



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: The 66

Building Permit #: _____ Hydrology File #: _____

Zone Atlas Page: K17 DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Block 44 Valley View Addition

Development Street Address: 4501 Central Ave NE

Applicant: Scott Anderson Contact: _____

Address: 4419 4th St NW 87107

Phone#: 505 401 7575 Fax#: _____

E-mail: scott@scarchitects.com

Development Information

Build out/Implementation Year: 2024 Current/Proposed Zoning: MK-M

Project Type: New: Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()

Change of Zoning: ()

Proposed Use (mark all that apply): Residential: Office: () Retail: () Mixed-Use: ()

Describe development and Uses:
96 unit apartment

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): 95,352

Number of Residential Units: 96

Number of Commercial Units: 0

Traffic Considerations

ITE Trip Generation Land Use Code _____

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* 3

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* _____

Driveway(s) Located on: Street Name Central & @ Copper

ITE land Use #220
Multi-Family (Low-Rise)
96 DUs
AM peak 53 trips
PM peak 62 trips

Adjacent Roadway(s) Posted Speed: Street Name Adamas NE Posted Speed 25
Street Name _____ Posted Speed _____

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Main St Corridor
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N/A
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____
(if applicable)

Adjacent Transit Service(s): _____ Nearest Transit Stop(s): _____

Is site within 660 feet of Premium Transit?: Yes

Current/Proposed Bicycle Infrastructure: _____
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: _____

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No

Thresholds Met? Yes [] No

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes:

M.P. P.E.

3/13/2023

TRAFFIC ENGINEER

DATE

Submittal

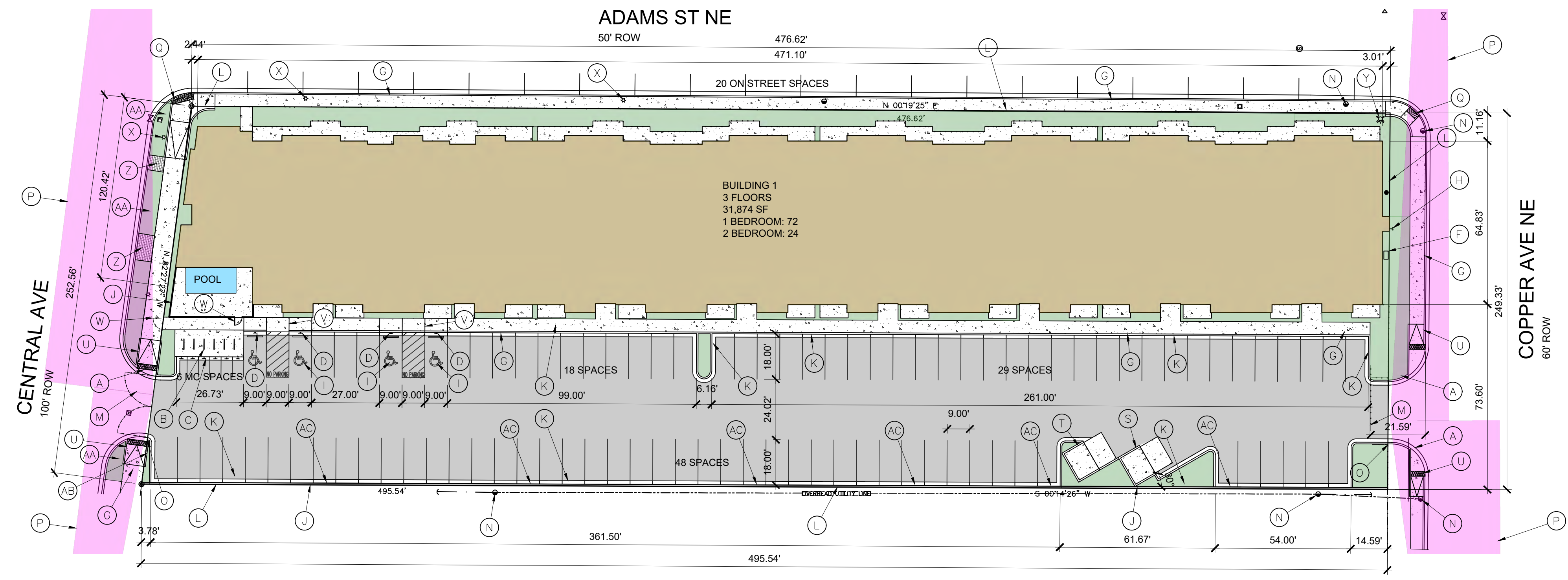
SOLID WASTE CALCS:
96 UNITS X 0.55 CY = 53 CY PER WEEK

SOLID WASTE NOTES:

- THE DEVELOPMENT HAS GATES, OWNER TO PROVIDE THE REFUSE DRIVER WITH REMOTE CONTROL GATE OPENER.
- THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.
- THERE IS NO FOOD SERVICE FOR THIS PROJECT.
- RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE KEYED NOTE.
- THIS FACILITY WILL NOT DISTRIBUTE, OR PROCESS FOOD, OR DRINK THAT WOULD LEAK FROM THE REFUSE CONTAINER.
- THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY 5:00AM.
- THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.
- THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.
- PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED COLLECTION POINT ON COLLECTION DAY.
- OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.

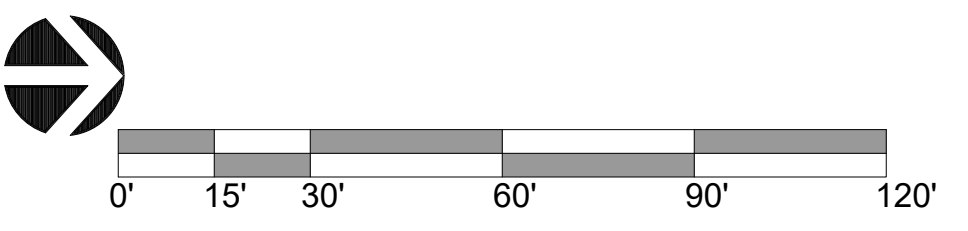
KEYED NOTES

- A. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- B. 12 SPACE BIKE RACK, REF DETAIL THIS SHEET
- C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- D. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- E. NEW FIRE HYDRANT
- F. IRRIGATION BOX
- G. NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- H. FIRE DEPT. CONNECTION
- I. HC PARKING SYMBOL
- J. 6" CMU WALL
- K. CURB, REF DETAIL THIS SHEET
- L. EXISTING PROPERTY LINE
- M. VEHICULAR GATE
- N. EXISTING POWER POLE. NEW POWER POLES WILL BE AGAINST BACK OF CURB.
- O. KNOX BOX
- P. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- Q. EXISTING CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2418, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- R. 6" WROUGHT IRON FENCE
- S. REFUSE CONTAINER, REF DETAIL THIS SHEET
- T. RECYCLING CONTAINER, REF DETAIL THIS SHEET
- U. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING C
- V. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING A
- W. PEDESTRIAN GATE
- X. EXISTING LIGHT POLE TO REMAIN
- Y. NEW FIRE HYDRANT
- Z. EXISTING BRICK PAVERS TO REMAIN
- AA. EXISTING LANDSCAPE TO REMAIN
- AB. "DO NOT ENTER" SIGN, REF DETAIL THIS SHEET
- AC. WALL MOUNTED CAR CHARGING STATION



SITE PLAN

SCALE: 1" = 30'-0"

