

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 26, 2022

Daniel Puzak, RA
Aria Studio Consultants, INC
100 Gold Ave SW, Suite 205
Albuquerque, NM 87102

Re: Children's Promise Centers LLC
401 Alvarado Dr. SE
Traffic Circulation Layout
Architect's Stamp 08-04-22 (K18-D022)

Dear Mr. Puzak,

Based upon the information provided in your submittal received 10-13-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify the right of way width, medians, curb cuts, and street widths on Alvarado Dr., Highland Rd., and Palomas Dr. SE.
2. Clarify existing property lines and proposed property lines.
3. Site accesses: Driveway accesses off Alvarado Dr., and Palomas Dr. should Curb Return Design with minimum 20 ft. radii.
4. Due to proposing gates, please provide Vehicle Turning Template.
5. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
6. ADA curb ramp at the corner of Alvarado dr. and Highland rd. must be updated to current standards and have truncated domes installed.
7. ADA curb ramp at the corner of Highland rd. and Palomas dr. must be updated to current standards and have truncated domes installed.
8. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
9. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
10. All sidewalks along streets should be placed at the property line.
11. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
12. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
13. Provide a copy of Fire Marshal approval.

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14. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
15. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
16. Please specify the City Standard Drawing Number when applicable.
17. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
18. Please provide a letter of response for all comments given.
19. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

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Once corrections are complete resubmit

Albuquerque

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

NM 87103

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675

www.cabq.gov

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File

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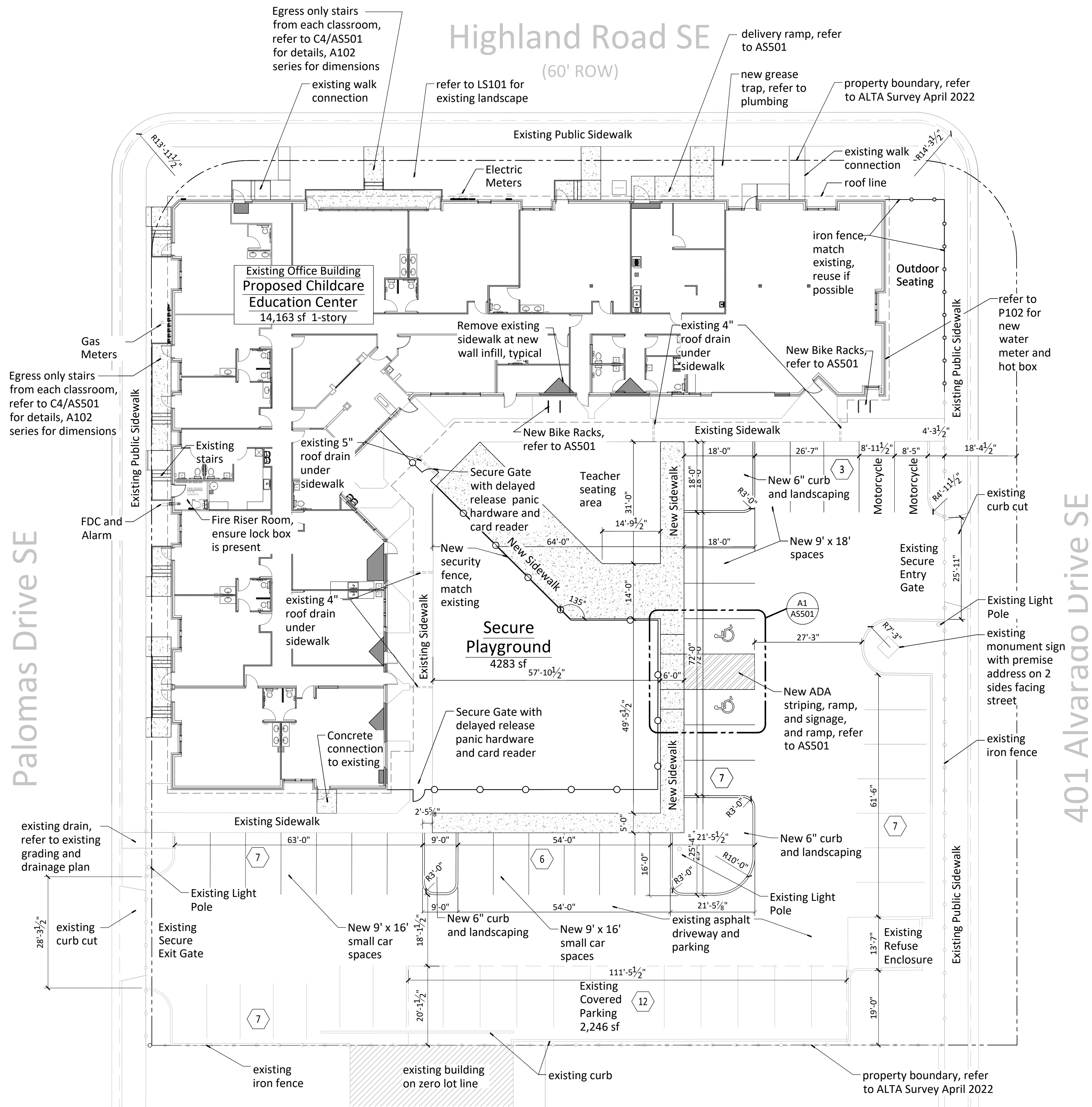
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Architectural Site Plan

Code Referenced

City of Albuquerque IDO (effective 2022-05-27)
Mixed Use Medium Intensity (MX-M)

Address and Legal Description

401 Alvarado Drive SE, Albuquerque, NM 87108
UPC 101606332550410706
LOT 1A BLOCK 61 TIJERAS PLACE BEING A REPLAT OF LOTS 1-9 & 16-24 BLK 61
TIJERAS & THE VACATED WSLY 20' OF ALVARADO DR SE CONT 1.130 AC M/L
1.0285 Acres

