

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 31, 2023

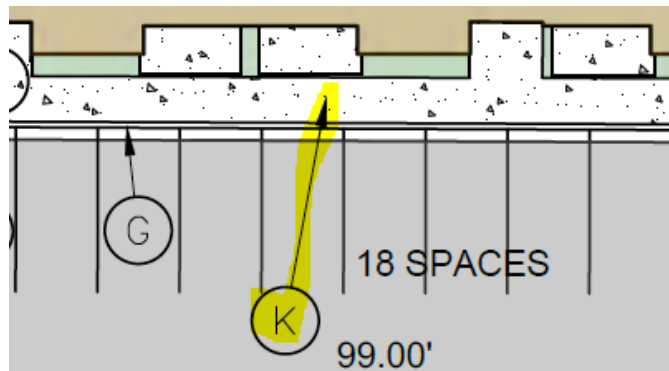
Scott Anderson, RA  
Scott Anderson & Associates Architects  
2818 4<sup>th</sup> St. NW  
Albuquerque, NM 87107

**Re: The 66**  
**4501 Central Ave. NE**  
**Traffic Circulation Layout**  
Architect's Stamp 03-06-23 (K17-D125)

Dear Mr. Anderson,

Based upon the information provided in your submittal received 10-26-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing easements.
2. Proposed Site access off Central Ave.:
  - please provide width and show the radii on the site plan.
  - Minimum throat depth should be 50 ft. please show this dimension on the site plan.
3. Proposed Site access off Copper Ave:
  - Provide width and show the radii on the site plan.
  - Please show on the site plan a vehicle turnaround template to ensure there will be no backup to the public right of way.
4. Key note X: A minimum 4 ft. wide pedestrian path should be shown around each of the poles; please show these dimensions on the site plan to ensure that a minimum 4 ft. wide path is obtained.
5. Please show main entrance and the doors way.
6. Please revise site plan, key note K refer to curb and gutter.



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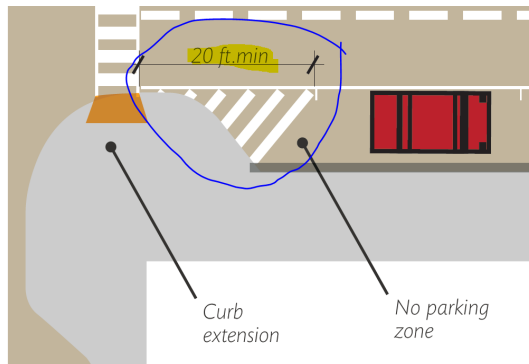


Mayor Timothy M. Keller

7. Please explain, what is this?



8. Please show on the site plan a minimum 20 ft. long no parking zone on Adams St. at the corner of Adams St. & Central Ave. and Adams St. & Copper Ave.



9. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
10. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
11. Please show legend on the site plan.
12. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
13. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

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*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

*Marwa Al-najjar*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

\ma via: email

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

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SOLID WASTE CALCS:  
96 UNITS X 0.55 CY = 53 CY PER WEEK

SOLID WASTE NOTES:

THE DEVELOPMENT HAS GATES, OWNER TO PROVIDE THE REFUSE DRIVER WITH REMOTE CONTROL GATE OPENER.

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

THERE IS NO FOOD SERVICE FOR THIS PROJECT.

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE. SEE KEYED NOTE.

THIS FACILITY WILL NOT DISTRIBUTE, OR PROCESS FOOD, OR DRINK THAT WOULD LEAK FROM THE REFUSE CONTAINER.