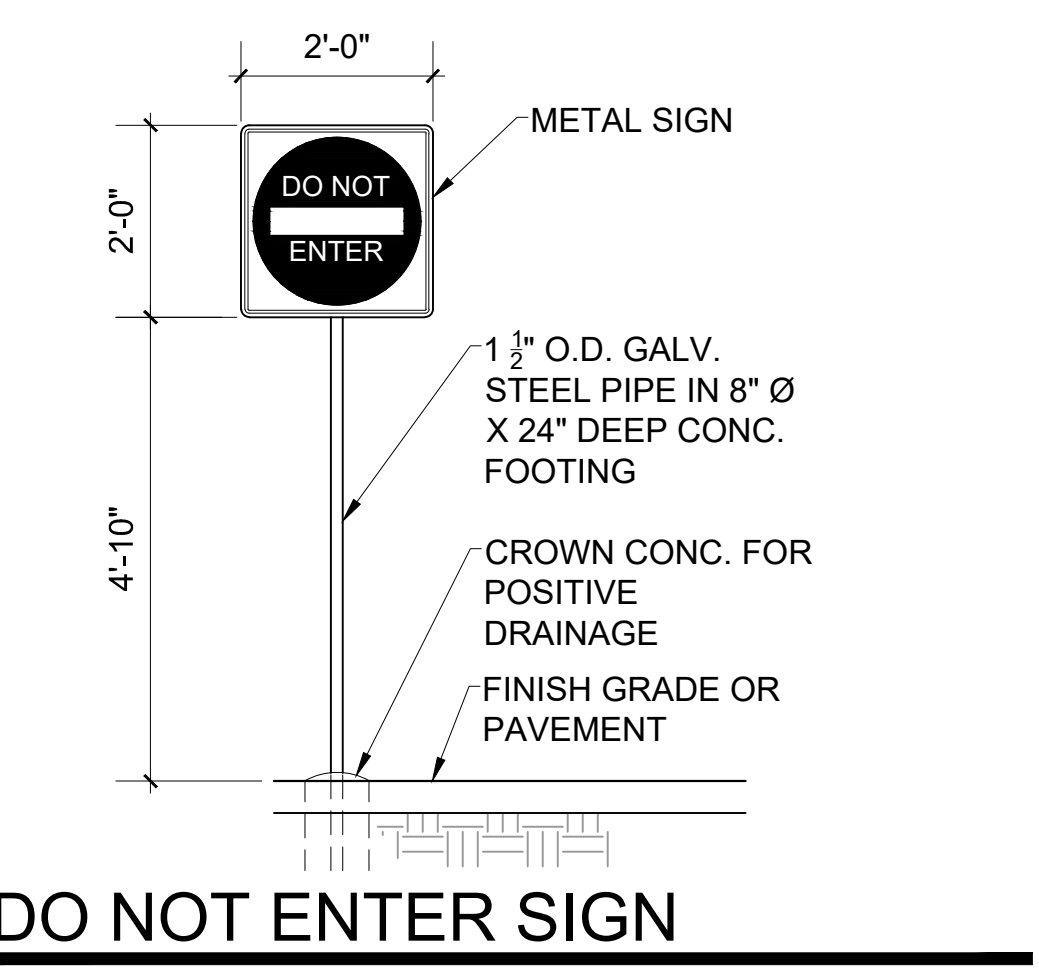


ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER



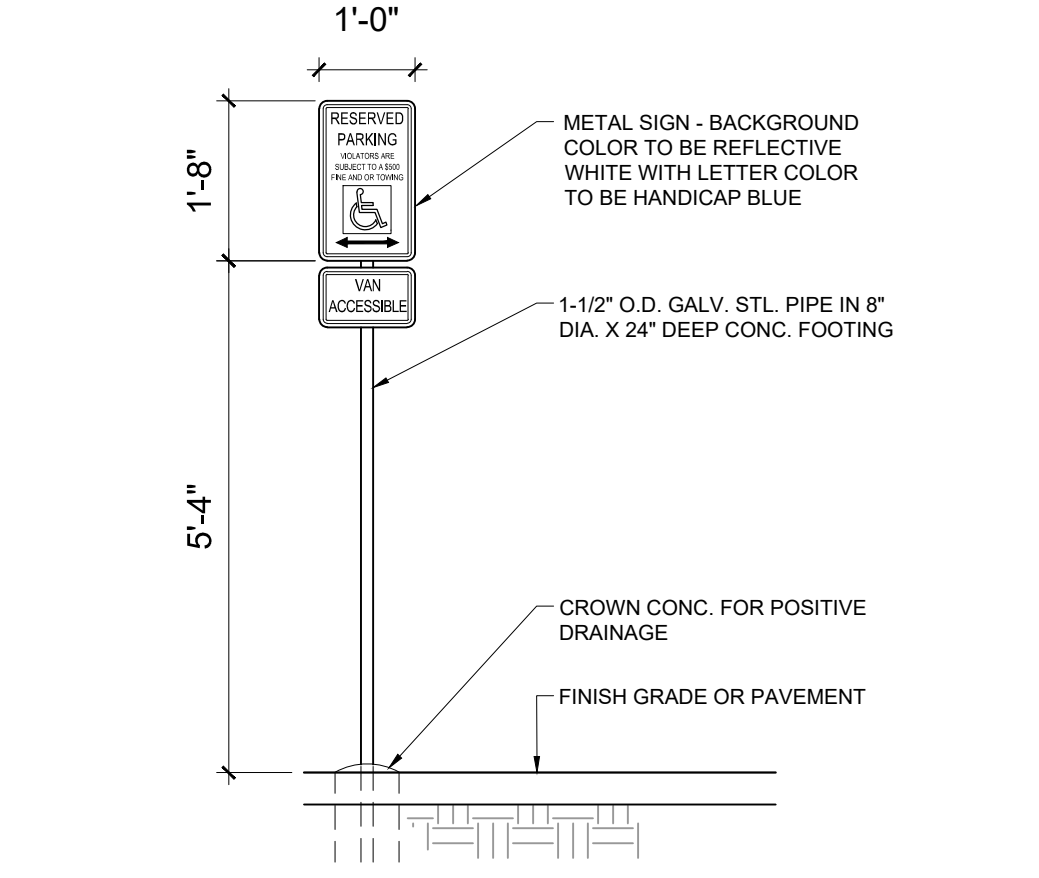
AREA MAP

SCALE: NTS



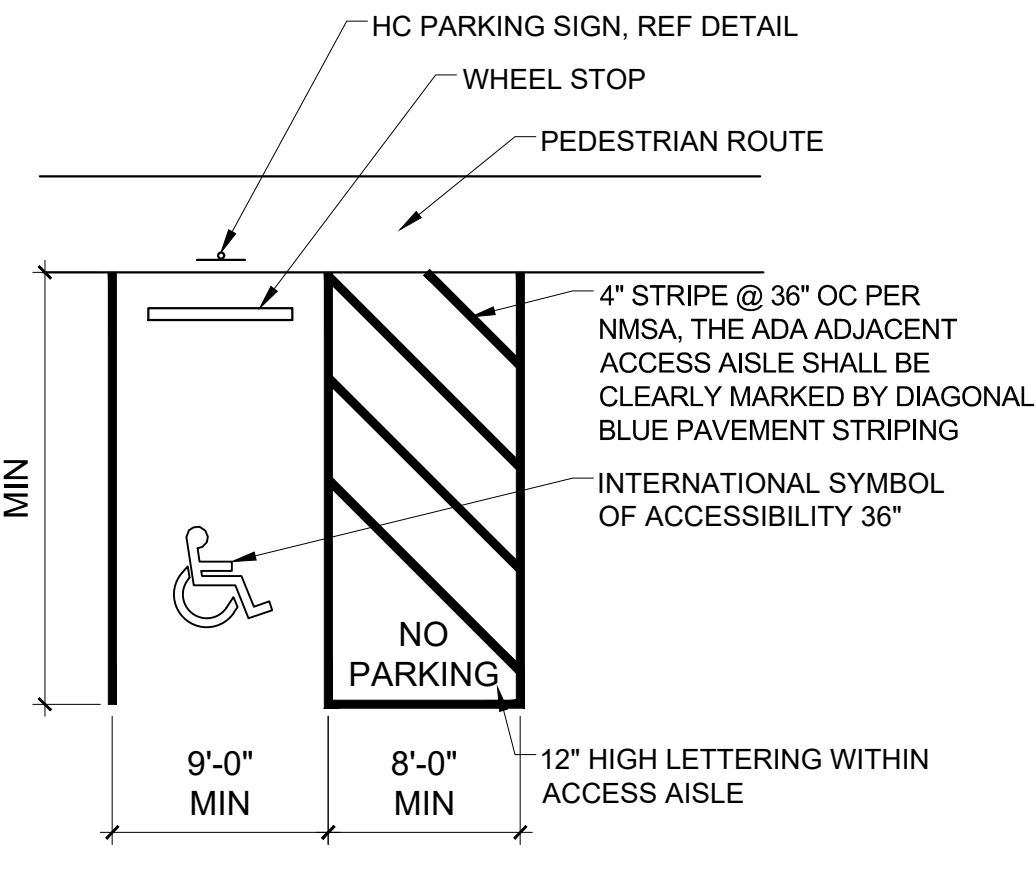
DO NOT ENTER SIGN

SCALE: NTS



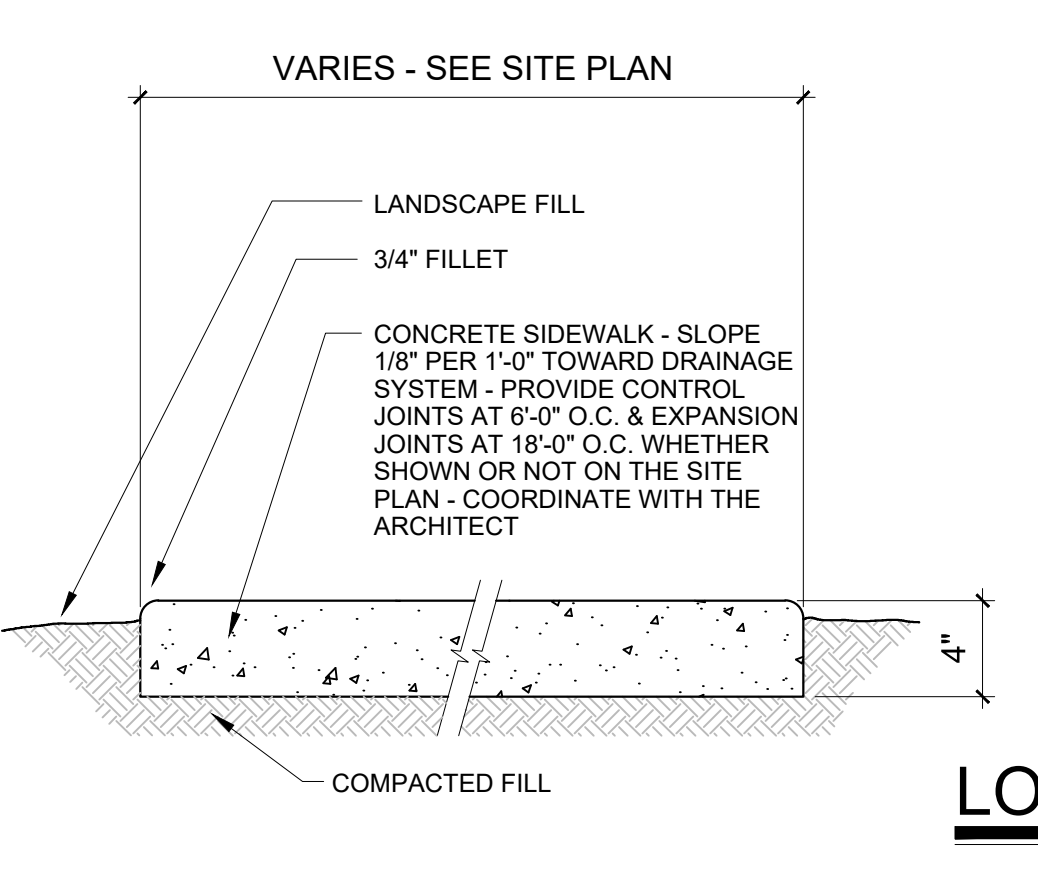
HC SIGN

SCALE: NTS



