

JUNE 14, 1987

Mr. Richard L. Duran
Hydrology Section
Public Works Department
The City of Albuquerque
Albuquerque , New Mexico 87103

Dear Mr. Duran:

This letter is to confirm the meeting we held in my office on this date concerning drainage for the construction project located at 6315 Linn N. E. (building permit no. 8504283)

As described on the drainage study included in the construction drawings this project is to be built in two phases. The existing phase is as shown on the drawings and located on tract "A" of the replat. The second phase is under design now and there is a tenant for this phase to be located on tract "B". It is anticipated that this phase should be completed within a years time.

The asphalt paving is largely located within the second phase boundary and will be installed with the second phase.

Should you have any question regarding this please give me a call.

Sincerely yours,

A handwritten signature in dark ink, appearing to read "Gene Dyer". The signature is stylized with a large, looped "G" and a trailing flourish.

Gene Dyer



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

December 19, 1985

Duane Logan
501 Kinley, NE
Albuquerque, New Mexico 87102

RE: DRAINAGE PLAN FOR OFFICE/WAREHOUSE @ 6313 LINN, NE
RECEIVED DECEMBER 3, 1985 (K-18/D34)

Dear Mr. Logan:

The referenced plan dated November 27, 1985, is approved for Building Permit. Prior to development of the future warehouse, please update this drainage plan.

Prior to Certificate of Occupancy release, the following items need to be submitted to this office:

1. City approved alley grades.
2. Replat of the lots.

At this time, I have reviewed the preliminary alley grades and been informed that the DRB date has been established for replatting.

If you have any questions, call me at 766-7644.

Cordially,

Carlos A. Montoya, P.E.
City/County Floodplain Administrator

CAM/bsj

MUNICIPAL DEVELOPMENT DEPARTMENT

DRAINAGE INFORMATION SHEET

CITY OF ALBUQUERQUE, N.M.

REVISED

PROJECT TITLE: Office-Warehouse ZONE ATLAS/DRNG. FILE #: K18-D34
LEGAL DESCRIPTION: Tract "A" (Lots 19, 10, and 21) Block 20, Fairgrounds Addn.
CITY ADDRESS: 6313 Linn NE

ENGINEERING FIRM: Duane Logan CONTACT: Same
ADDRESS: 501 Kinley, NE PHONE: 243-6353
OWNER: Gene Dyer CONTACT: Same
ADDRESS: Box 8705 PHONE: 266-7215
ARCHITECT: Gene Dyer CONTACT: Same
ADDRESS: As Above PHONE: _____
SURVEYOR: Duane Logan CONTACT: Same
ADDRESS: As Above PHONE: _____
CONTRACTOR: Lin-Com, Inc. CONTACT: Gene Dyer
ADDRESS: Box 8705 PHONE: 266-7215

RECEIVED
DEC 03 1985
HYDROLOGY SECTION

PRE-DESIGN MEETING:

☒ YES
☐ NO
☒ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

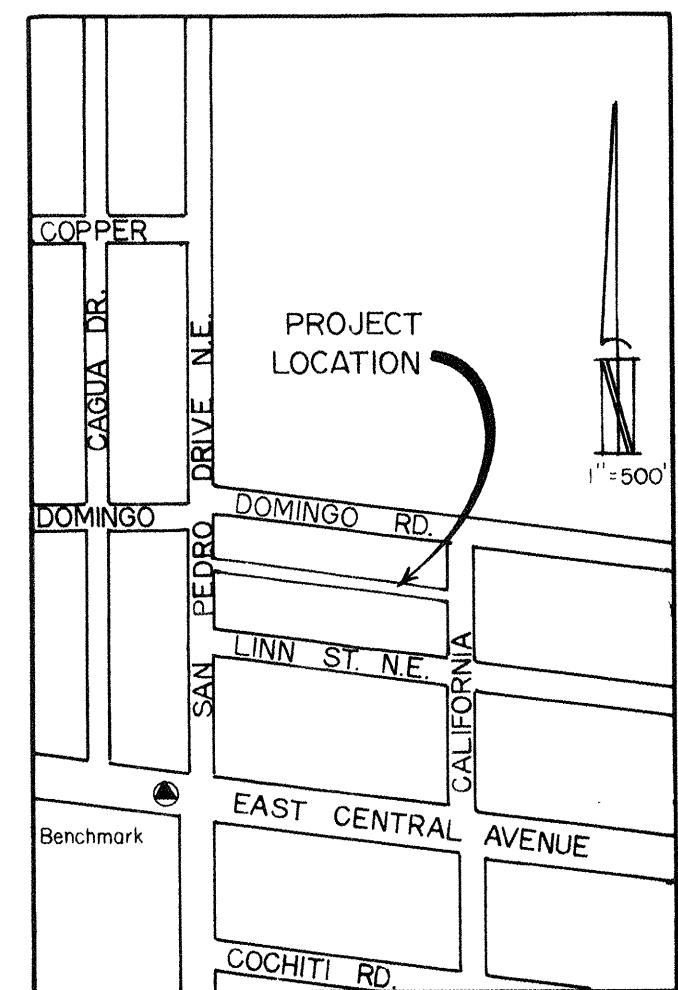
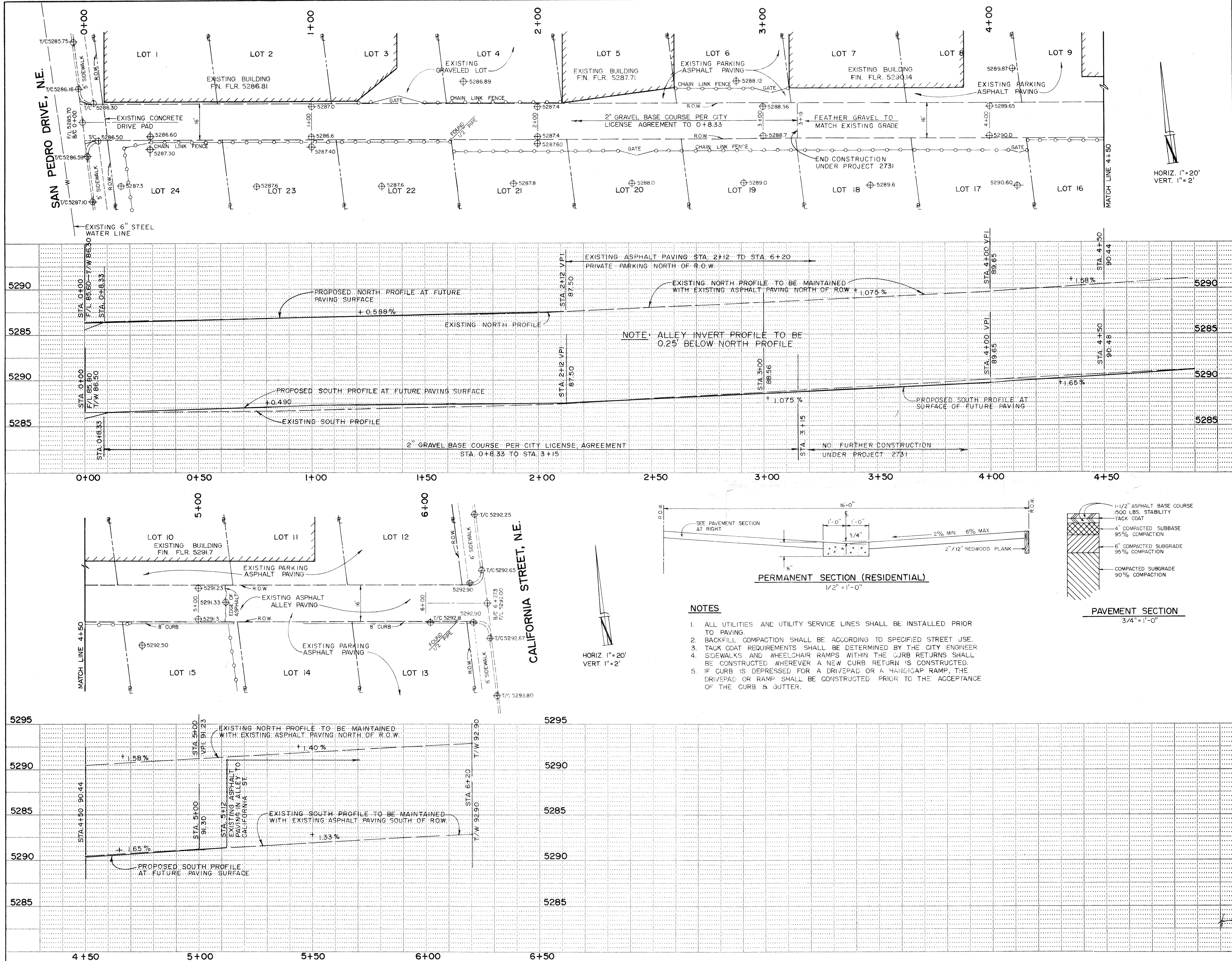
TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN REVISED
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: November 14, 1985 December 2, 1985BY: Duane Logan