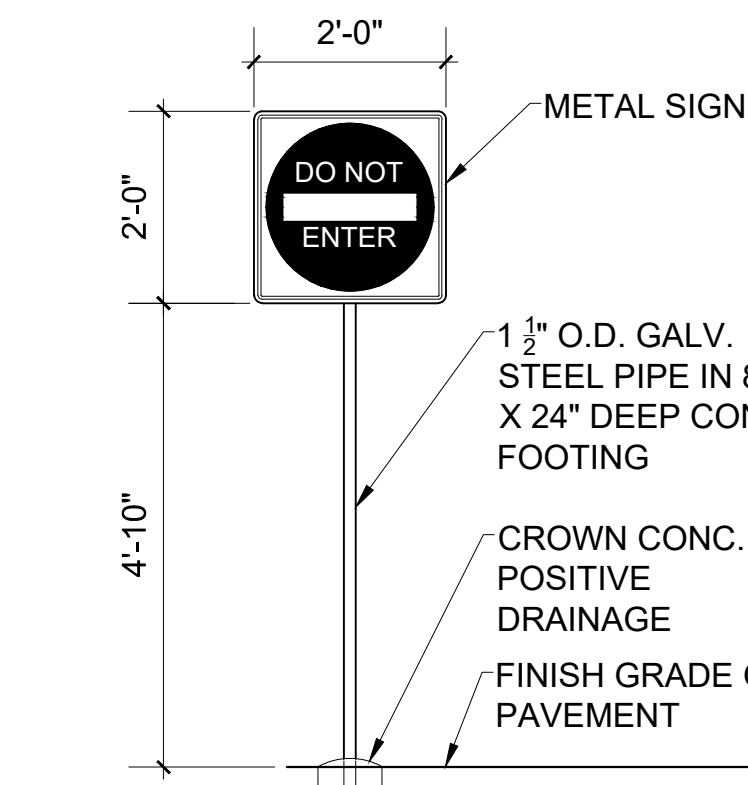
THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY 5:00AM.

THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

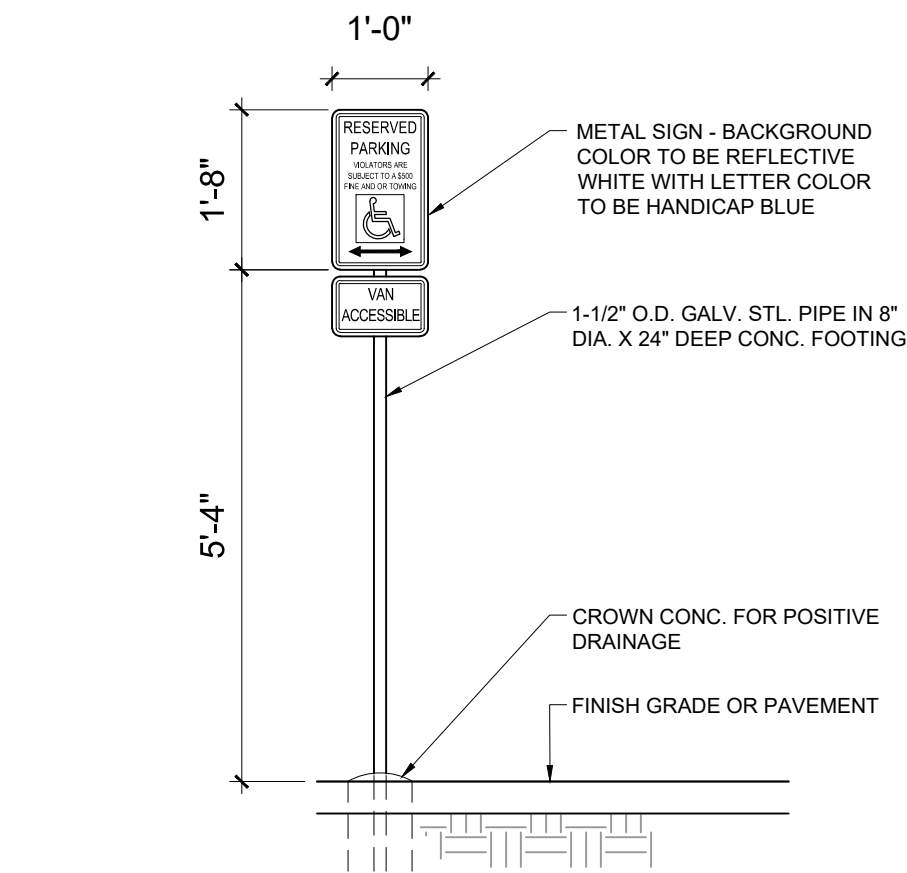
PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED COLLECTION POINT ON COLLECTION DAY.

OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.



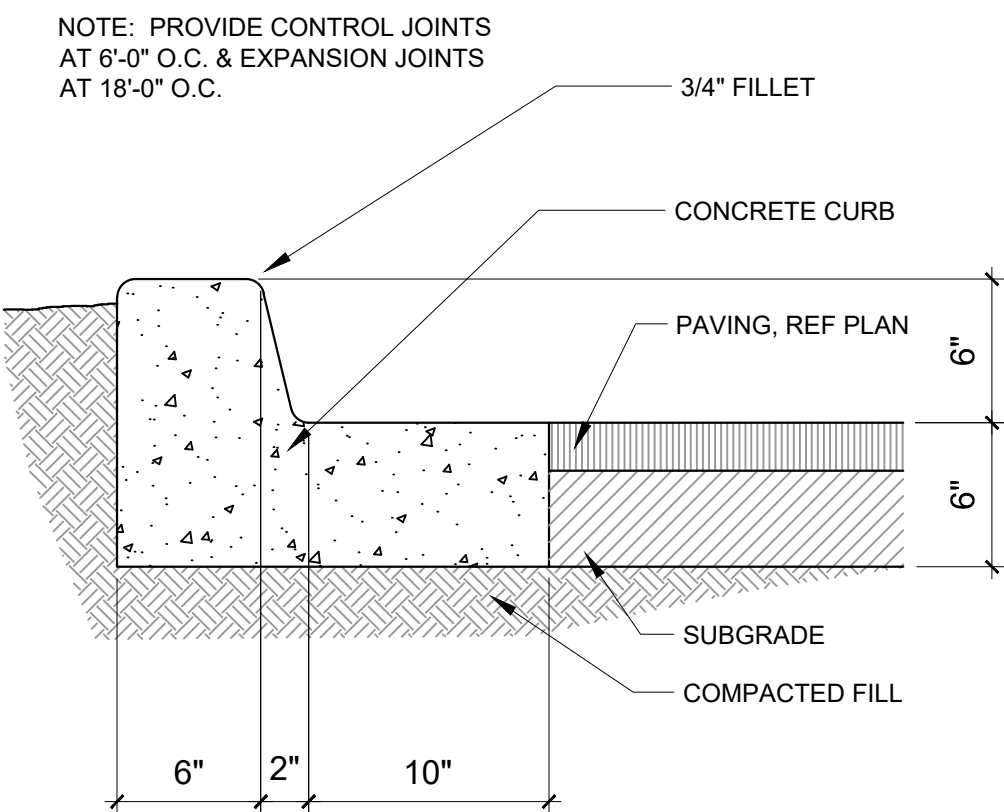
## DO NOT ENTER SIGN

SCALE: NTS



