

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 7, 2020

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: CARE OPC, Admin, & Living Room Addition & Renovation
5901 Zuni Rd. SE
Grading and Drainage Plan
Engineer's Stamp Date: 07/23/20
Hydrology File: K18D017A**

Dear Mr. Arfman:

PO Box 1293

Based upon the information provided in your submittal received 07/28/2020, the Grading & Drainage Plan is approved for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

CARE Administration Addition

Project Title: & Renovation Building Permit #: _____ Hydrology File #: K18/

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 6A, Tijeras Place Improvement Co Inc (NSL) Assessment

City Address: 5901 Zuni Road SE - Albuquerque, NM 87108

Applicant: Isaacson & Arfman, Inc. Contact: Fred C. Arfman

Address: 128 Monroe Street NE - Albuquerque, NM 87108 Bryan J. Bobrick

Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil.com

bryanb@iacivil.com

Owner: County of Bernalillo Contact: _____

Address: 1 Civic Plaza NW - Albuquerque, NM 87102

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: July 27, 2020 By: Fred C. Arfman

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



DEVELOPMENT REVIEW SECTION SUBMITTAL

BERNALILLO COUNTY
PUBLIC WORKS DIVISION
Permit Section
2400 Broadway SE
Albuquerque, NM 87102
505-848-1500

- ☒ New Submittal
☐ Re-Submittal
☐ Final Sign-off

Date: July 27, 2020

Case No: _____

Owner:

Owner: County of Bernalillo	Phone: _____
Mailing Address: 1 Civic Plaza NE	City and ZIP: Albuquerque, NM 87102

Agent:

Agent/Contractor: Isaacson & Arfman, Inc.	Phone: (505) 268-8828
Mailing Address: 128 Monroe Street NE	City and ZIP: Albuquerque, NM 87108
State License No. _____	Exp. Date: _____
Volume: _____	Class: _____
Architect/Engineer: Fred C. Arfman	License No. 7322
Phone: (505) 268-8828	
EMAIL: freda@iacivil.com	

Site Information:

Site Address Directions: 5901 Zuni Road SE (on Zuni Rd SE between Valencia Drive SE and San Pedro Drive SE)	
Lot Size: _____	Zone Atlas Page: K-18
Legal Description: Lot 6A, Tijeras Place Improvement Co Inc (NSL) Assessment	
Existing Building(s) and use: _____	Proposed Building(s): _____
UPC No. 1 0 1 8 0 5 7 1 9 1 0 2 5 3 1 3 0 4	

Type of Submittal

☐ Building Permit (BRBP) ☐ Minor Subdivision (SRP) ☐ Major Subdivision (SC) ☐ Traffic Scoping Report/Traffic Impact Analysis (PWTR) ☐ Construction Drawings (PWCO) ☐ Infrastructure List/Engineer's Cost Estimate ☒ Grading and Drainage Plan (PWDN) ☐ As-Built Grading and Drainage Plan/Engineer's Certification ☐ As-Built Construction Drawings ☐ Re-plat	☐ 15% Drainage Waiver Document (East Mountain Area) ☐ Storm Water Pollution Prevention Plan (PWSW) ☐ Excavation Permit (PWEP) ☐ Design Review Fee (PWMP) ☐ Access Permit (PWMP) ☐ Grading Permit (PWMP) ☐ Paving Fee (PWMP) ☐ Sidewalk Permit (PWMP) ☐ Curb and Gutter Permit (PWEP) ☐ Curb Cut Permit (PWEP)	☐ Road Maintenance Statement Document ☐ Recorded Drainage Covenant Document ☐ Recorded Drainage Easement Document ☐ Elevation Certificate Document ☐ NMDOT Access Document ☐ Special Use Permit (ZCSU) ☐ Barricading Permit (TRBA) ☐ Copies of Recorded Plat ☐ Site Plan ☐ Inspection ☐ Waiver Lot Application ☐ Variance Request review by the Development Review Section
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All Grading & Drainage submittals must include a PDF copy in addition to hard copy in order to be accepted for review

PDF version attached: _____ Disc or e-mail: _____

The issuance of a permit or a review or approval of plan specification, computation, and shop drawings, shall not be interpreted to be a permit for or an approval of any variance or violation of the provisions of any County or State Codes, ordinances, standards or policies. Nor shall such issuance of a permit or approval of plans, specification, computations, and shop drawing prevent any authorized COUNTY representative or COUNTY inspector form thereafter requiring the correction of errors in said plans, specification, computations, or shop drawings or from stopping construction operations which are being carried on there under when in violation of any COUNTY or STATE codes, ordinances, standards, or policies.

