET AC. WALL MOUNTED CAR CHARGING STATION

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER





THE SIXTY-SIX 4501 CENTRAL AVE NE ALBUQUERQUE, NM 87108

DRAWING TITLE SITE PLAN

PROJECT NO CHECKED No. 4341 3/6/2023 REVIEWED 3/6/2023

SCALE:NTS