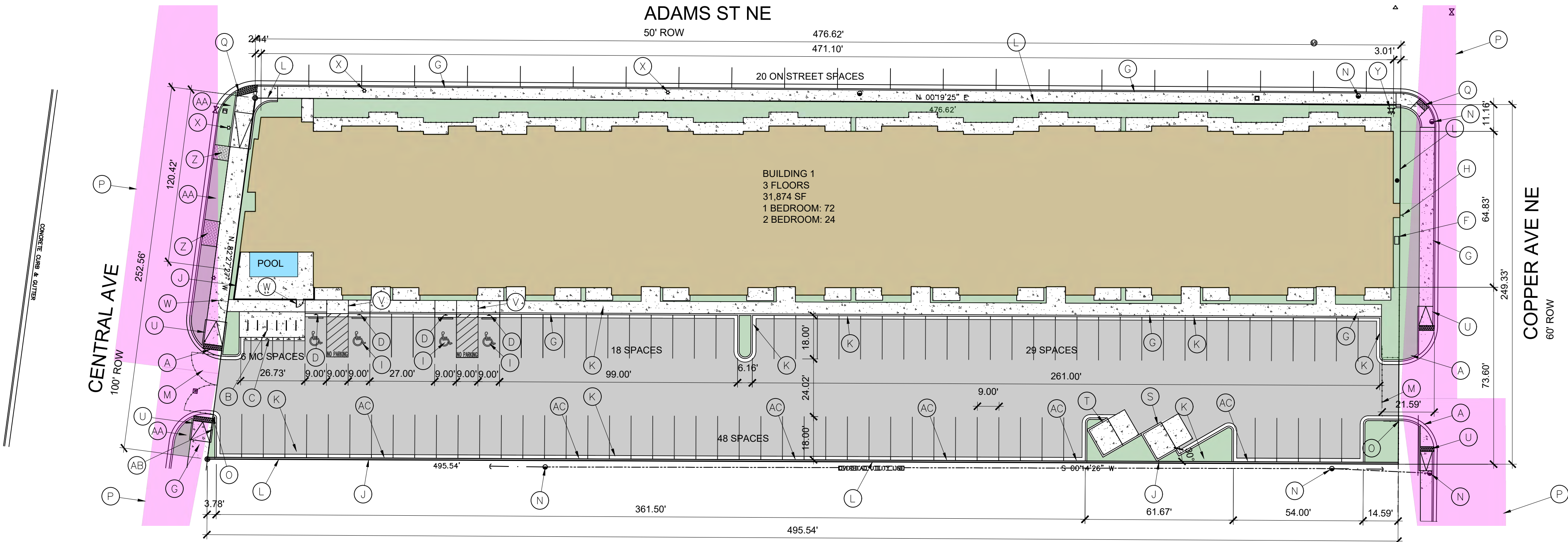
## HC SIGN

SCALE: NTS



## CURB AND GUTTER

SCALE: NTS