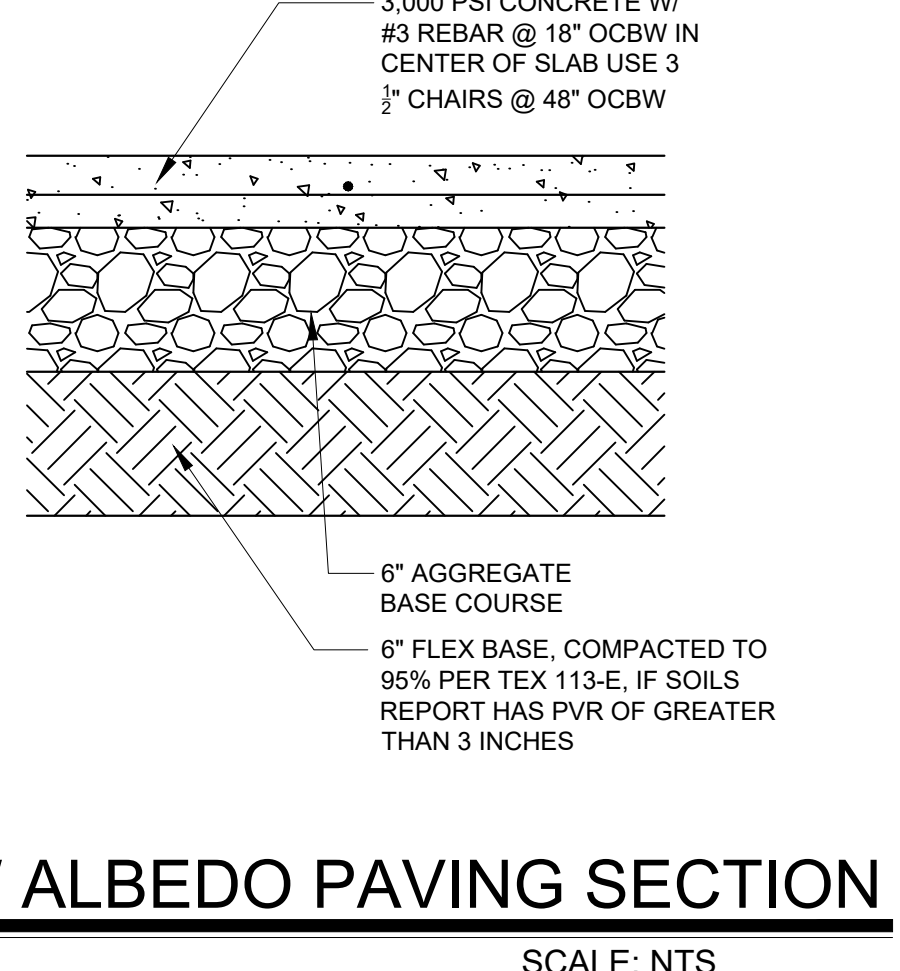
ADA PARKING

SCALE: 1/8" = 1'-0"



SIDEWALK DETAIL

SCALE: 1 1/2" = 1'-0"



LOW ALBEDO PAVING SECTION

SCALE: NTS

NOTE: ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

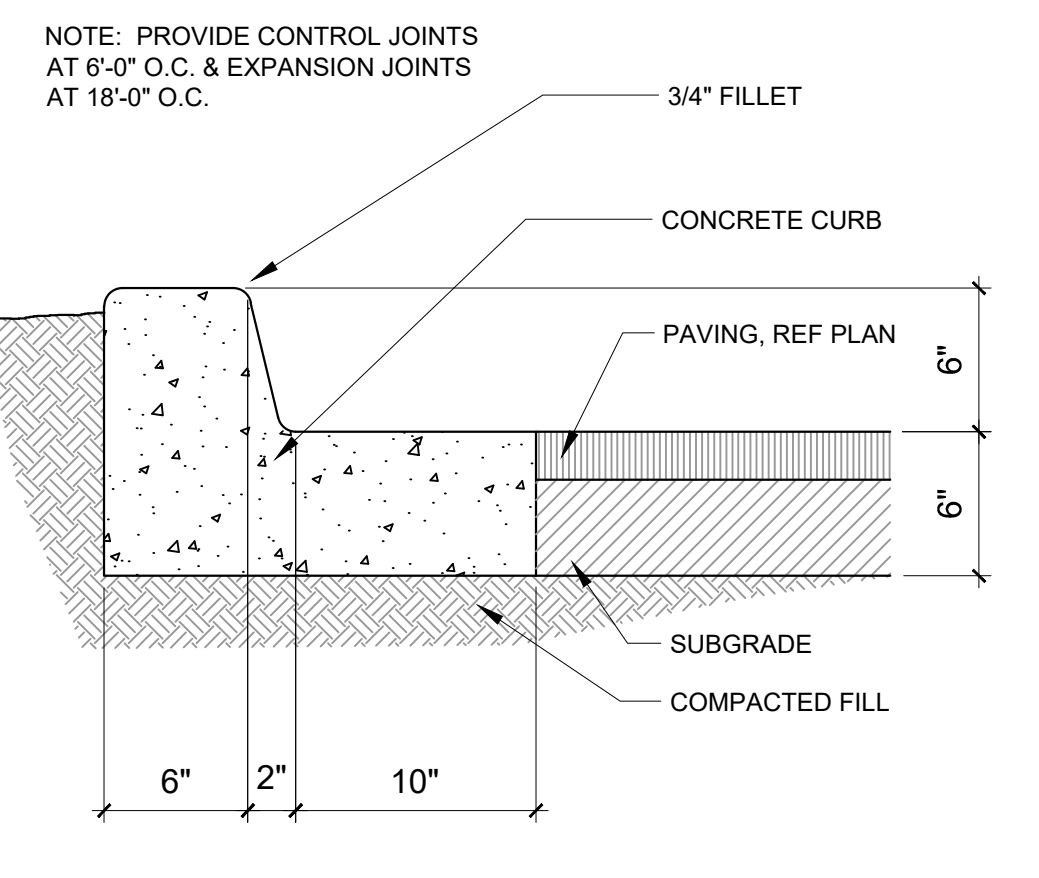
ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

