

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

December 8, 2023

Scott C. Anderson, R.A.  
Scott C. Anderson & Associates Architects  
2818 4<sup>th</sup> St. NW Suite C  
Albuquerque, NM 87107

**Re: Children's Promise Centers**  
**401 Alvarado Dr. NE**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 08-04-22 (K18-D022)  
Certification dated 11-29-23

Dear Mr. Anderson,

Based upon the information provided in your submittal received 12-06-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please review the approved plan dated on the Traffic Certification. The Architect Stamp is dated 08/04/22.
- Please fix the concrete cracked on the public sidewalk on the eastside of the site off Avarado Dr.



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- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**
- The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- Per site visit, this ramp does not comply with ADA standards. Please install an ADA compliant ramp that meet the ADA regulations (max. running slope should not exceed 8.2%).



PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

- Site accesses and public ADA curb ramps at the corner of Alvarado & Highland Rd. and at Highland & Palomas Dr. must be updated to current standards and have truncated domes installed.
- Per approved site plan, please provide two Motorcycle parking spaces and the pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
- Anchor down the bike rack.
- Tripping Hazard: sidewalk and landscape area at the south side of the playground must be at the same elevation.
- Please provide 6 ft. wide ADA pathway from the public sidewalk to the building entrance.



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Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

NM 87103

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

*Marwa Al-najjar*

[www.cabq.gov](http://www.cabq.gov)

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

Ma via: email

C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Children's Promise Center Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: 401 Alvarado Dr NE

Applicant/Agent: Scott Anderson Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: 505 401-7575

Email: scott@scaarchitects.com

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) \_\_\_\_\_ ☐ RESIDENCE  
☐ DFT SITE ☐ ADMIN SITE

RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 12/5/2023



**SCOTT C. ANDERSON**  
& associates architects  
2818 4th St NW, Suite C Albuquerque NM 87107  
scott@scaarchitects.com  
505.401.7575

November 29, 2023

**Ms. Marwa Al-najjar, PE**  
Planning Department  
Transportation Development  
600 2<sup>nd</sup> St. NW, Suite 201  
Albuquerque, NM 87102  
505 924-3675  
malnajjar@cabq.gov

Re: Traffic layout certification, 401 Alvarado Dr SE

Dear Ms. Al-najjar:

I, Scott C. Anderson NMRA #4341, of the firm Scott C. Anderson & Associates Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 2/23/2023 and approved by the City of Albuquerque on 3/2/2023. The original design was performed by Daniel Puzak of Aria Studio Consultants Inc. The record information edited onto the original design document has been obtained by Scott Anderson. I further certify that I have personally visited the project site on 11/29/2023 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

The deviations from the approved TCL are as follows:

The curb ramps located at the corner of Alvarado Dr SE & Highland Rd SE and Palomas Dr SE and Highland Rd SE have not been installed.

Install HC signs.