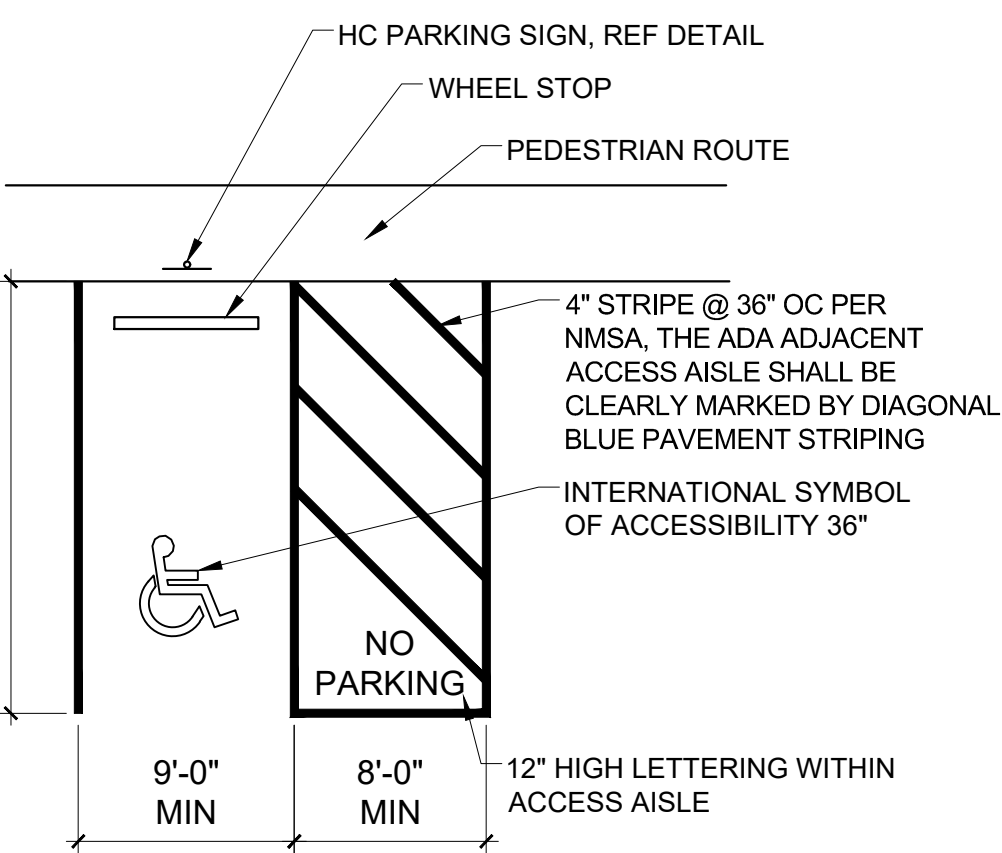


## SITE PLAN

SCALE: 1" = 30'-0"

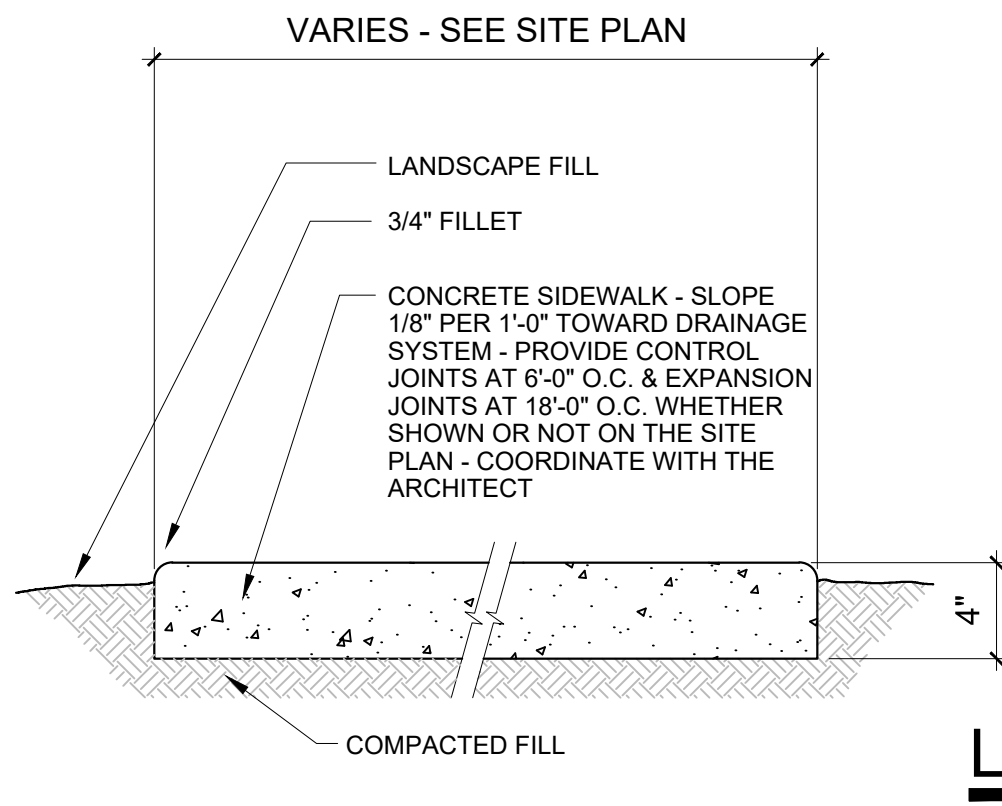


0' 15' 30' 60' 90' 120'