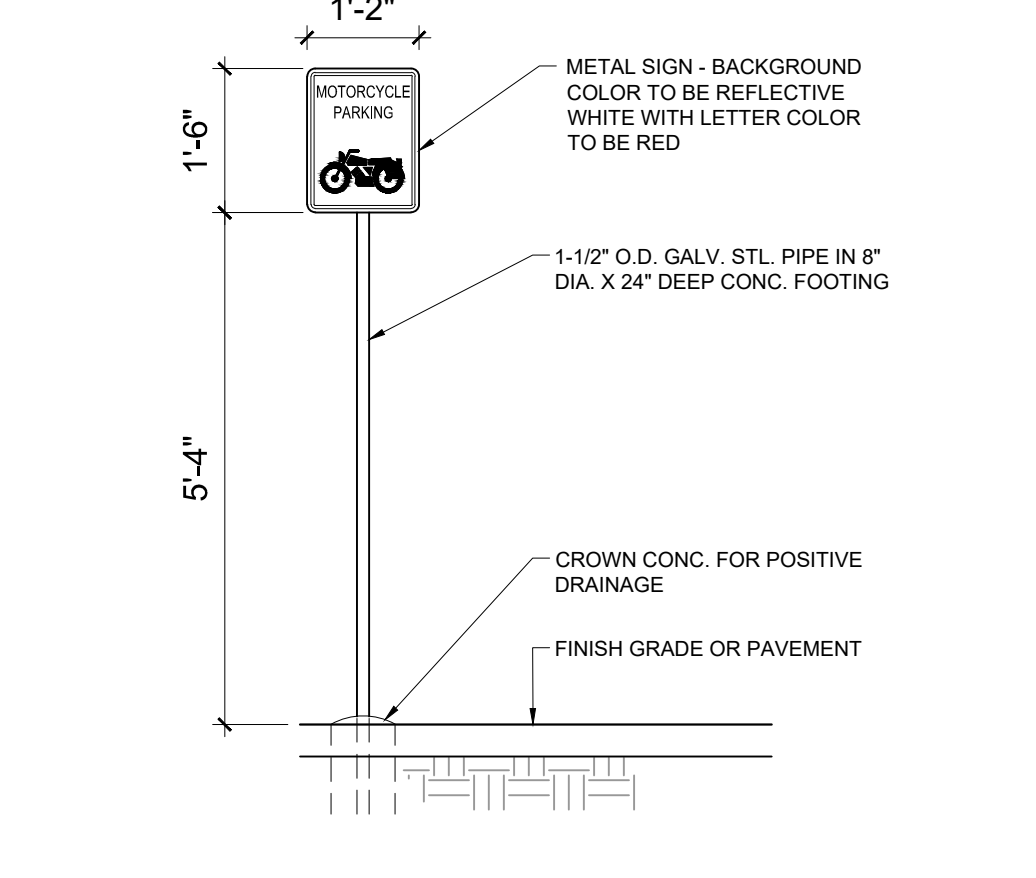
PROVIDE ELECTRIC VEHICLE CHARGER AT EACH BAY OF LEASED GARAGES

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO



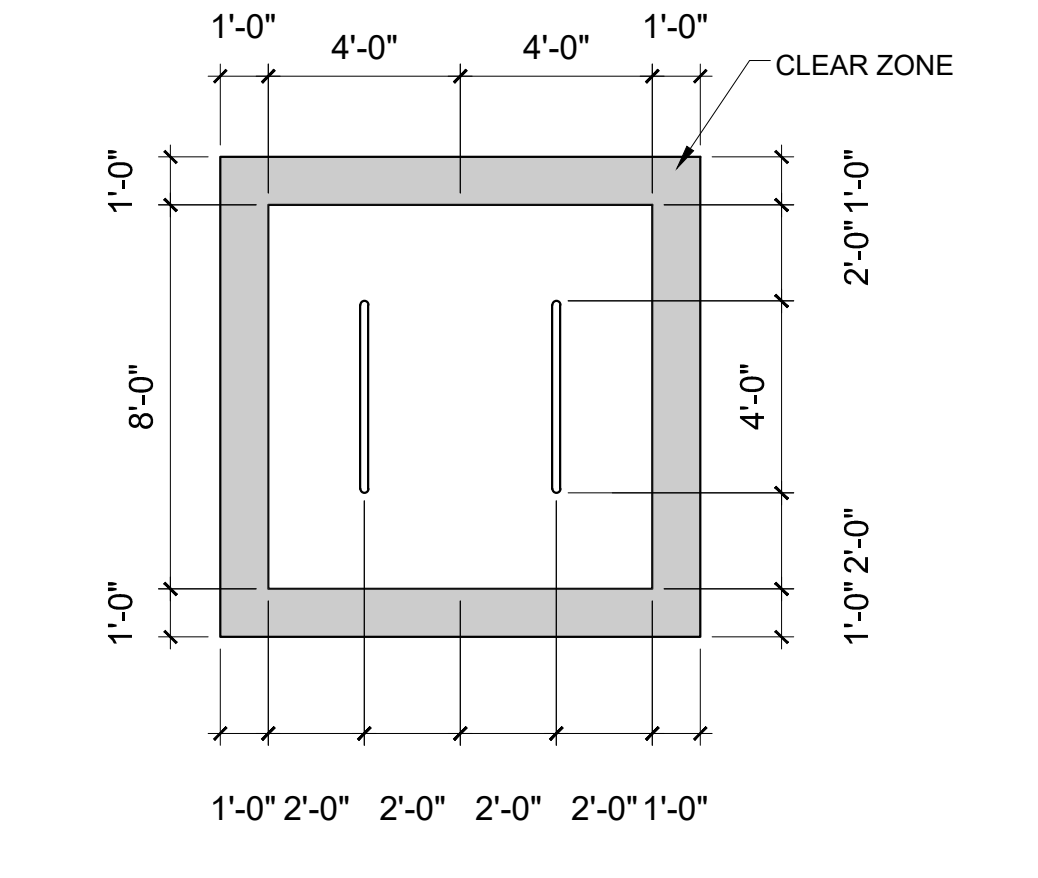
CURB AND GUTTER

SCALE: NTS



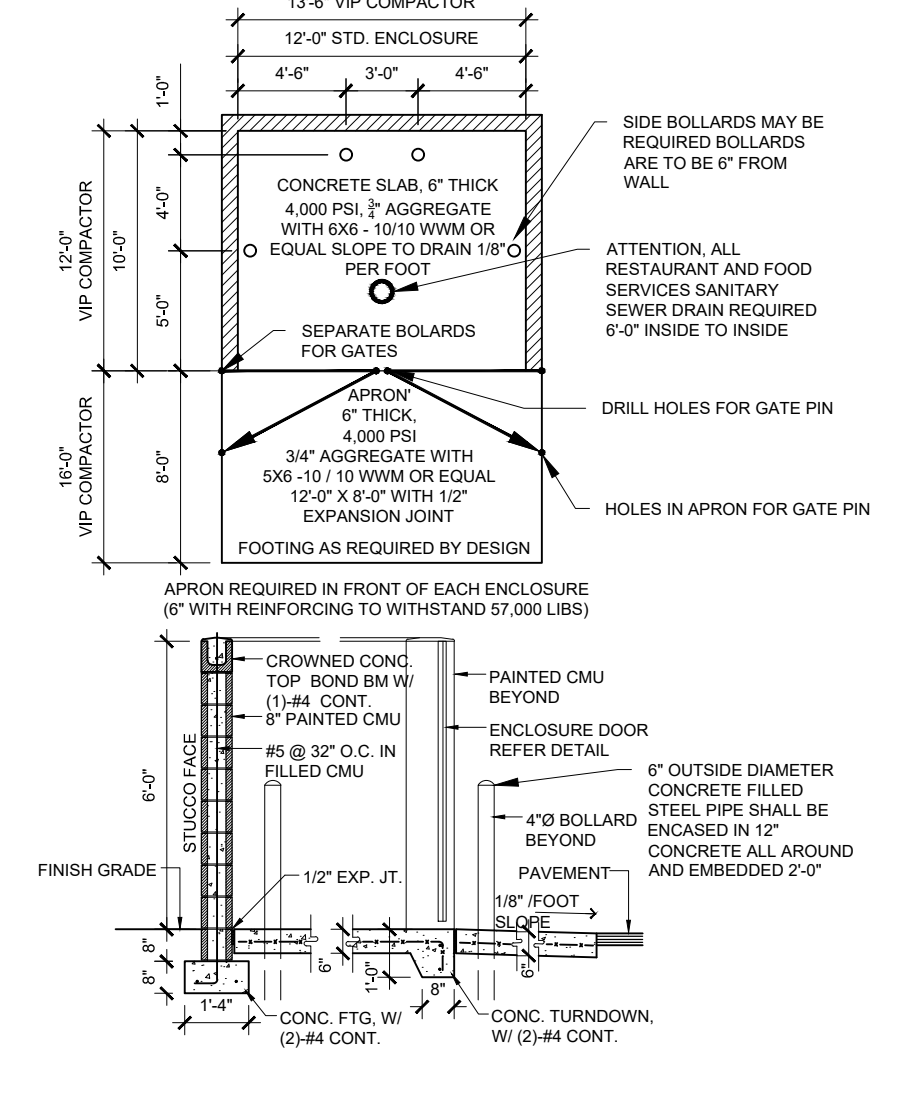
MOTORCYCLE SIGN

SCALE: 1/2" = 1'-0"



BIKE PARKING

SCALE: 1/4" = 1'-0"



REFUSE ENCLOSURE

SCALE: 1/8" = 1'-0"

UPC: 101705731123943209
LEGAL: BLOCK 44, VALLEY VIEW ADDITION
ZONING: MX-M (UC-MS-PT)
ZONE ATLAS PAGE: K-17

GROSS LOT AREA = 1,6139 AC = 70,301 SF
BUILDING FOOTPRINT = 31,561 SF
NET LOT AREA = 38,740 SF
REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF ; 74,520 SF PROVIDED

PARKING:
MULTI-FAMILY
1 BEDROOM: 72 EACH X 1 SPACES (UC-MS-PT) = 72 SPACES
2 BEDROOM: 24 EACH X 1 SPACES (UC-MS-PT) = 24 SPACES
LEASING OFFICE 668 SF X 0.0035 = 2.4 SPACES REQUIRED
TOTAL SPACES REQUIRED = 98 SPACES
SPACES PROVIDED = 115 SPACES
98 SPACES X 2% = 3 CHARGING SPACES REQUIRED, 6 PROVIDED

HC REQUIRED: 3 STANDARD, 2 VAN
MOTORCYCLE PARKING 151-300 SPACES: 4 SPACES REQUIRED / 6 PROVIDED
BIKE PARKING 10% OF 115: 12 REQUIRED, 12 SPACES PROVIDED

IDO TABLE 5-1-2 OPEN SPACE:
1 BEDROOM: 72 EA X 225 SF X 0.5 (UC-MS-PT) = 8,100 SF