Type of Development & Occupant Load

Child Care Facility with Kitchen	11,434 sf
Future Adult Vocational Training	2,729 sf
Playground (Accessory)	4,283 sf

Parking Required (Table 5-5-1)

Child Care	1 space per 400 sf	28.59
Adult Training	3 spaces per 1000 sf	8.19
Playground	no requirement (verify with city planner)	
Total spaces required		36.77
Motorcycle		2.00
Bicycle		8.19
Total spaces provided		49 spaces
		includes 2 ADA spaces (1 van)
		8 bicycle, 2 motorcycle

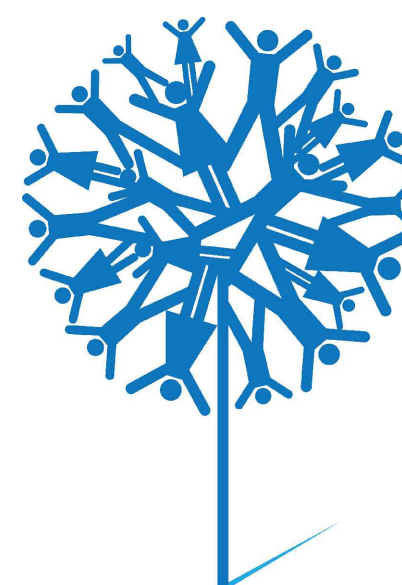
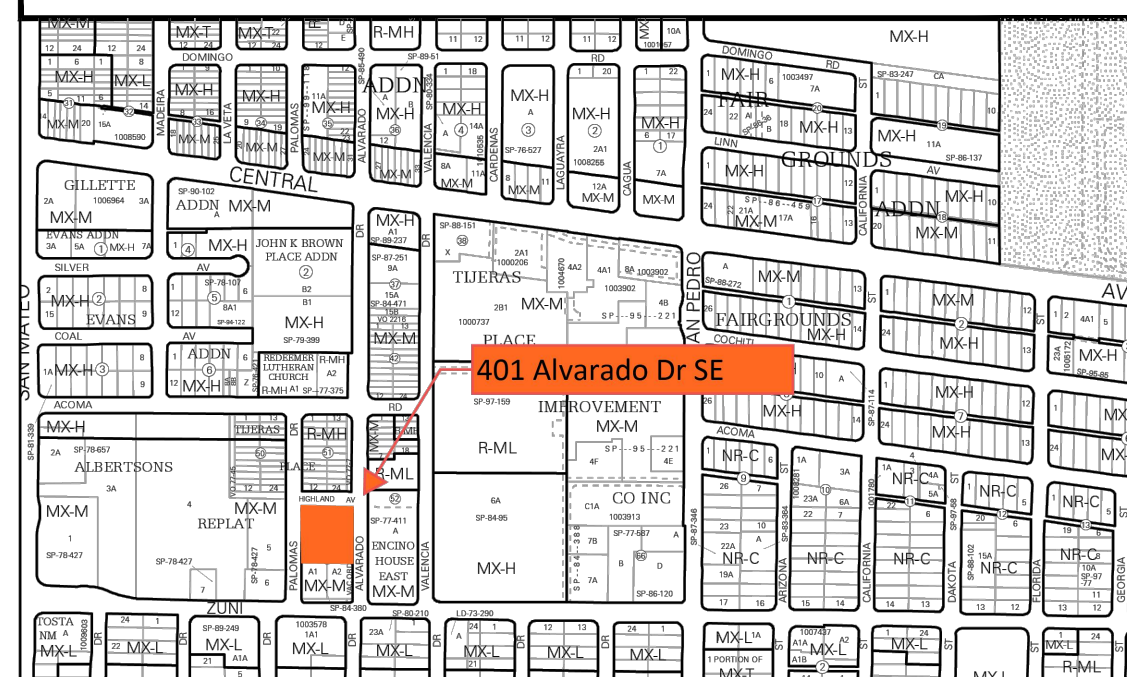
Executive Summary

Interior remodel of 14,163 sf existing office building, fully sprinkled. Existing footprint to remain unchanged. Existing exterior elevations to remain unchanged. Partial removal of existing asphalt for new playground (design under separate permit) seating area, fencing, site lighting (refer to electrical).

GENERAL SITE NOTES

- For dimensions, refer to A102 series. All dimensions are to grid, framing or face of brick, unless noted otherwise. Clear or minimum dimensions are to finish.
- Refer to existing grading and drainage plan for reference and drain in sidewalk detail.
- Contractor is responsible for safe and adequate shoring of all parts of the structure during construction.
- Contractor to protect all doors, casework, exterior brick, windows, ceiling tiles, and plumbing fixtures for owner inspection and re-use.
- All exterior and interior columns to remain.
- All flooring to be removed and concrete prepared for new flooring, see Finishes Plan A131.
- All exterior concrete to slope away from the building at 1/8" per foot minimum and have a broom finish.