Add "NO PARKING" at HD loading area

An existing light pole and landscape island are not shown on the plan

The sidewalk from the HC ramp to the front door was not installed

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

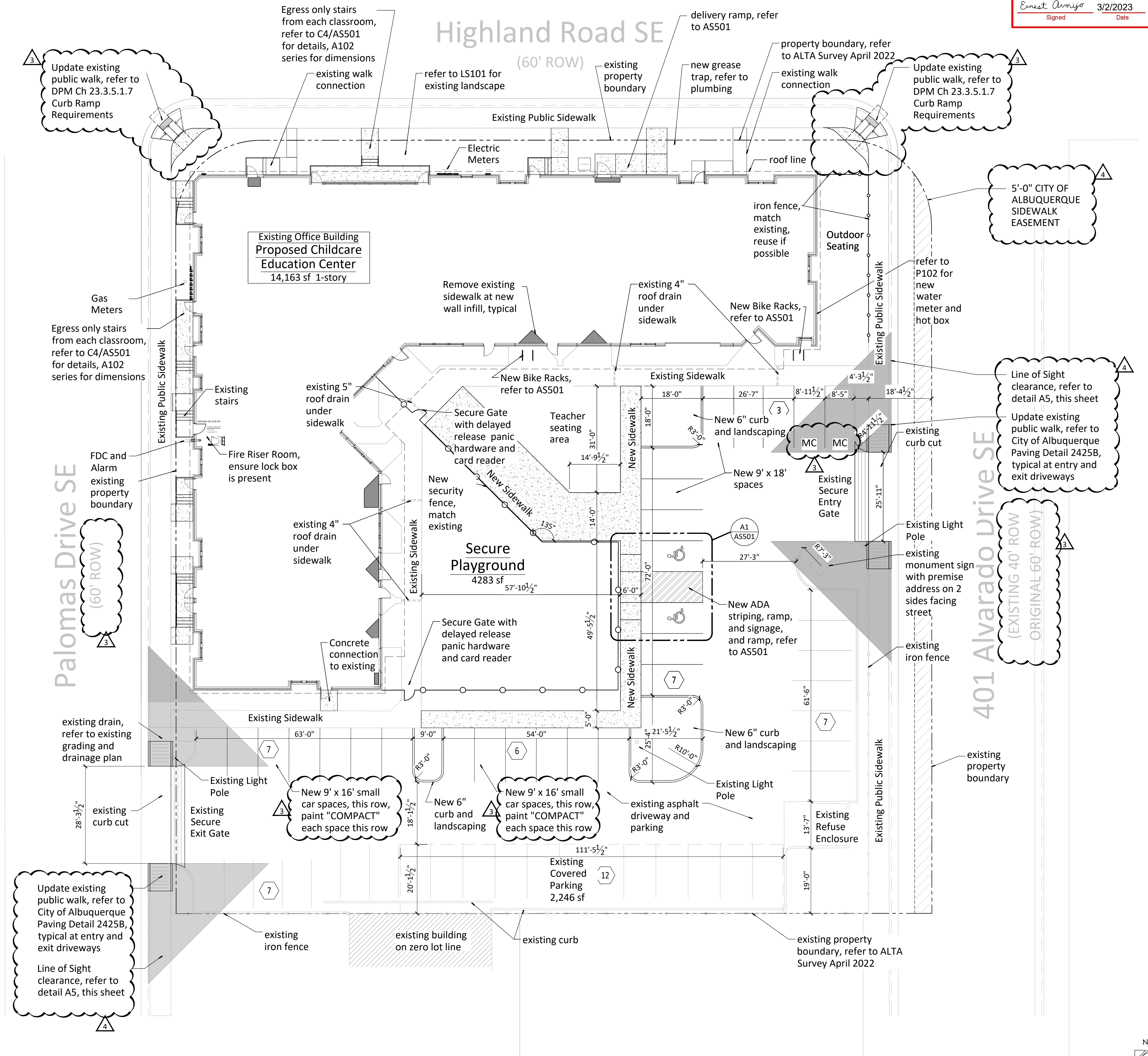
  
\_\_\_\_\_  
Signature Architect

11/29/2023  
Date









TRAFFIC CIRCULATION  
LAYOUT APPROVED

Ernest Arriaga 3/2/2023  
Signed Date

**Architectural Site Plan**

**Code Referenced**  
City of Albuquerque IDO (effective 2022-05-27)  
Mixed Use Medium Intensity (MX-M)

**Address and Legal Description**  
401 Alvarado Drive SE, Albuquerque, NM 87108  
UPC 101606332550410706  
LOT 1A BLOCK 61 TIERRAS PLACE BEING A REPLAT OF LOTS 1-9 & 16-24 BLK 61  
TIERRAS & THE VACATED WSLY 20' OF ALVARADO DR SE CONT 1.130 AC M/L  
1.0285 Acres