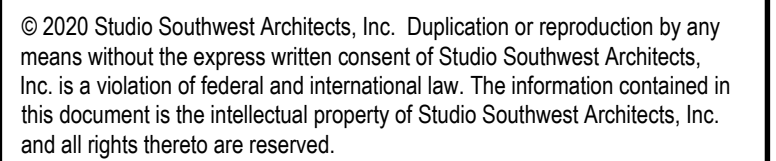
☐ OWNER ☒ AGENT ☐ CONTRACTOR

Signature: **Fred C. Arfman**
Isaacson & Arfman, PA

Date: July 27, 2020

BERNALILLO COUNTY USE ONLY

C/R's	Total Fee	
	Receipt No.	
	Received By:	



Isaacson & Arfman, Inc.
Civil Engineering Consultants

Architect	Engineer
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5901 Zuni RD SE
ABQ, NM 87108

[illegible]

PROPERTY: THE SITE IS A FULLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-18. THE SITE IS BOUND TO THE EAST BY PAVED PARKING, TO THE WEST BY VALENCIA DR. SE, TO THE NORTH BY MULTIFAMILY APARTMENT COMPLEX AND TO THE SOUTH BY ZUNI ROAD SE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN OFFICE AND TRAINING ROOM ADDITION WITH ASSOCIATED SITE IMPROVEMENTS AND LANDSCAPING. THE NEW BUILDINGS WILL REPLACE EXISTING BUILDINGS, GRAVEL AND LANDSCAPING.

LEGAL: A PORTION OF LOT 6A, TIJERAS PLACE IMPROVEMENT SUBDIVISION,
CITY OF ALBUQUERQUE.

ADDRESS: 5901 ZUNI RD SE, ALBUQUERQUE, NM 87108

OWNER: BERNALILLO COUNTY

BENCHMARK: "ACS 17-K19 1990" ELEVATION=5344.35', (NAVD 1988)

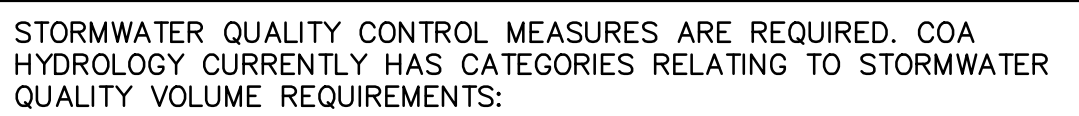
OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPOSED DEVELOPMENT. ON-SITE FLOW WILL BE REROUTED AROUND THE PROPOSED IMPROVEMENTS TO CONTINUE ALONG THE HISTORIC FLOWPATHS.

FLOOD HAZARD: PER FEMA FLOOD HAZARD FIRM MAP #35001C0354H, EFFECTIVE DATE 08/16/2012 THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN. THE ADJACENT ROAD, ZUNI BLVD. IS ENCUMBERED BY A ZONE A FLOODZONE BUT THE AREA TO BE DEVELOPED IS NOT IMPACTED BY THIS FLOODZONE.

DRAINAGE PLAN CONCEPT:

THE PROPOSED ADDITION WILL MATCH± (SEE PLAN) THE EXISTING BUILDING FF ELEVATION. DUE TO A FLAT GRADING SCHEME, THE EAST ADDITION WILL DRAIN TO A SERIES OF STORMWATER RETENTION BASINS. AS THE BASINS FILL, THE OVERFLOW WILL DISCHARGE THROUGH THE EXISTING TURNED BLOCKS AT THE SOUTHWEST CORNER OF THE EXISTING WALLED YARD TO FOLLOW THE HISTORIC FLOWPATHS.