ZONE ATLAS K-18-Z



Alterations
Children's Promise Centers LLC
401 Alvarado Drive SE
Albuquerque, NM 87108

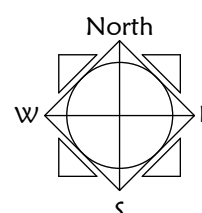


Architect/Engineer Seal

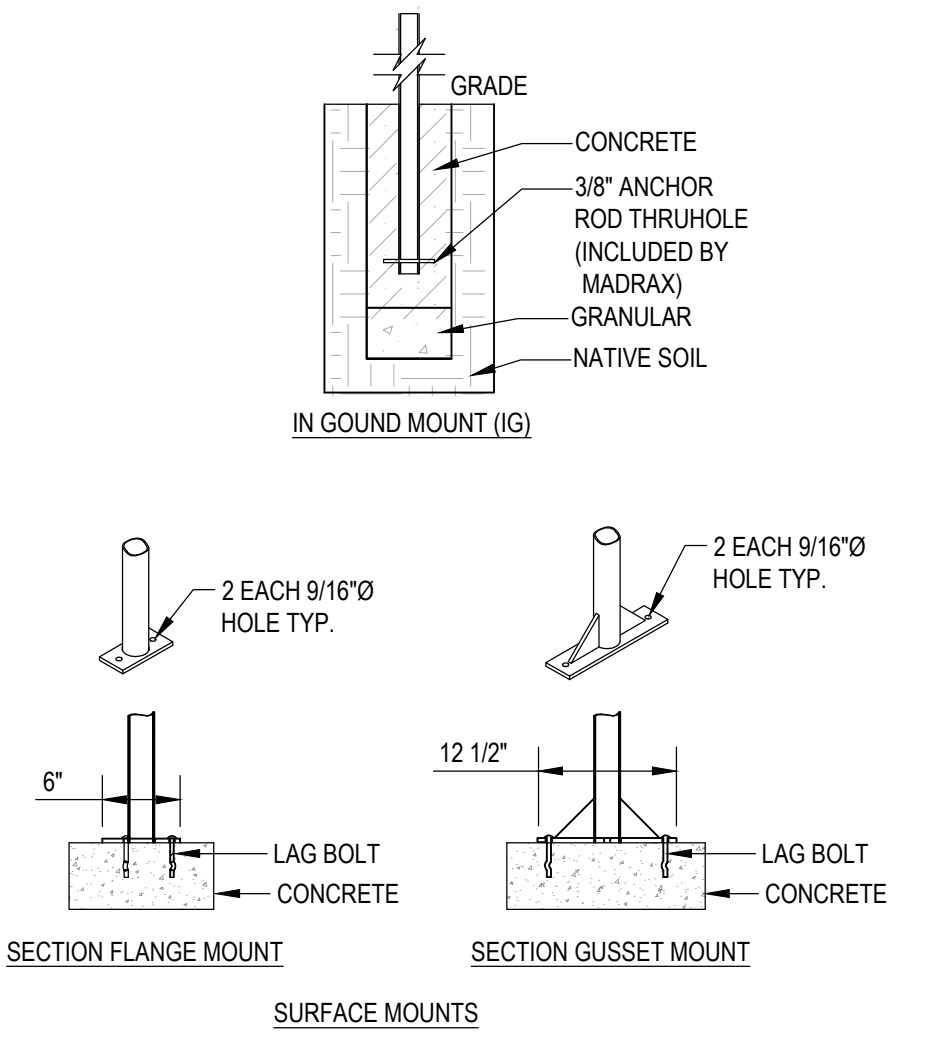
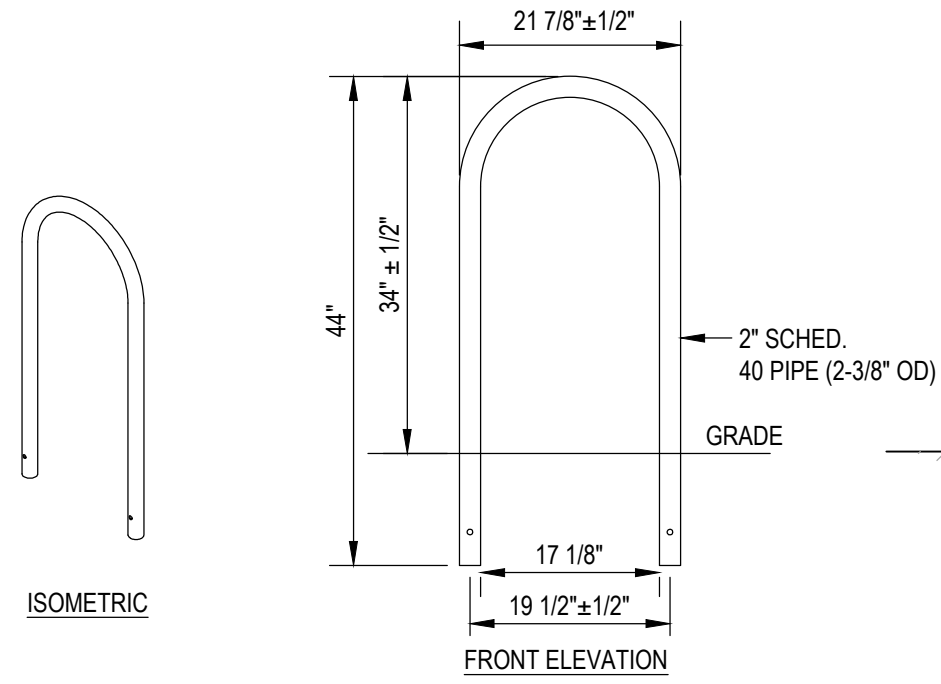
MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE		Permit Review
PROJECT NO		2207-Children's Promise TI
CAD DWG FILE		2124_ABCBBC_A100s
DRAWN BY		DGW
CHECKED BY		DGP
DATE		August 4, 2022