2 BEDROOM: 24 EA X 285 SF X 0.5 (UC-MS-PT) = 3,420 SF

TOTAL REQUIRED = 11,520 SF

GRADE LEVEL OPEN SPACE = 10,937 SF PROVIDED
UPPER FLOOR BALCONIES & DECKS = 2,278 SF PROVIDED

SCOTT C. ANDERSON & associates architects
4419 4th St. NW, Ste. B
Albuquerque, NM 87107
505.401.7575

THE SIXTY-SIX
4501 CENTRAL AVE NE
ALBUQUERQUE, NM 87108

DRAWING TITLE
SITE PLAN

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	A-100
DATE	3/6/2023

DATE: 3/6/2023

SOLID WASTE CALCS:
96 UNITS X 0.55 CY = 53 CY PER WEEK

SOLID WASTE NOTES:

THE DEVELOPMENT HAS GATES, OWNER TO PROVIDE THE REFUSE DRIVER WITH REMOTE CONTROL GATE OPENER.

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

THERE IS NO FOOD SERVICE FOR THIS PROJECT.

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE KEYED NOTE.

THIS FACILITY WILL NOT DISTRIBUTE, OR PROCESS FOOD, OR DRINK THAT WOULD LEAK FROM THE REFUSE CONTAINER.

THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY 5:00AM.

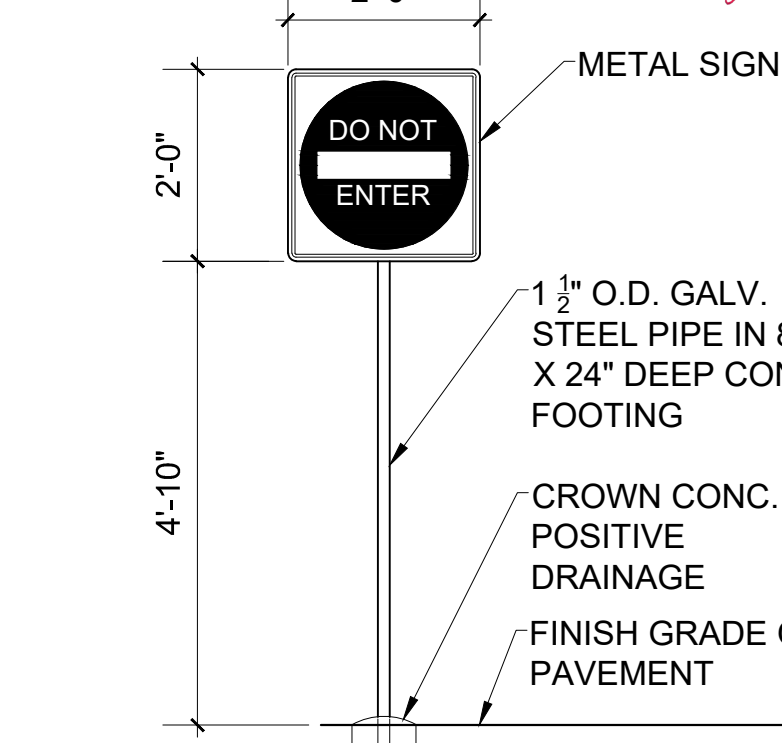
THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED COLLECTION POINT ON COLLECTION DAY.

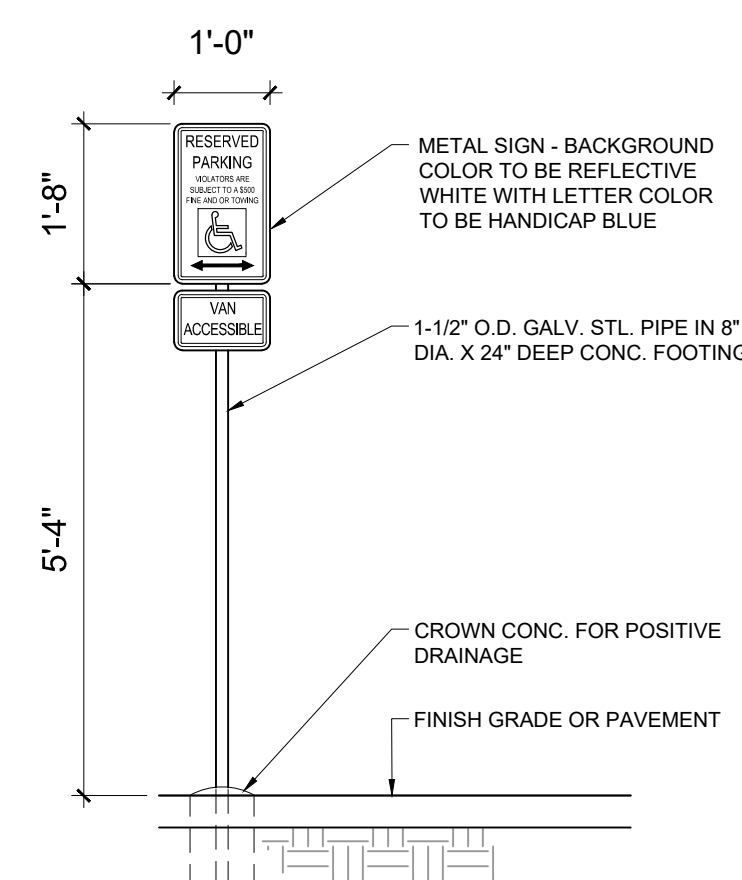
OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.