**Type of Development & Occupant Load**

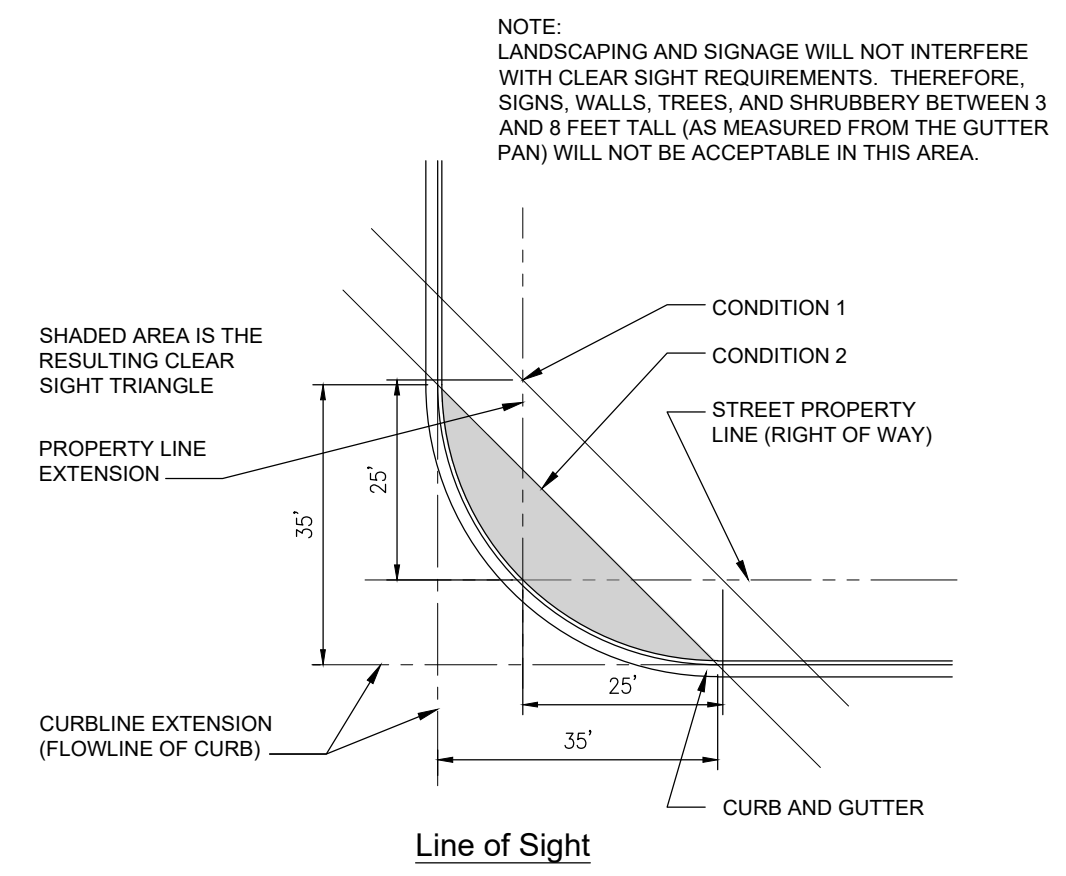
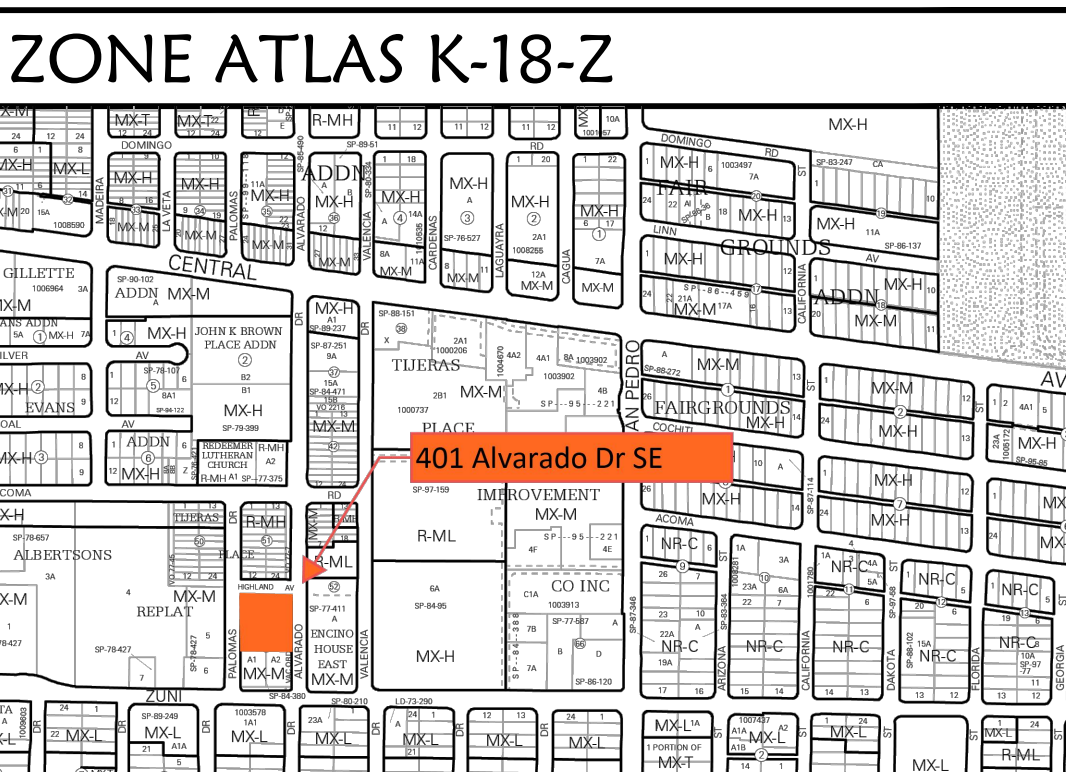
Child Care Facility with Kitchen	11,434 sf
Future Adult Vocational Training	2,729 sf
Playground (Accessory)	4,283 sf