VICINITY MAP

LEGAL DESCRIPTION

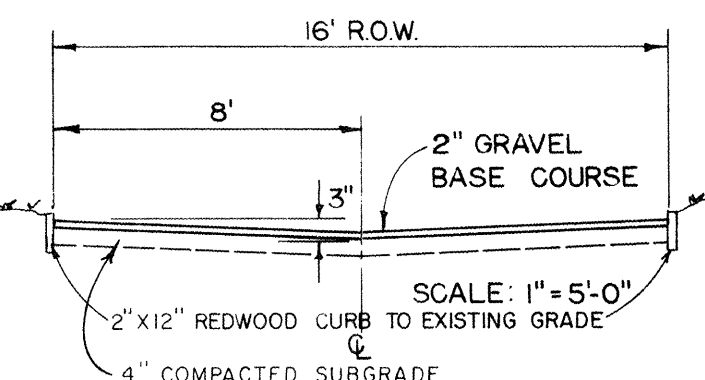
BLOCK 20, FAIRGROUNDS ADDITION,
ALBUQUERQUE, NEW MEXICO
FILED JANUARY 26, 1937 AND
REPLAT FILED 1-30-86 BOOK C29-PAGE 94

NOTES

- 2" GRAVEL BASE COURSE TO BE CONSTRUCTED ACCORDING TO CITY LICENSE AGREEMENT, STA. 0+08.33 TO 3+15.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST NOTIFY LINE LOCATING SERVICE AT 765-1234.
- CONTRACTOR SHALL REMOVE AND REPLACE SANITARY MANHOLE COVER AND RIM AS PER CITY STD. DETAIL S-5. ADJUST COVER AND RIM TO FINISHED GRADE PER CITY STD. DETAIL S-2.
- NO UTILITY ADJUSTMENTS OR RELOCATIONS ARE REQUIRED.

LEGEND

EXISTING PROFILE ———
PROPOSED PROFILE ———
EXISTING SPOT ELEVATION ⊕
PROPOSED SPOT ELEVATION ⊕
EXISTING CURB ———
EXISTING CHAIN LINK FENCE ———



TYPICAL TEMPORARY SECTION

STA. 0+08.33 TO STA. 3+15 PER CITY LICENSE AGREEMENT. SUBGRADE COMPACTION PFR SEC. 301, AND 2" OF 3/4" MAXIMUM SIZE AGGREGATE PER SEC. 302, C.O.A. INTERIM STD. SPECS. 1985.

ALL WORK DETAILED HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.

CITY ENGINEER

TO BE APPROVED FOR GRADES ONLY

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: ALLEY GRADES NORTH OF LINN ST.
BETWEEN SAN PEDRO DR. & CALIFORNIA ST.

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	3/2/87	Liquid Waste	<i>[Signature]</i>	3-6-87
A.C.E.-Design	"	"	Traffic	<i>[Signature]</i>	3-6-87
A.C.E.-Hydrology	"	"	Water	<i>[Signature]</i>	3-6-87

PROJECT NO. 2731

MAP NO. K-18

SHEET 1 OF 1

AS BUILT INFORMATION		
CONTRACTOR		
WORKED BY	DATE	
INSPECTOR'S	DATE	
ACCEPTANCE BY	DATE	
FIELD	DATE	
VERIFICATION BY	DATE	
CORRECTED BY	DATE	
MICRO-FILM INFORMATION		
RECORDED BY	DATE	
NO.		