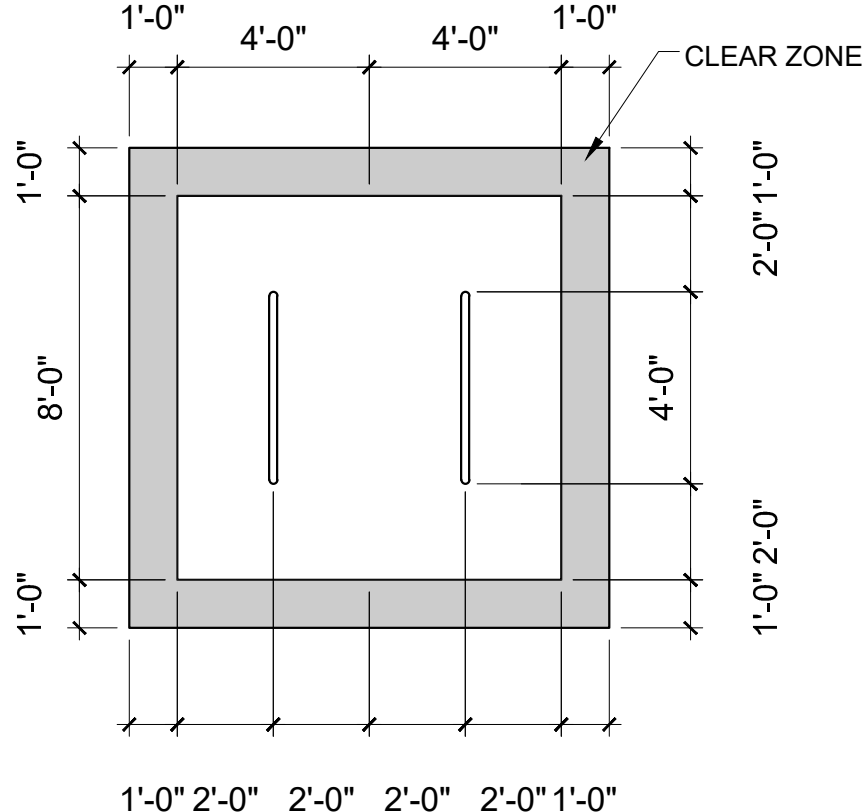
## ADA PARKING

SCALE: 1/8" = 1'-0"



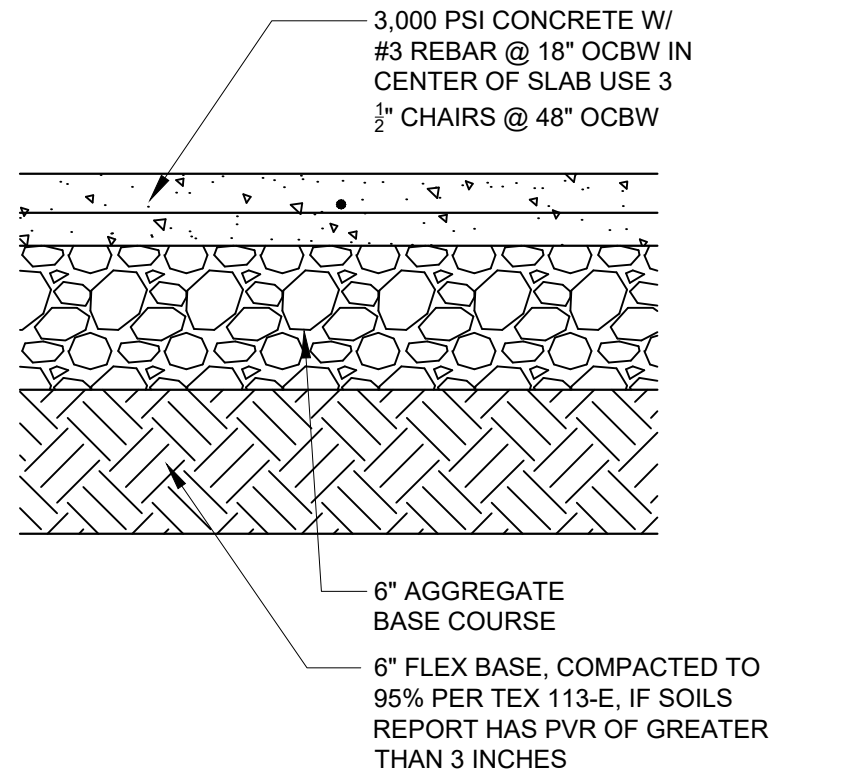
## SIDEWALK DETAIL

SCALE: 1 1/2" = 1'-0"