Architectural Site Plan
Traffic Circulation Layout

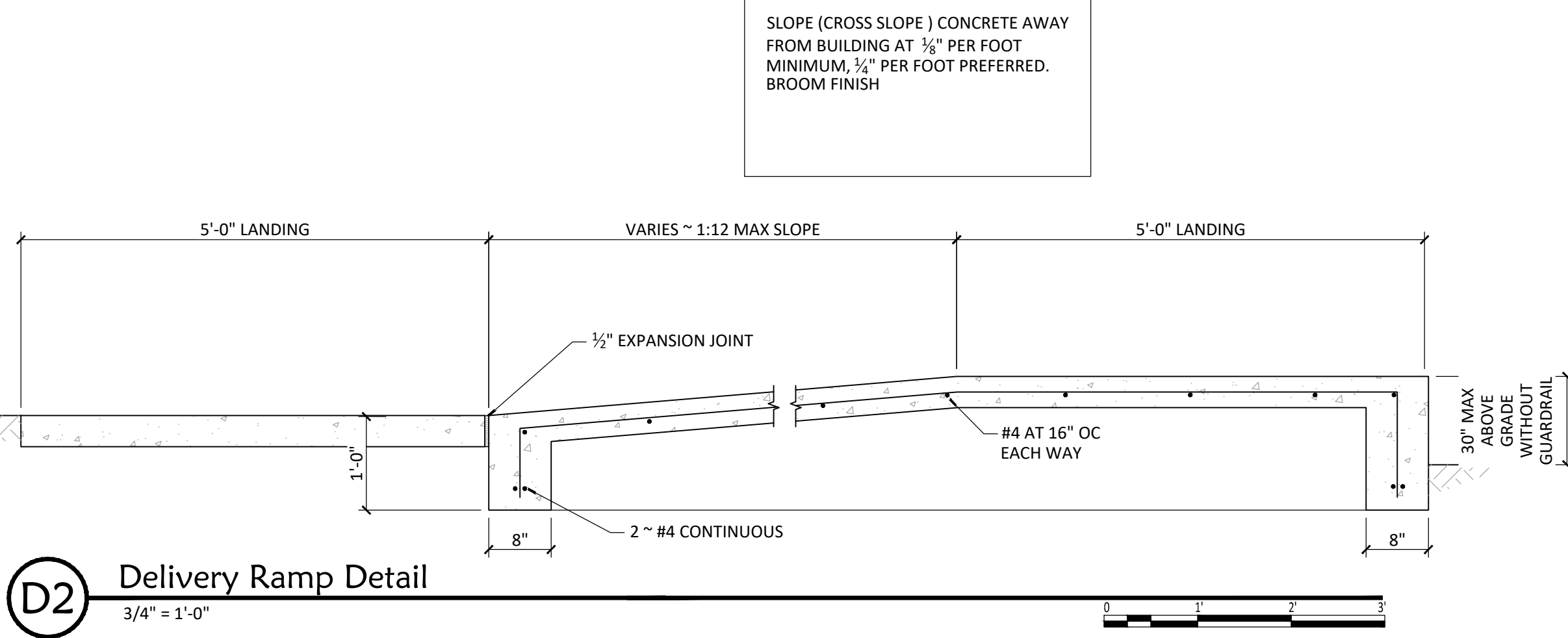
AS101



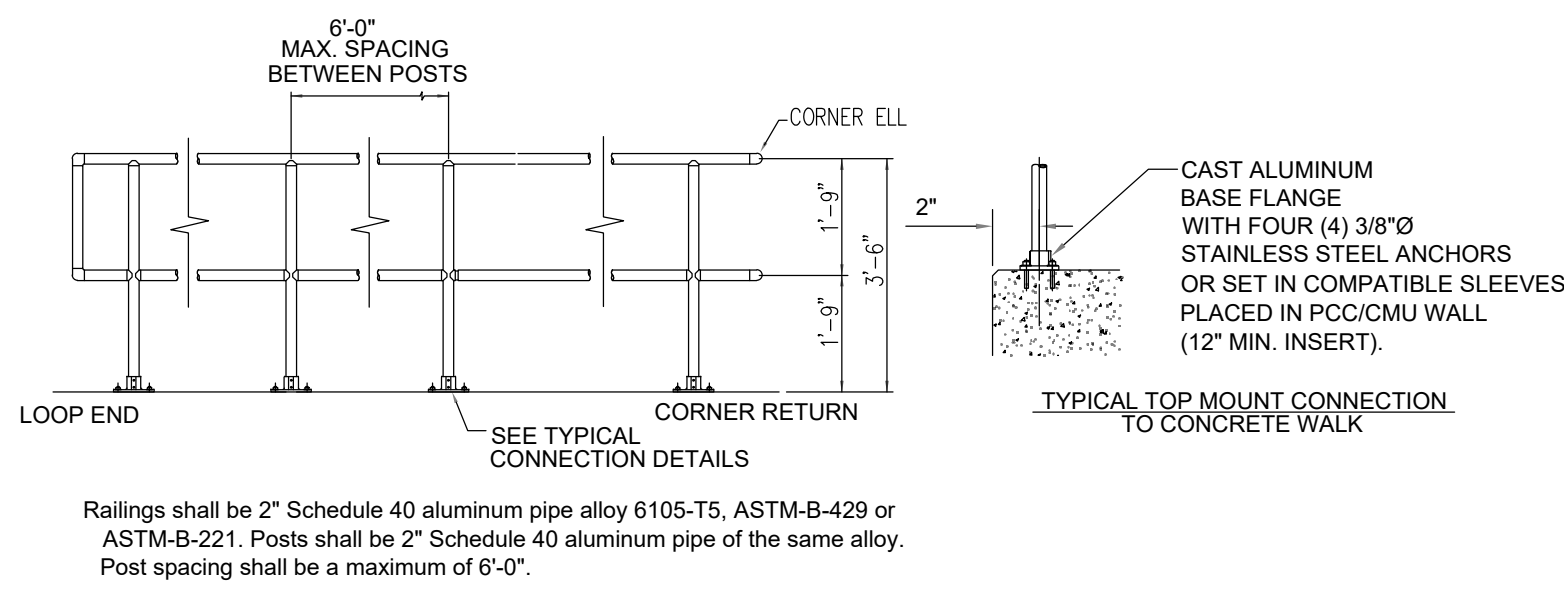
- NOTES:
- RACK SHALL BE MINIMUM 30" TALL BY 18" WIDE
 - A 1'-0" CLEAR ZONE AROUND BICYCLE PARKING STALL SHALL BE PROVIDED
 - BICYCLE PARKING SPACES SHALL BE AT LEAST 6'-0" x 2'-0"