**Parking Required (Table 5-5-1)**

Child Care	1 space per 400 sf	28.59
Adult Training	3 spaces per 1000 sf	8.19
Playground	no requirement (verify with city planner)	
Total spaces required		36.77
Motorcycle		2.00
Bicycle		8.19
Total spaces provided		49 spaces includes 2 ADA spaces (1 van) 8 bicycle, 2 motorcycle

**Executive Summary**  
Interior remodel of 14,163 sf existing office building, fully sprinkled. Existing footprint to remain unchanged. Existing exterior elevations to remain unchanged. Partial removal of existing asphalt for new playground (design under separate permit) seating area, fencing, site lighting (refer to electrical).

- GENERAL SITE NOTES**
- A. For dimensions, refer to A102 series. All dimensions are to grid, framing or face of brick, unless noted otherwise. Clear or minimum dimensions are to finish.
  - B. Refer to existing grading and drainage plan for reference and drain in sidewalk detail
  - C. Contractor is responsible for safe and adequate shoring of all parts of the structure during construction.
  - D. Contractor to protect all doors, casework, exterior brick, windows, ceiling tiles, and plumbing fixtures for owner inspection and re-use.
  - E. All exterior and interior columns to remain.
  - F. All flooring to be removed and concrete prepared for new flooring, see Finishes Plan A131.
  - G. All exterior concrete to slope away from the building at 1/8" per foot minimum and have a broom finish.
  - H. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter, refer to City of Albuquerque standard detail drawings 2415A and 2430.



**ARIA**

STUDIO CONSULTANTS, INC  
100 Gold Ave. SW, Suite 205,  
Albuquerque, NM 87102  
Daniel@ariasinc.com (505) 506-2314

Alterations  
Children's Promise Centers LLC  
401 Alvarado Drive SE  
Albuquerque, NM 87108

Architect/Engineer Seal

MARK	DATE	DESCRIPTION
4	02/23/2023	TCL COMMENTS
3	02/06/2023	TCL COMMENTS
2	01/05/2023	OWNER CHANGES
1	09/23/2022	COA PERMIT COMMENTS
REVISIONS		
ISSUE	Permit Review	
PROJECT NO	2207-Children's Promise TI	
CAD DWG FILE	2124_ABCBBC_A100s	
DRAWN BY	DGP	
CHECKED BY	DGP	
DATE	August 4, 2022	

Architectural Site Plan  
Traffic Circulation Layout

AS101