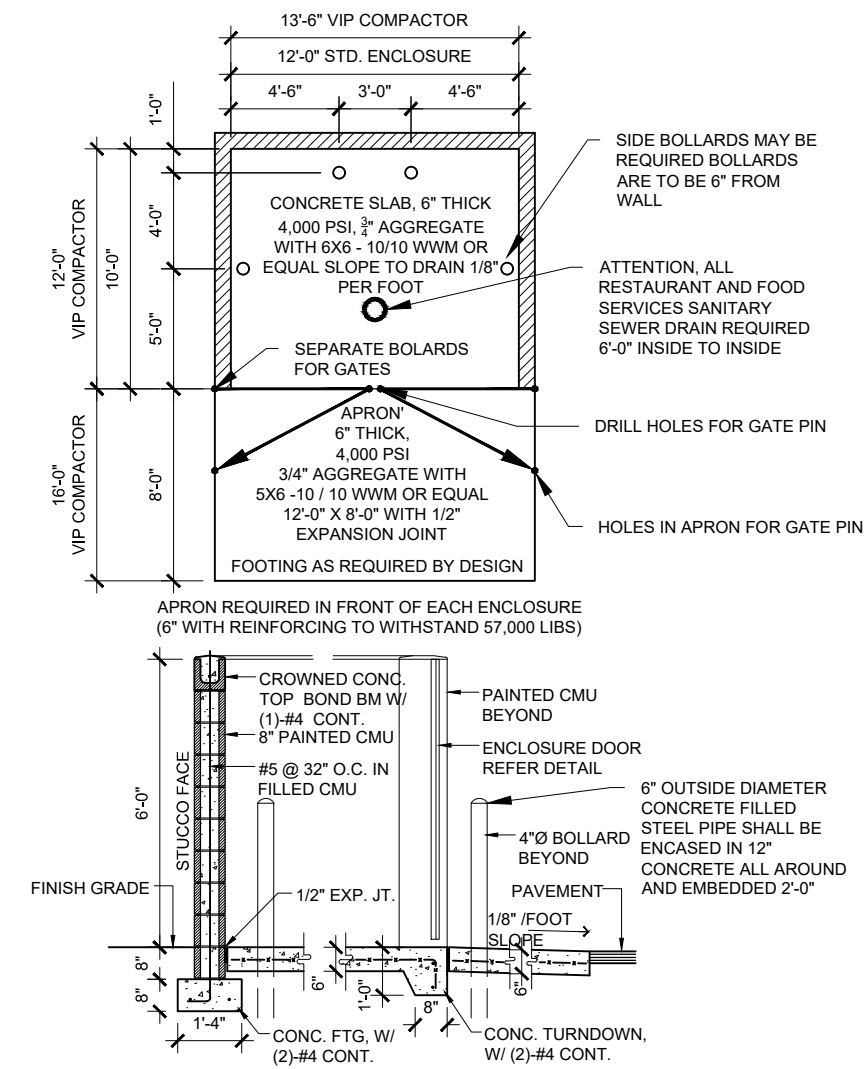
## BIKE PARKING

SCALE: 1/4" = 1'-0"



## LOW ALBEDO PAVING SECTION

SCALE: NTS



## REFUSE ENCLOSURE

SCALE: 1/8" = 1'-0"

NOTE: ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

PROVIDE ELECTRIC VEHICLE CHARGER AT EACH BAY OF LEASED GARAGES

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO

UPC: 101705731123943209

LEGAL: BLOCK 44, VALLEY VIEW ADDITION

ZONING: MX-M (UC-MS-PT)