AS BUILT INFORMATION	CONTRACTOR	DATE
5-KIBB-ACS-1984-ELEV. 5290.33		
FIELD NOTES	DATE	BY
10/1/85		
ENGINEER'S SEAL	DATE	BY
DUANE LOGAN		
501 KINLEY, N.E. 243-6353		
ALBUQUERQUE, NEW MEXICO		
REVISIONS	DATE	BY
DESIGNED BY	DATE	BY
DRAWN BY	DATE	BY
CHECKED BY	DATE	BY

AS BUILT INFORMATION	CONTRACTOR	DATE
5-KIBB-ACS-1984-ELEV. 5290.33		
FIELD NOTES	DATE	BY
10/1/85		
ENGINEER'S SEAL	DATE	BY
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501 KINLEY, N.E. 243-6353		
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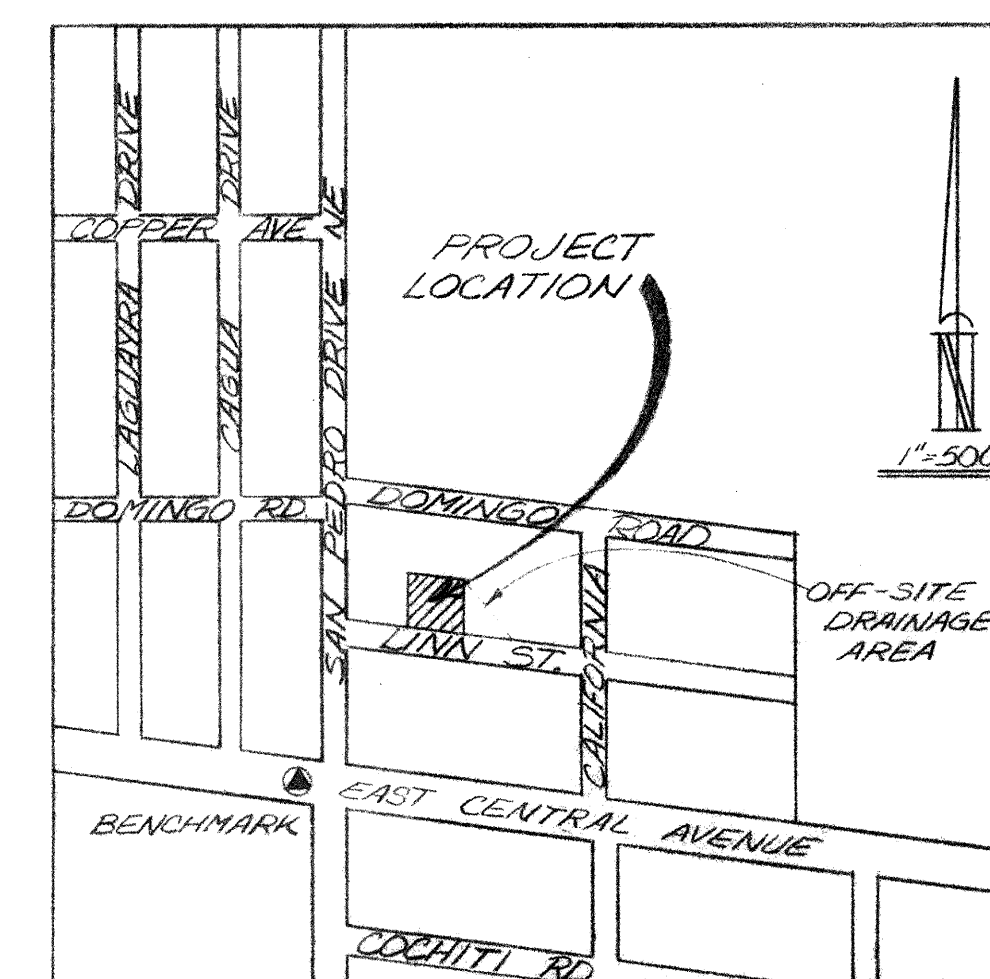
MASTER DRAINAGE PLAN
 TRACTS A & B (LOTS 19, 20, #21) BLOCK 20 FAIRGROUNDS ADDITION (DRB 35-830)
 ALBUQUERQUE, NEW MEXICO
 FLOOD MAP 30 BENCHMARK 5-K18B ELEV. 5290.33 SOIL TYPE "B"
 TOTAL AREA: 21300 SQ. FT. = 0.489 ACRES
 TOTAL AREA ROOFED AND PAVED, EXISTING: 4320 SQ. FT. = 20%
 TOTAL AREA ROOFED AND PAVED, PROPOSED: 19800 SQ. FT. = 93%
 FLOOD HAZARD AREA AT SAN PEDRO FROM CENTRAL AT DOMINGO ALLEVIATED
 FILE # K18/D34 APPROVED: 12-17-85