1. CONSTRUCT NEW WALK AT ELEVATIONS SHOWN. CROSS-SLOPE 2% MAX.
2. NEW STORMWATER QUALITY / WATER HARVESTION POND. MAXIMUM WATER SURFACE ELEVATION = 5286.6 BASED ON EXISTING OVERTFLOW ELEVATION THROUGH TURNED BLOCKS IN EXISTING WALL (SEE KEYED NOTE 3) AND PROPOSED FLOWLINE ELEVATION OF NEW PIPES THROUGH WALL (SEE KEYED NOTE 4).
3. REMOVE ALL OBSTRUCTIONS TO EXISTING TURNED BLOCKS. CONSTRUCT 3'x3'x6" CONCRETE PAD (MATCH EXISTING OPENING FLOWLINE ELEVATION).
4. CORE THROUGH WALL AND INSTALL THREE 6" DIA. CAST IRON PIPES AT 1' O.C. FLOWLINE ELEVATION = 86.6. CONSTRUCT 3'x3'x6" CONCRETE PAD AT PIPE ENTRANCE AND 3'x3'x6" CONCRETE RUNDOWN FROM PIPE OUTLET TO BOTTOM OF PROPOSED POND AS SHOWN.
5. RELOCATED PORTABLE. F.F. ELEVATION DETERMINED BY REUSING EXISTING RAMP STRUCTURE. SEE ARCHITECTURAL.
6. SAWCUT 4 LF OF CURB FROM EAST SIDE OF 'U' CHANNEL.
7. ROOF DISCHARGE LOCATION. SEE ARCHITECTURAL FOR DESIGN INTEGRATED EROSION CONTROL AT OUTLETS.
8. INSTALL 2' WIDE X 8" DEEP X 4" AVG. DIA. COBBLE ROCK AROUND POND PERIMETER TO DEFINE AND PROTECT EDGE. COORDINATE WITH ARCHITECT. TOP OF ROCK = 5286.6.
9. INSTALL 6" AVG. DIA. X 1' DEEP ANGULAR ROCK ON POND SIDESLOPES > 3:1.
10. INSTALL THREE 6" DIA. CAST IRON DRAINPIPES (1' O.C.) BENEATH CRUSHER FINES PATH TO PASS ROOF DISCHARGE TO SOUTH POND.
11. CONSTRUCT 18" WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT PER C&G STD. DWG. 2236 AT FLOWLINE ELEVATIONS SHOWN.
12. OWNER'S OPTION: INSTALL 12" DIA. STORM DRAIN WITHIN SANITARY SEWER SERVICE TRENCH (SEE PLAN FOR INVERT ELEVATIONS.) CAP EACH END FOR FUTURE EXPANSION.
13. FUTURE EXPANSION OF STORM DRAIN SYSTEM MAY PROVIDE DRAINAGE OF WALLED AREA RETAINED STORMWATER TO EXISTING STORM DRAIN SYSTEM (OTHER THAN STORMWATER QUALITY RETENTION REQUIRED.)



EXISTING CONSTRUCTION: EXISTING IMPERVIOUS AREA TO REMAIN IS EXEMPT.

REDEVELOPMENT: EXISTING IMPERVIOUS AREA THAT IS BEING REDEVELOPED (REMOVED/REPLACED) IS SUBJECT TO A REDUCED RATE OF 0.26"/SF.

BECAUSE THIS PROPERTY WAS PREVIOUSLY FULLY DEVELOPED, THE
REQUIRED FIRST FLUSH RETENTION VOLUME = 0.26" * TYPE 'D' AREA:
 $0.26/12 * (6,650 \text{ SF}) = 144 \text{ CF}$.

WATER QUALITY RETENTION IS PROVIDED IN THE EAST POND (38S CF) AND THE SOUTH POND (283 CF).

A DRAINAGE COVENANT MAY BE REQUIRED FOR THE STORMWATER QUALITY FIRST FLUSH PONDS.

5284 ——— EXISTING CONTOUR
 5283.21 EXISTING SPOT ELEVATION
 ——— 85 PROPOSED 1.0' CONTOUR
 ◆ 83.5 PROPOSED SPOT ELEVATION
 ——— FLOW DIRECTION
 FF = 5287.11 FINISH FLOOR ELEVATION

CALCULATIONS: 2344 C.A.R.E. Admin. Addition : July 24, 2020

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol. 2, dated Jan., 1993

100-YEAR, 6-HOUR CALCULATIONS

AREA OF SITE TO BE DEVELOPED:		19000	SF	=	0.44		ACRE
100-year, 6-hour							
HISTORIC FLOWS:		DEVELOPED FLOWS:		EXCESS PRECIP:			
	Treatment SF	%		Treatment SF	%		Precip. Zone
Area A =	0	0%	Area A =	0	0%	E _A	= 0.66
Area B =	13300	70%	Area B =	11400	60%	E _B	= 0.92
Area C =	1900	10%	Area C =	950	5%	E _C	= 1.29
Area D =	3800	20%	Area D =	6650	35%	E _D	= 2.36
Total Area =	19000	100%	Total Area =	19000	100%		

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$

Historic E:	=	1.25 in.	Developed E:	=	1.44 in.
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On-Site Volume of Runoff: V₃₆₀ = I^HPA / 12

Historic V ₃₆₀	=	1971 CF	Developed V ₃₆₀	=	2284 CF
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On-Site Peak Discharge Rate: Q_p = Q_{PA}A_A + Q_{PB}A_B + Q_{PC}A_C + Q_{PD}A_D / 43,560
For Precipitation Zone 3

Q _{PA}	=	1.87	Q _{PC}	=	3.45
Q _{PB}	=	2.60	Q _{PD}	=	5.02

Historic Q _p	=	1.38 CFS	Developed Q _p	=	1.52 CFS
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3CG-101