Approved for access by the Solid Waste Department for a double trash enclosure. The refuse and recycle driver will be given gate clickers for the gates off of Copper. *The owner of this property will have to purchase an 8-cubic yard dumpster for trash.** Herman Gallegos 03-13-23 *Herman Gallegos*



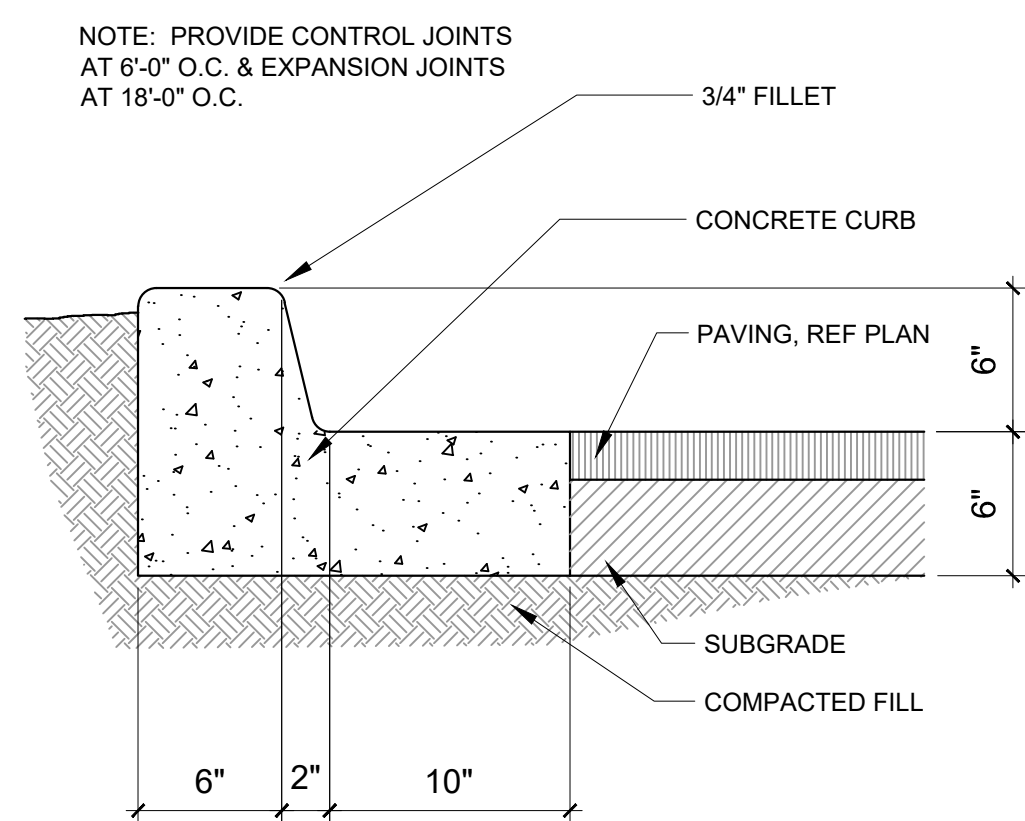