HYDROLOGY

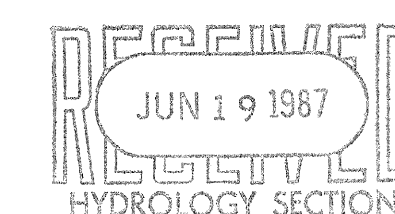
OFF-SITE FLOW: MINIMAL SHEET FLOW FROM SOUTH AND EAST, ABOUT 0.22 ACRES, $C=0.40$, $I=2.3 \times 2.15 = 4.95$, $Q=0.43$ CFS $\therefore$ NEGLIGIBLE
ON-SITE FLOW: $C=0.90$ (PROPOSED) $I=4.95$, $Q=0.90 \times 4.95 \times 0.49 = 2.18$ CFS
 EXISTING $Q=0.43 \times 4.95 \times 0.49 = 1.04$ CFS - **ADDITIONAL $Q=1.21$ CFS**
 EXISTING FLOW = 48% OF PROPOSED FLOW RATE
 EXISTING FLOW VOLUME = 0.40 (CN70) $\times$ 21300 S.F. = 710 CU.FT.
 PROPOSED FLOW VOLUME = 1.75 (CN75) $\times$ 21300 S.F. = 3110 CU.FT. = 2400 CU.FT.
PHASE I: PROPOSED IMMEDIATE CONSTRUCTION, ON 41% OF TOTAL AREA
 Q_{100} DEVELOPED = $0.41 \times 2.18 = 0.89$ CFS + Q_{100} EXISTING = $0.59 \times 1.04 = 0.61$
 = 1.50 CFS = 44% INCREASE OVER EXISTING CONDITION.
PHASE II: FUTURE CONSTRUCTION, ON 59% OF TOTAL AREA
 Q_{100} DEVELOPED = $0.59 \times 2.18 = 1.29$ CFS
NOTE: PHASE II WILL REQUIRE ADDITIONAL DRAINAGE PLAN SUBMITTAL.
 DUE TO RECENT UPSTREAM IMPROVEMENT, DOWNSTREAM FLOOD HAZARDS HAVE BEEN ALLEVIATED. $\therefore$ FEE DISCHARGE IS REQUESTED.