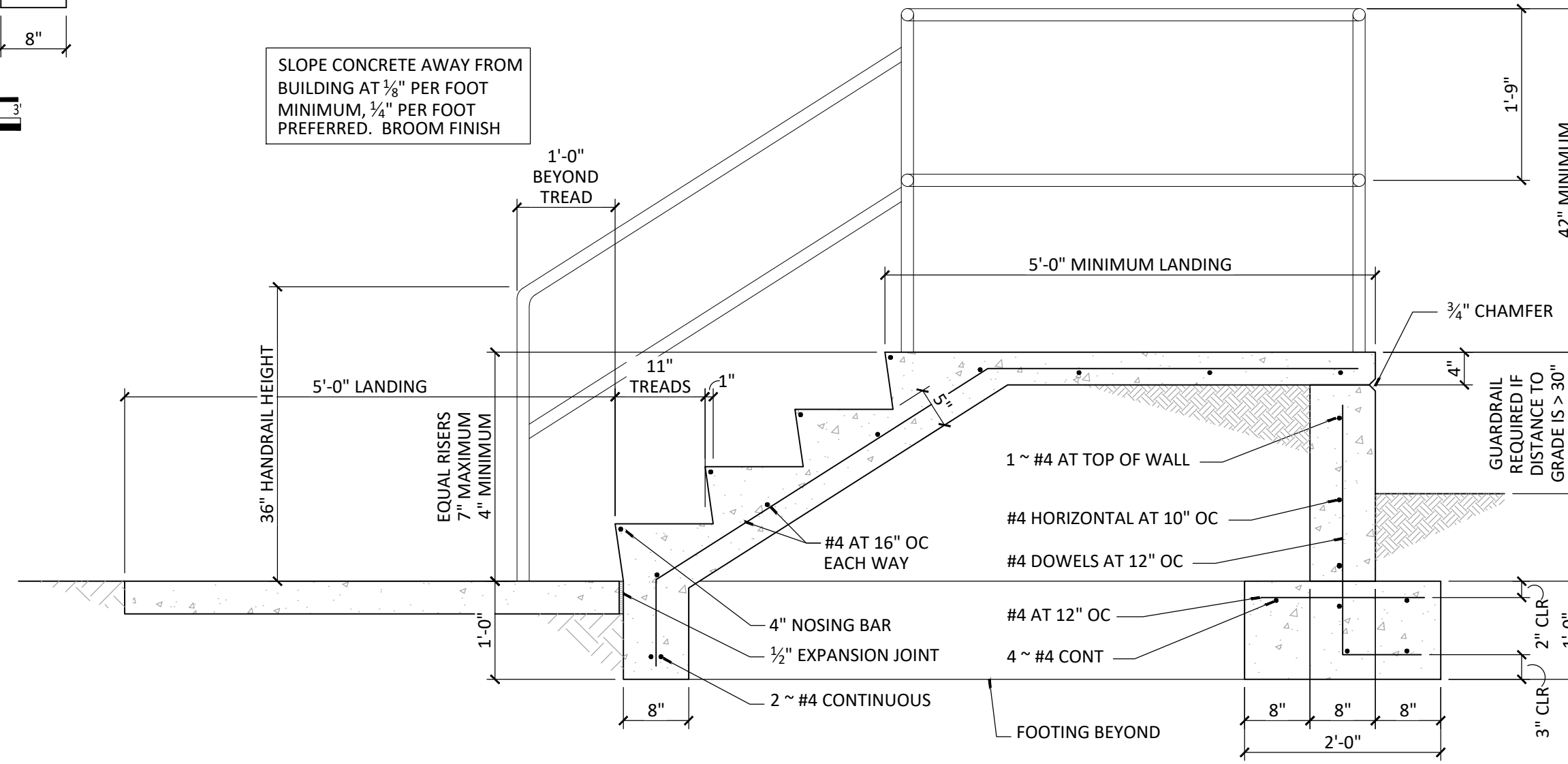
A1 Bicycle Rack
not to scale



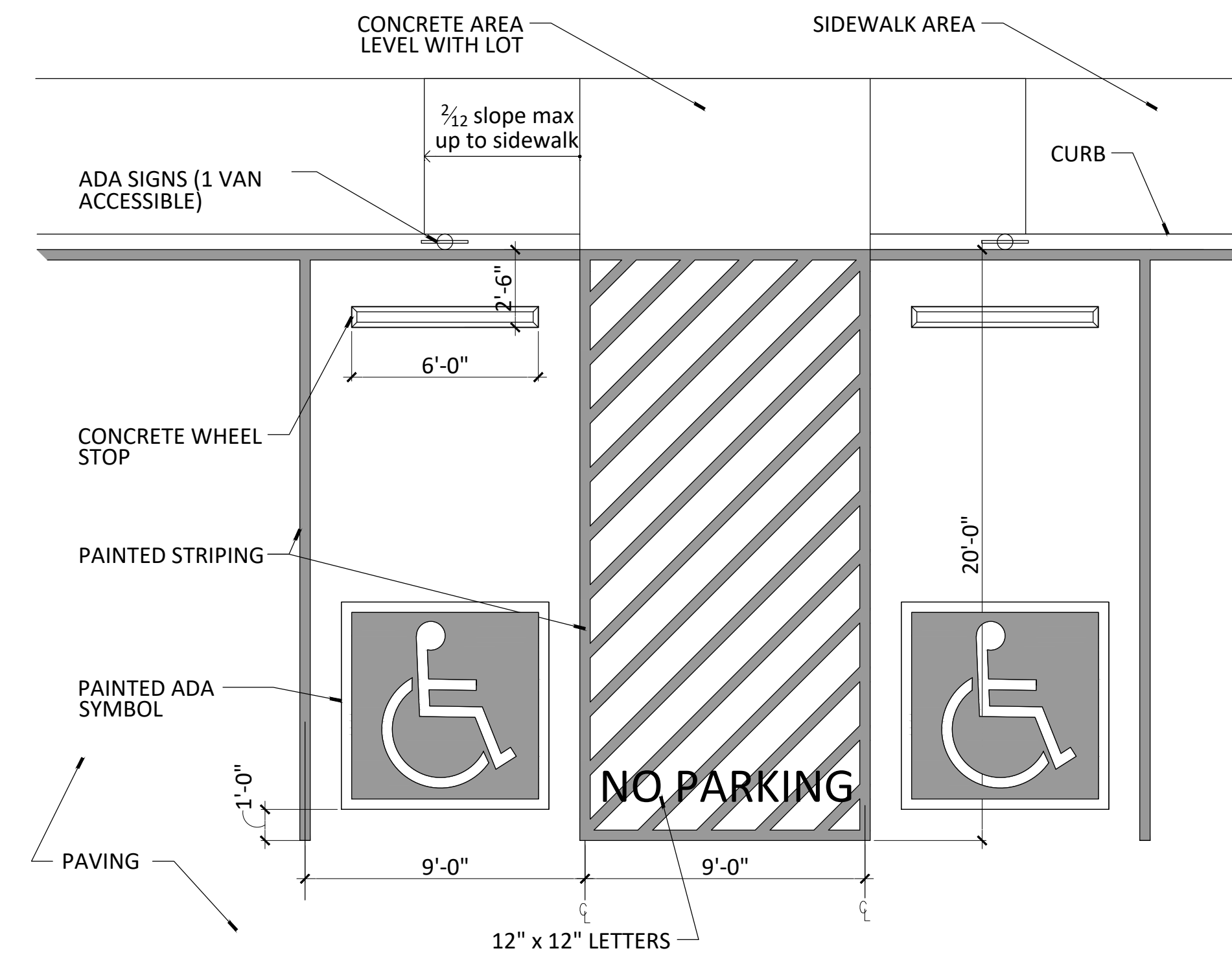
D2 Delivery Ramp Detail
3/4" = 1'-0"