DO NOT ENTER SIGN

SCALE: NTS



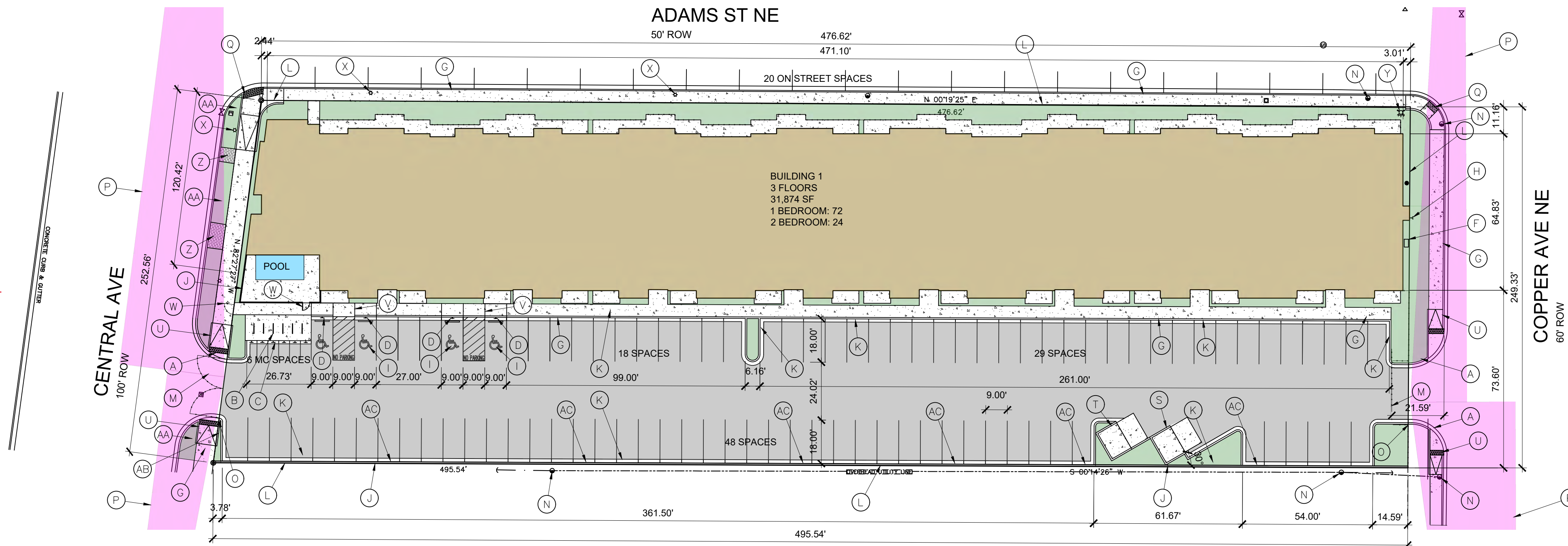
HC SIGN

SCALE: NTS



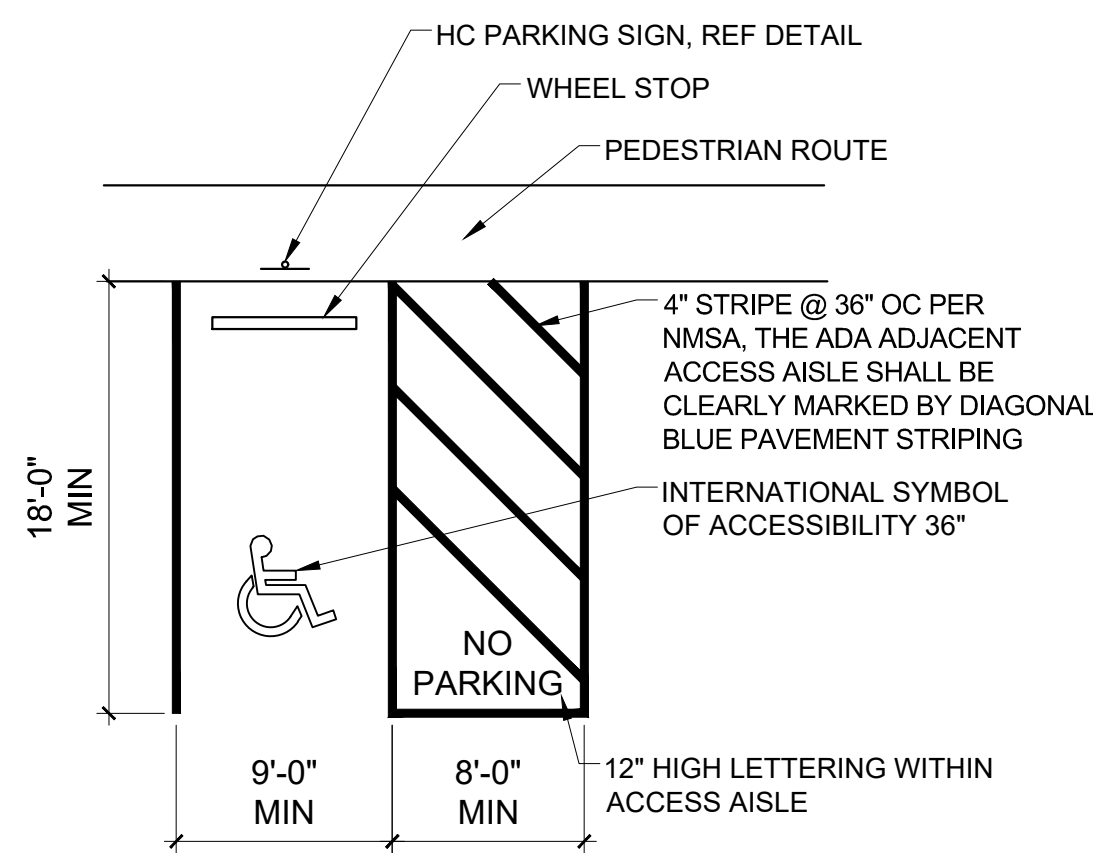
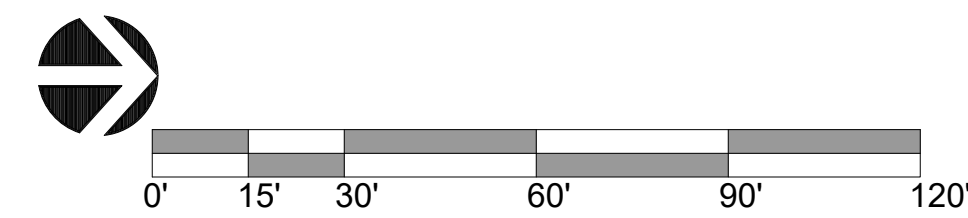
CURB AND GUTTER

SCALE: NTS



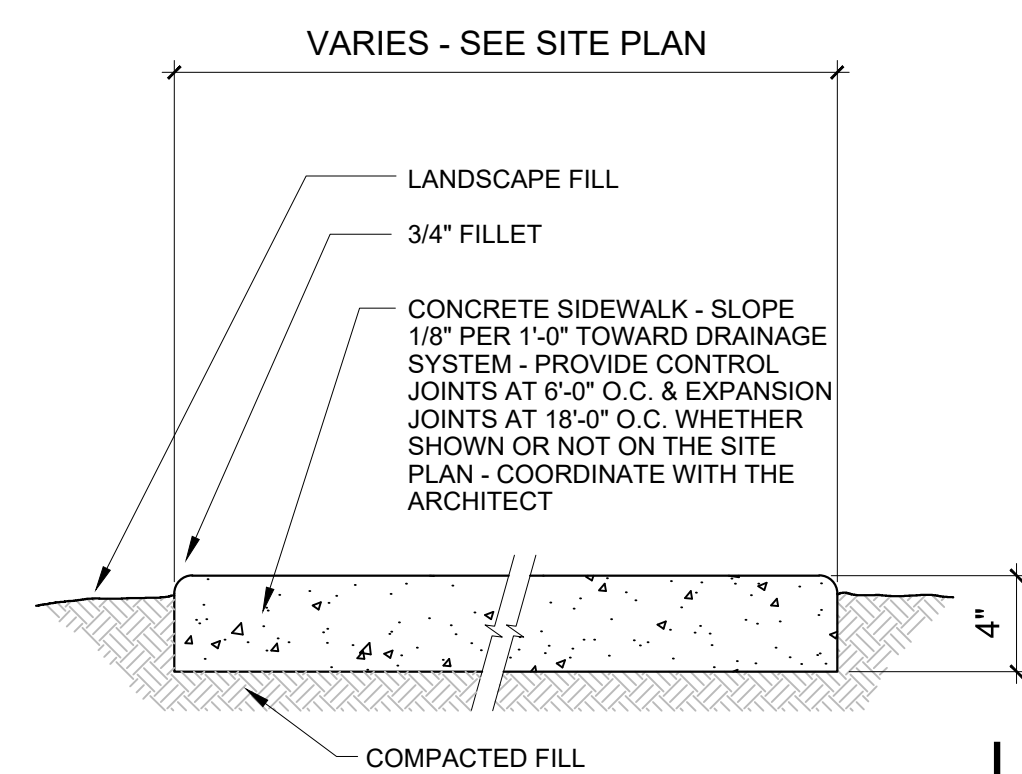
SITE PLAN

SCALE: 1" = 30'-0"



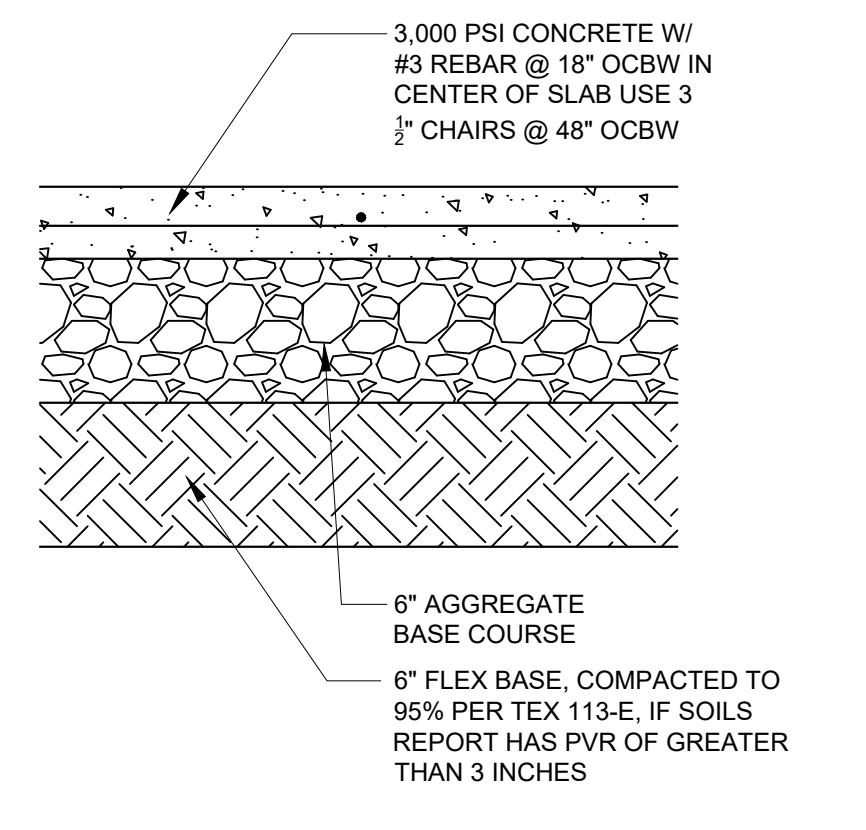
ADA PARKING

SCALE: 1/8" = 1'-0"