EROSION CONTROL NOTES

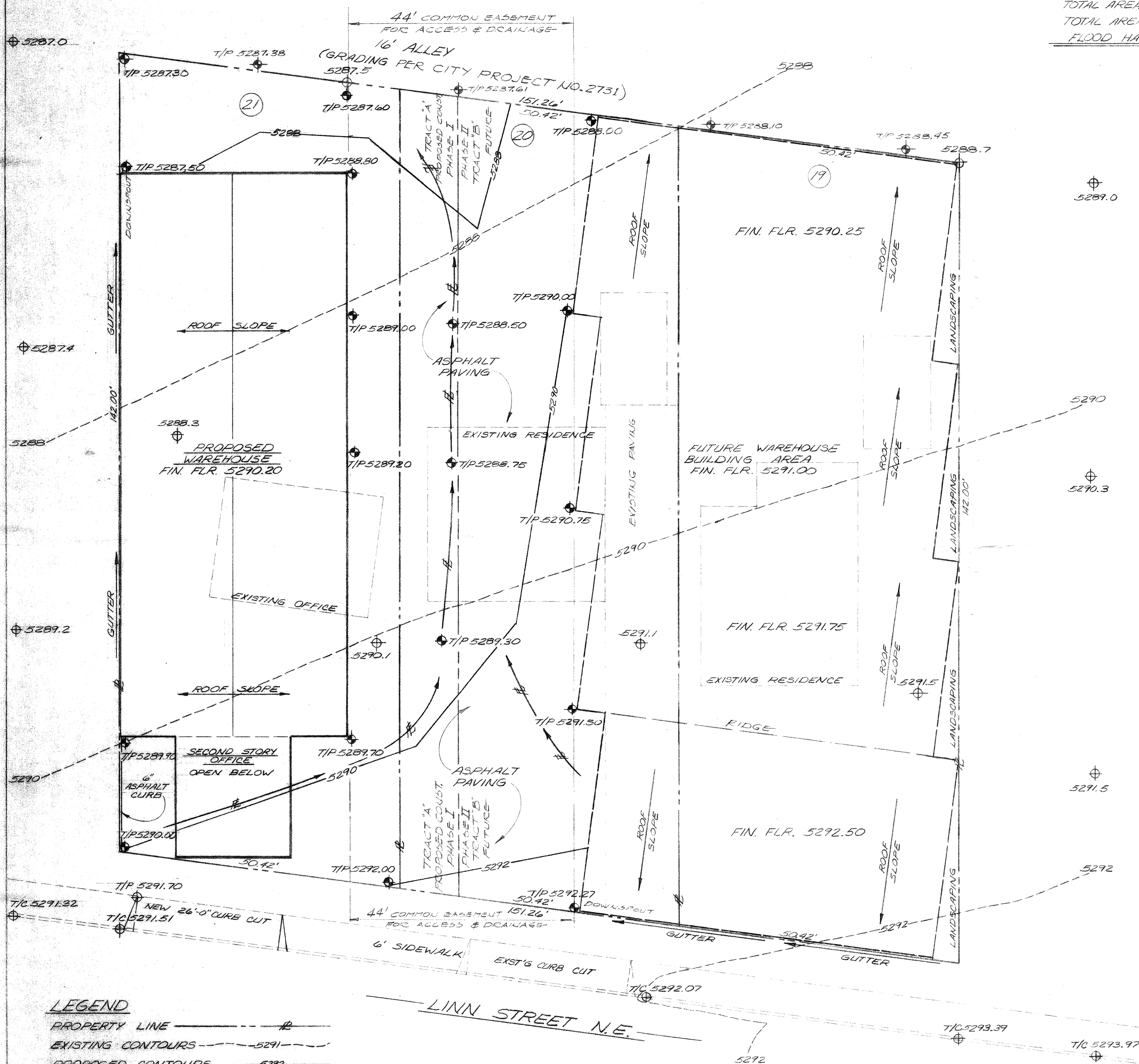
THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE TO THE FOLLOWING:
 1. NO SEDIMENT-BEARING WATER SHALL BE ALLOWED TO DISCHARGE THE SITE DURING CONSTRUCTION.
 2. DURING GRADING OPERATIONS, AND UNTIL THE PROJECT HAS BEEN COMPLETED, ALL ADJACENT PROPERTY, RIGHTS-OF-WAY, AND EASEMENTS SHALL BE PROTECTED FROM FLOODING.
 3. ANY AND ALL SEDIMENTATION ORIGINATING ON THE SITE WHICH IS DEPOSITED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PROMPTLY AND COMPLETELY REMOVED BY THE CONTRACTOR.



VICINITY MAP
 ZONE MAP K-18



REVISSED 11-27-85
 DUANE LEE LOGAN
 CONSULTING CIVIL ENGINEER
 501 KINLEY N. E. 243-6353
 ALBUQUERQUE, NEW MEXICO 87102
 WAREHOUSE-OFFICE
 FOR: GENE DYER
 AT: 6313 LINN ST. N.E.
 ALBUQUERQUE, N.M.
 File # H-190
 Date 10/24/85
 Drawn CLL
 Sheet 1 OF 1



LEGEND

PROPERTY LINE ————
 EXISTING CONTOURS ———— 5291 ————
 PROPOSED CONTOURS ———— 5293 ————
 EXISTING SPOT ELEVATION ⊕
 PROPOSED SPOT ELEVATION ◆
 EXISTING CURB ————
 EXISTING BUILDING & PAVEMENT ————
 FLOW LINE ————