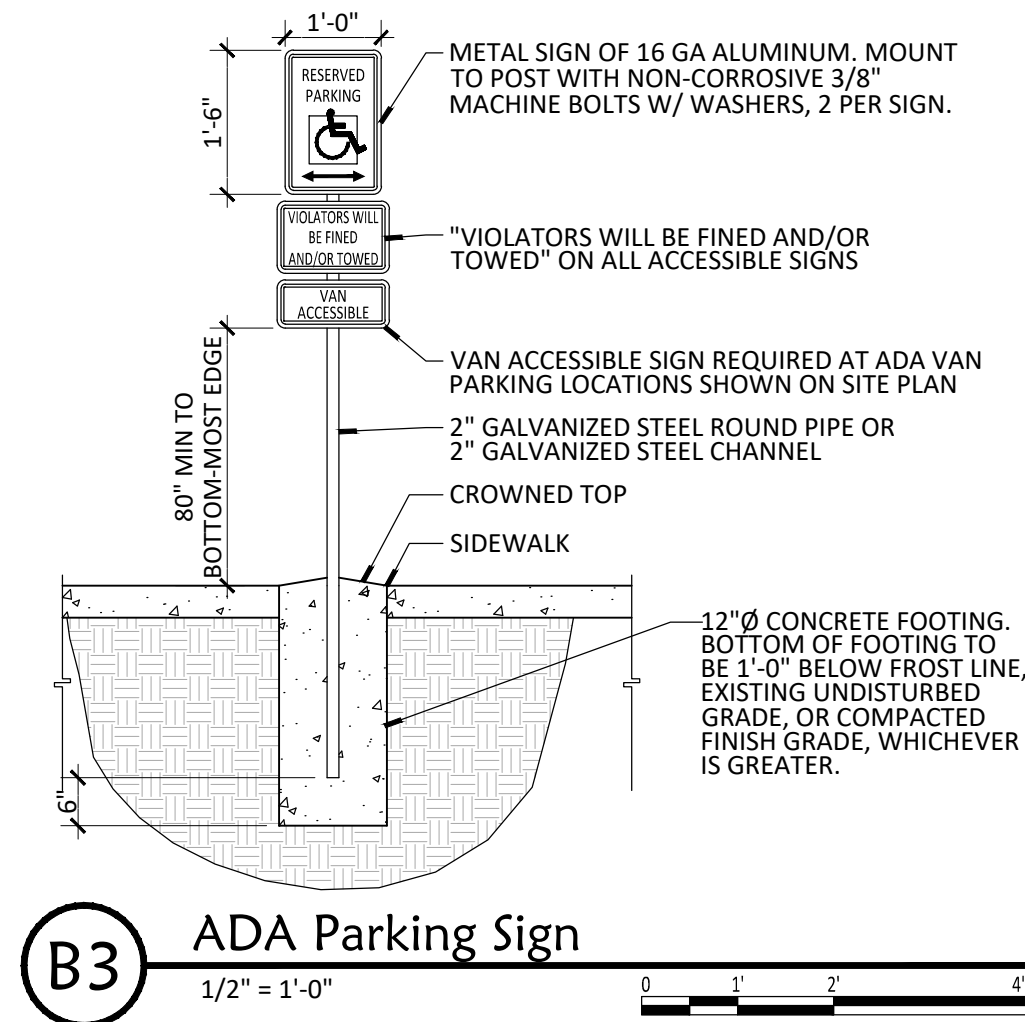
C2 2" Pipe Guardrail



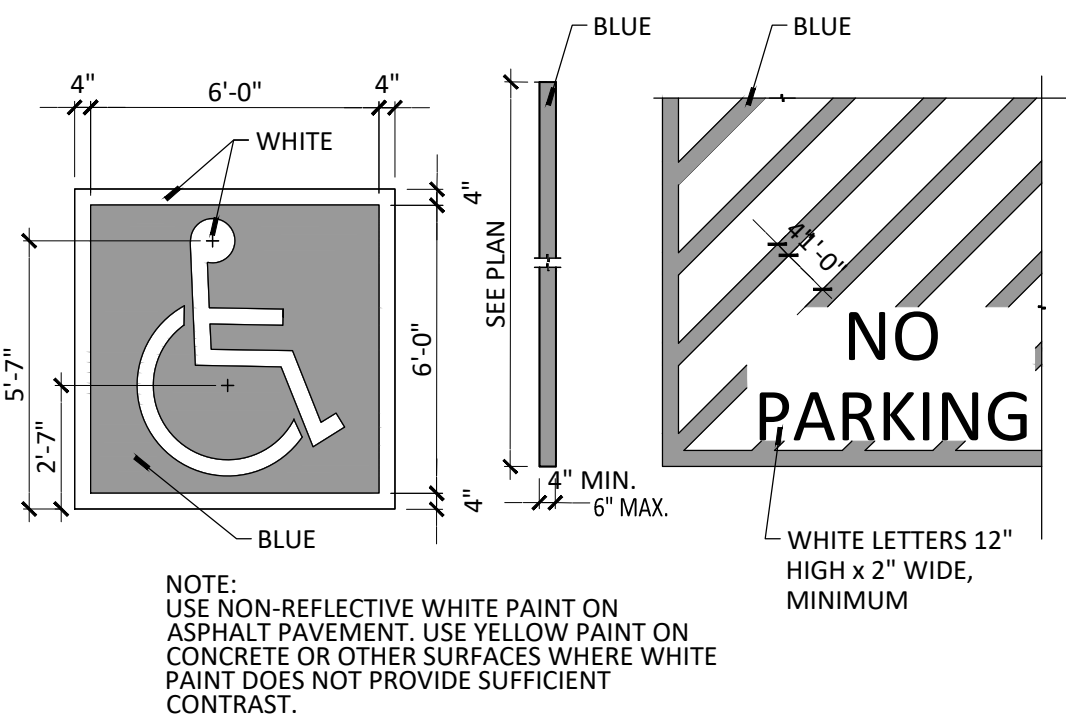