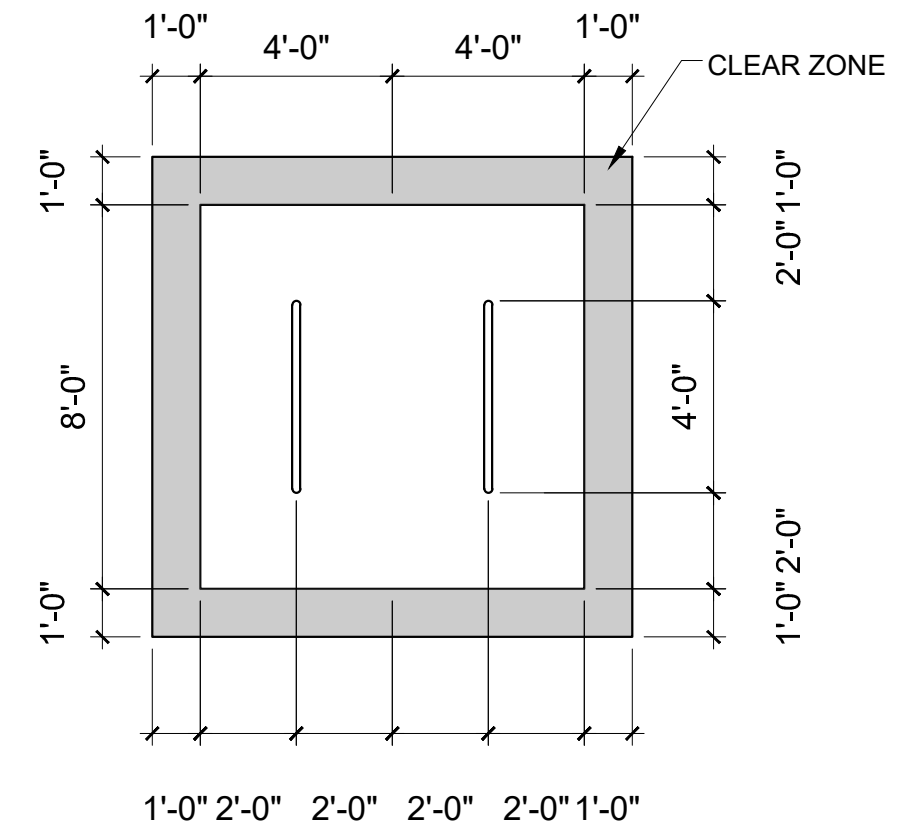
SIDEWALK DETAIL

SCALE: 1 1/2" = 1'-0"



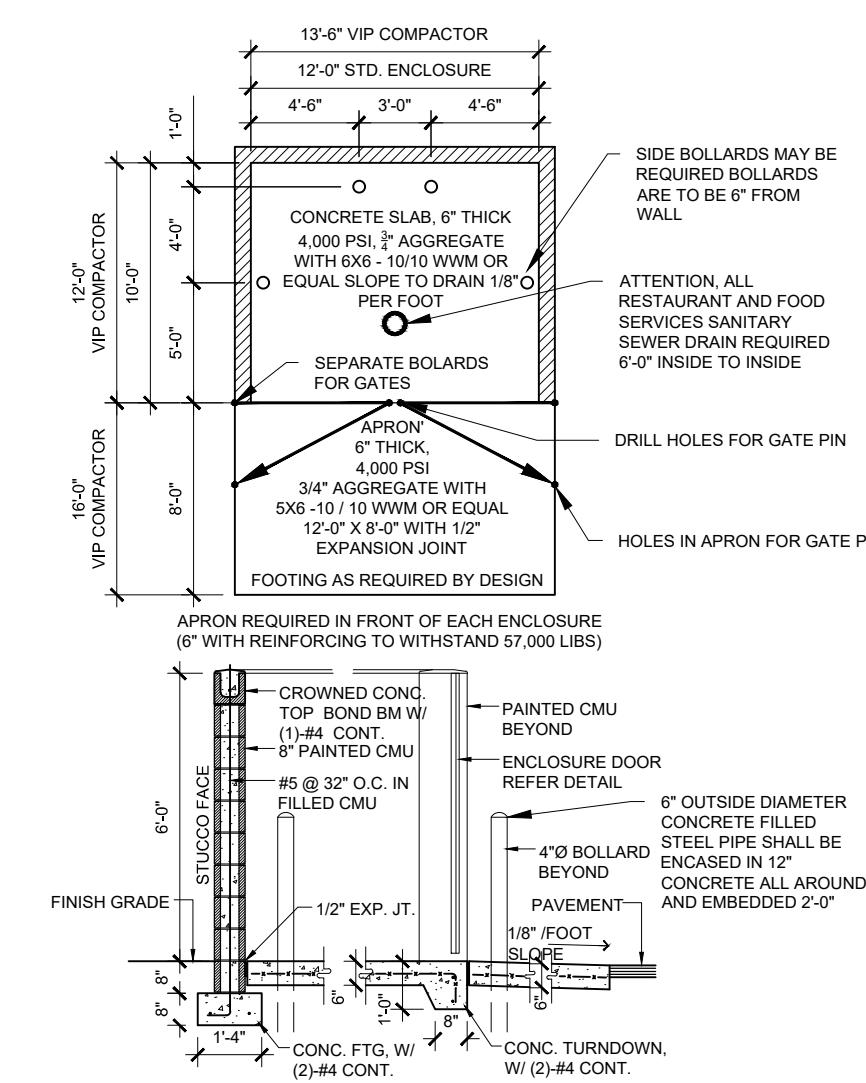
LOW ALBEDO PAVING SECTION

SCALE: NTS



BIKE PARKING

SCALE: 1/4" = 1'-0"



REFUSE ENCLOSURE

SCALE: 1/8" = 1'-0"

NOTE: ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

PROVIDE ELECTRIC VEHICLE CHARGER AT EACH BAY OF LEASED GARAGES.

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO

UPC: 101705731123943209
LEGAL: BLOCK 44, VALLEY VIEW ADDITION
ZONING: MX-M (UC-MS-PT)
ZONE ATLAS PAGE: K-17

GROSS LOT AREA = 1,6139 AC = 70,301 SF
BUILDING FOOTPRINT = 31,561 SF
NET LOT AREA = 38,740 SF
REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF ; 74,520 SF PROVIDED

PARKING:
MULTI-FAMILY
1 BEDROOM: 72 EACH X 1 SPACES (UC-MS-PT) = 72 SPACES
2 BEDROOM: 24 EACH X 1 SPACES (UC-MS-PT) = 24 SPACES
LEASING OFFICE 668 SF X 0.0035 = 2.4 SPACES REQUIRED
TOTAL SPACES REQUIRED = 98 SPACES
SPACES PROVIDED = 115 SPACES
98 SPACES X 2% = 3 CHARGING SPACES REQUIRED, 6 PROVIDED

HC REQUIRED: 3 STANDARD, 2 VAN
MOTORCYCLE PARKING 151-300 SPACES: 4 SPACES REQUIRED / 6 PROVIDED
BIKE PARKING 10% OF 115: 12 REQUIRED, 12 SPACES PROVIDED

IDO TABLE 5-1-2 OPEN SPACE:
1 BEDROOM: 72 EA X 225 SF X 0.5 (UC-MS-PT) = 8,100 SF
2 BEDROOM: 24 EA X 285 SF X 0.5 (UC-MS-PT) = 3,420 SF

TOTAL REQUIRED = 11,520 SF

GRADE LEVEL OPEN SPACE = 10,937 SF PROVIDED
UPPER FLOOR BALCONIES & DECKS = 2,278 SF PROVIDED

KEYED NOTES

- A. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- B. 12 SPACE BIKE RACK, REF DETAIL THIS SHEET
- C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- D. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- E. NEW FIRE HYDRANT
- F. IRRIGATION BOX
- G. NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- H. FIRE DEPT. CONNECTION
- I. HC PARKING SYMBOL
- J. 6" CMU WALL
- K. CURB, REF DETAIL THIS SHEET
- L. EXISTING PROPERTY LINE
- M. VEHICULAR GATE
- N. EXISTING POWER POLE. NEW POWER POLES WILL BE AGAINST BACK OF CURB.
- O. KNOX BOX
- P. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- Q. EXISTING CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2418, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- R. 6" WROUGHT IRON FENCE
- S. REFUSE CONTAINER, REF DETAIL THIS SHEET
- T. RECYCLING CONTAINER, REF DETAIL THIS SHEET
- U. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING C
- V. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING A
- W. PEDESTRIAN GATE
- X. EXISTING LIGHT POLE TO REMAIN
- Y. NEW FIRE HYDRANT
- Z. EXISTING BRICK PAVERS TO REMAIN
- AA. EXISTING LANDSCAPE TO REMAIN
- AB. "DO NOT ENTER" SIGN, REF DETAIL THIS SHEET
- AC. WALL MOUNTED CAR CHARGING STATION

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER



AREA MAP

SCALE: NTS

SCOTT C. ANDERSON & associates architects
4419 4th St. NW, Ste. B
Albuquerque, NM 87107
505.401.7575

THE SIXTY-SIX
4501 CENTRAL AVE NE
ALBUQUERQUE, NM 87108

DRAWING TITLE
SITE PLAN

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	A-100
DATE	3/6/2023

SEAL: SCOTT C. ANDERSON, REGISTERED ARCHITECT, No. 4341, 3/6/2023