ZONE ATLAS PAGE: K-17

GROSS LOT AREA = 1,6139 AC = 70,301SF  
BUILDING FOOTPRINT = 31,561 SF  
NET LOT AREA = 38,740 SF  
REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF ; 74,520 SF PROVIDED

PARKING:  
MULTI-FAMILY  
1 BEDROOM: 72 EACH X 1 SPACES (UC-MS-PT) = 72 SPACES  
2 BEDROOM: 24 EACH X 1 SPACES (UC-MS-PT) = 24 SPACES  
LEASING OFFICE 668 SF X 0.0035 = 2.4 SPACES REQUIRED  
TOTAL SPACES REQUIRED = 98 SPACES  
SPACES PROVIDED = 115 SPACES  
98 SPACES X 2% = 3 CHARGING SPACES REQUIRED, 6 PROVIDED

HC REQUIRED: 3 STANDARD, 2 VAN  
MOTORCYCLE PARKING 151-300 SPACES: 4 SPACES REQUIRED / 6 PROVIDED  
BIKE PARKING 10% OF 115: 12 REQUIRED, 12 SPACES PROVIDED

IDO TABLE 5-1-2 OPEN SPACE:  
1 BEDROOM: 72 EA X 225 SF X 0.5 (UC-MS-PT) = 8,100 SF  
2 BEDROOM: 24 EA X 285 SF X 0.5 (UC-MS-PT) = 3,420 SF

TOTAL REQUIRED = 11,520 SF

GRADE LEVEL OPEN SPACE = 10,937 SF PROVIDED  
UPPER FLOOR BALCONIES & DECKS = 2,278 SF PROVIDED

KEYED NOTES


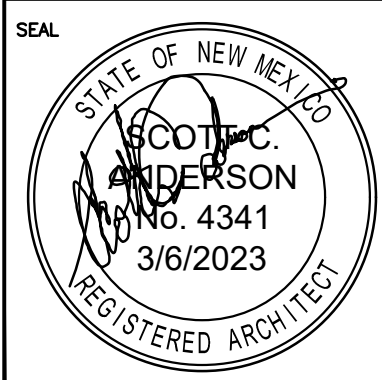
- NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- 12 SPACE BIKE RACK, REF DETAIL THIS SHEET
- MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- NEW FIRE HYDRANT
- IRRIGATION BOX
- NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- FIRE DEPT. CONNECTION
- HC PARKING SYMBOL
- 6" CMU WALL
- CURB, REF DETAIL THIS SHEET
- EXISTING PROPERTY LINE
- VEHICULAR GATE
- EXISTING POWER POLE. NEW POWER POLES WILL BE AGAINST BACK OF CURB.
- KNOX BOX
- CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2418, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- 6" WROUGHT IRON FENCE
- REFUSE CONTAINER, REF DETAIL THIS SHEET
- RECYCLING CONTAINER, REF DETAIL THIS SHEET
- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING C
- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING A
- PEDESTRIAN GATE
- EXISTING LIGHT POLE TO REMAIN
- NEW FIRE HYDRANT
- EXISTING BRICK PAVERS TO REMAIN
- EXISTING LANDSCAPE TO REMAIN
- "DO NOT ENTER" SIGN, REF DETAIL THIS SHEET
- WALL MOUNTED CAR CHARGING STATION

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER



## AREA MAP

SCALE: NTS

 <b>SCOTT C. ANDERSON &amp; associates architects</b> 4419 4th St. NW, Ste. B Albuquerque, NM 87107 scott@scottcanderson.com 505.401.7575		
THE SIXTY-SIX 4501 CENTRAL AVE NE ALBUQUERQUE, NM 87108		
DRAWING TITLE <b>SITE PLAN</b>		
SEAL 	DESIGNED DRAWN CHECKED REVIEWED DATE 3/6/2023	PROJECT NO SCALE DRAWING NO <b>A-100</b> OF