C4 Egress Stair Detail
3/4" = 1'-0"



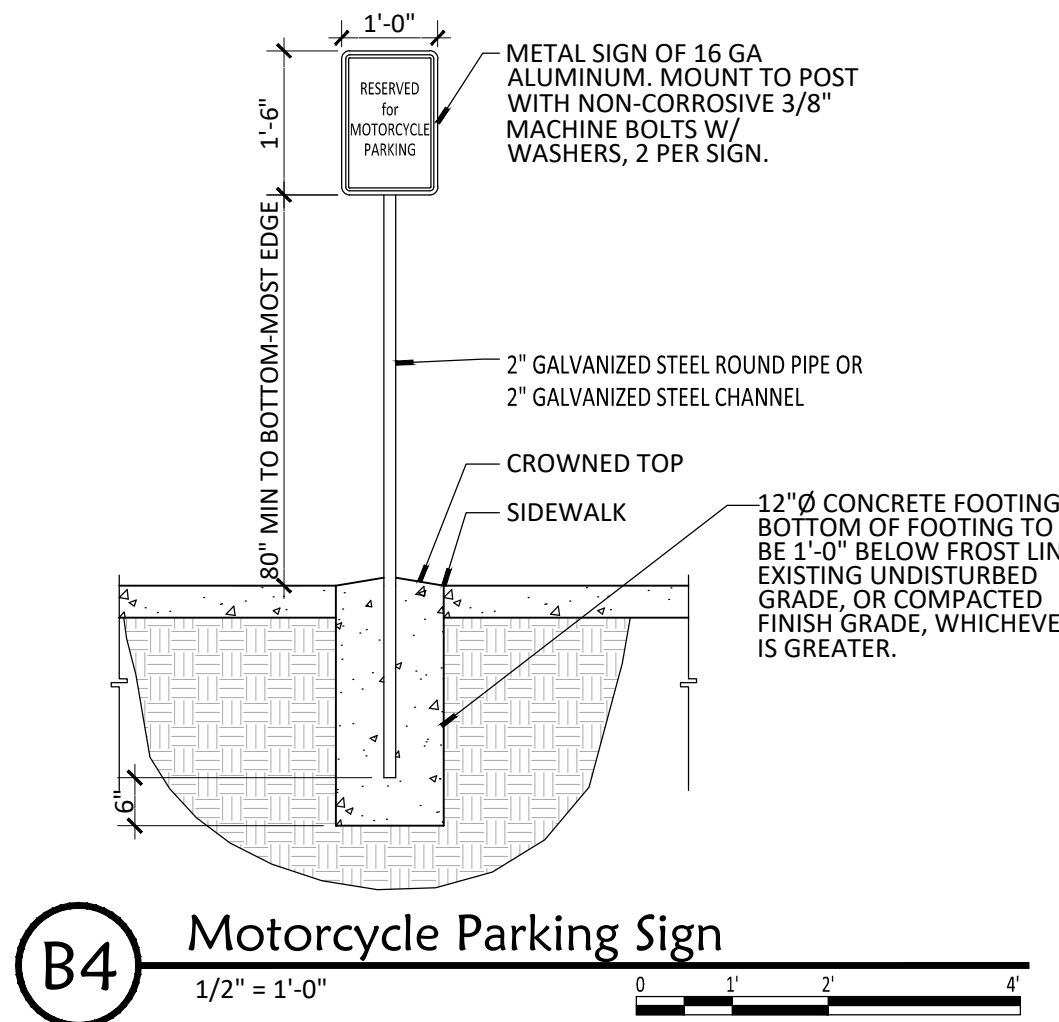
A1 Typical ADA Parking Space
1/4" = 1'-0"



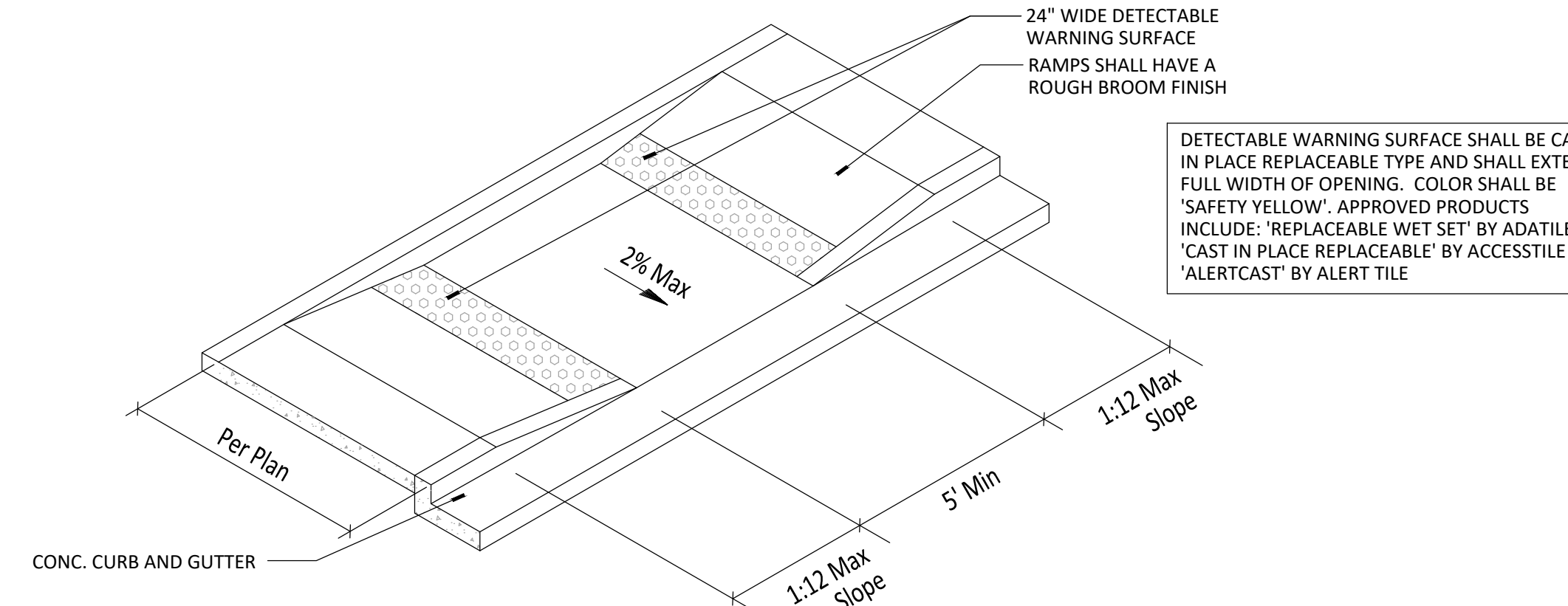
B3 ADA Parking Sign
1/2" = 1'-0"



A3 Parking Striping Detail
1/4" = 1'-0"



B4 Motorcycle Parking Sign
1/2" = 1'-0"

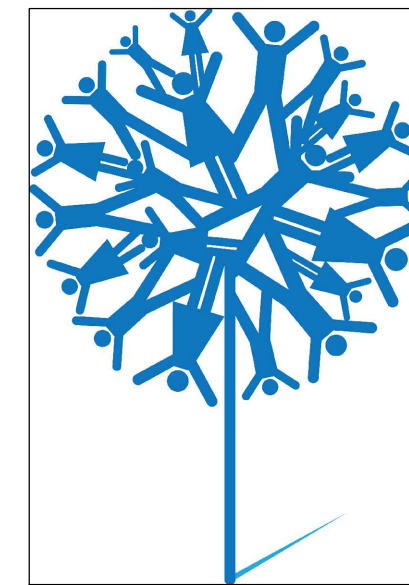


A4 ADA Ramp Detail

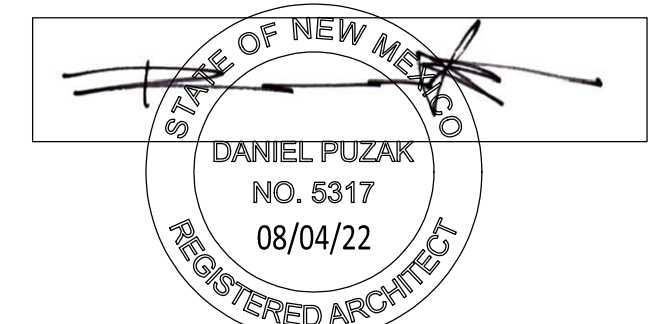


STUDIO CONSULTANTS, INC

100 Gold Ave. SW, Suite 205,
Albuquerque, NM 87102
Daniel@ariasinc.com (505) 506-2314



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Architect/Engineer Seal

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Site Details

AS501