

DRAINAGE INFORMATION SHEET

PROJECT TITLE: SONIC DRIVE-IN ZONE ATLAS/DRNG. FILE #: K-18/D55

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 7, BLOCK 1, FAIRGROUNDS ADDITION

CITY ADDRESS: 6324 CENTRAL AVE. S.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: MR. VALDEZ
GEORGE T. RODRIGUEZ MR. RODRIGUEZ
DEVELOPMENT CONSULTANT

ADDRESS: 12800 SHALIKUW N.E. 87123 PHONE: 294-0320

OWNER: SONIC DRIVE-IN CONTACT: DICK DONALDSON

ADDRESS: 966324 CENTRAL AVE. S.E. PHONE: 293-5759

ARCHITECT: MARTHA PAPADOPOULIS CONTACT: MS. PAPADOPOULIS

ADDRESS: _____ PHONE: _____

SURVEYOR: TORRES SURVEYING Co. CONTACT: MR. JIM TORRES

ADDRESS: 1570 BRIDGE BLVD. S.W. 87105 PHONE: 220-9213

CONTRACTOR: ? CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

☐ OTHER _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ GRADING PERMIT APPROVAL

☒ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

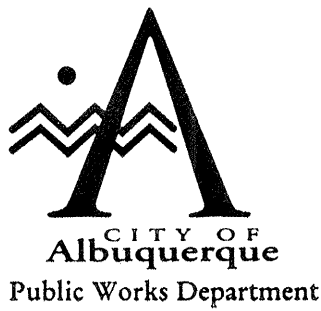
☐ DRAINAGE REQUIREMENTS

☐ SUBDIVISION CERTIFICATION

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: MAY 2, 1997

BY: GEORGE T. RODRIGUEZ



Martin J. Chávez, Mayor

Robert E. Gurulé, Director

May 5, 1997

Levi Valdez
George Rodriguez Development Consultant
12800 San Juan NE
Albuquerque, New Mexico 87123

RE: GRADING/PAVING PLAN FOR SONIC DRIVE-IN (K18-D55) ENGINEER'S
STAMP DATED 4/30/97

Dear Mr. Valdez:

Based on the information provided on your March 1, 1997 submittal, the above referenced site is approved for Grading/Paving permit.

Please be advised that once the construction is completed, Engineer Certification per the DPM checklist will be required.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
File

Sincerely

A handwritten signature in cursive script that reads 'Bernie J. Montoya'.

Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

February 9, 1989

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street, NE
Albuquerque, New Mexico 87108

RE: REVISED DRAINAGE PLAN FOR SONIC DRIVE-IN
6324 CENTRAL AVENUE, SE (K-18/D55)
REVISION DATED FEBRUARY 2, 1989

Dear Mr. McGee:

Based on the information provided on your submittal of February 6, 1989, revisions as indicated are acceptable.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

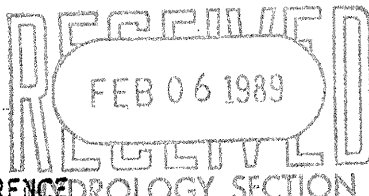
Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1000)

DRAINAGE INFORMATION SHEET

PROJECT TITLE: SONIC DRIVE-IN ZONE ATLAS/DRAINAGE FILE # K18/DSS
 LEGAL DESCRIPTION: LOTS 586, BLOCK 1, FAIRGROUNDS ADDITION
 CITY ADDRESS: 6324 CENTRAL AVE SE
 ENGINEERING FIRM: ISAACSON & ARFMAN CONTACT: SCOTT MCGEE
 ADDRESS: 128 MONROE NE PHONE: 268-8828
 OWNER: SONIC DRIVE INS CONTACT: DICK DONALDSON
 ADDRESS: _____ PHONE: 293-5759
 ARCHITECT: SONIC DRIVE INS CONTACT: -
 ADDRESS: 120 ROBERT S. KERR, OKLA CITY, OK 73102 PHONE: -
 SURVEYOR: SOUTHWEST SURVEYING CONTACT: FRANK WILSON
 ADDRESS: 333 LOMAS NE PHONE: 247-4444
 CONTRACTOR: UNKN CONTACT: -
 ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY OF CONFERENCE
RECAP SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ **REVISED**
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAIN PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY
APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER _____ (SPECIFY)DATE SUBMITTED: February 3, 1989BY: Scott McGee



CONSTRUCTION NOTES:

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 469-1950 FOR LOCATION OF EXISTING UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNERS OF ANY EXCAVATION. IF A CONFLICT EXISTS, THE CONTRACTOR SHALL RESOLVE THE MATTER, SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

GENERAL NOTES:

- 1.) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THE PLAT OF RECORD AND THE PLAN HEREON.
- 3.) TOPOGRAPHY SURVEY INFORMATION SHOWN ON THE PLAN HEREON WAS PROVIDED BY TORRES SURVEYING COMPANY, ALBUQUERQUE, NEW MEXICO.

LEGAL DESCRIPTION:

LOT NUMBERED SEVEN (7), IN BLOCK NUMBERED ONE (1), FAIRGROUNDS ADDITION, ALBUQUERQUE, NEW MEXICO.

BENCH MARK REFERENCE:

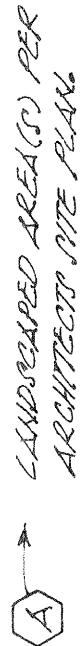
ACS STATION "5-K18B", LOCATED AT THE NOSE OF THE WEST MEDIAN AT CENTRAL AVENUE AND SAN PEDRO DRIVE, M.S.L.D. ELEVATION = 5290.33; (PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON).

SITE SOIL:

AS DETERMINED BY THE SCS SOIL SURVEY OF BERNALILLO COUNTY, THIS (web)
WINK-EMBUDO COMPLEX FINE SANDY LOAM IS CLASSIFIED AS A HYDROLOGIC SOIL
GROUP "B".

LEGEND:

EXISTING CONTOUR = 28.50
EXISTING SPOT ELEVATION = 28.20
PROPOSED CONTOUR = 28.10
PROPOSED SPOT ELEVATION = 28.20
TOP OF CURB/FLOW LINE ELEVATION = 28.30 / 28.20
PROPOSED LANDSCAPED AREA = A
PROPOSED NEW CURB CUT = A



A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eulabun, North of Interstate 40; and between San Mateo and the East boundary of Range 4, South of Interstate 40
4	East of Eulabun, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

FIGURE A-1

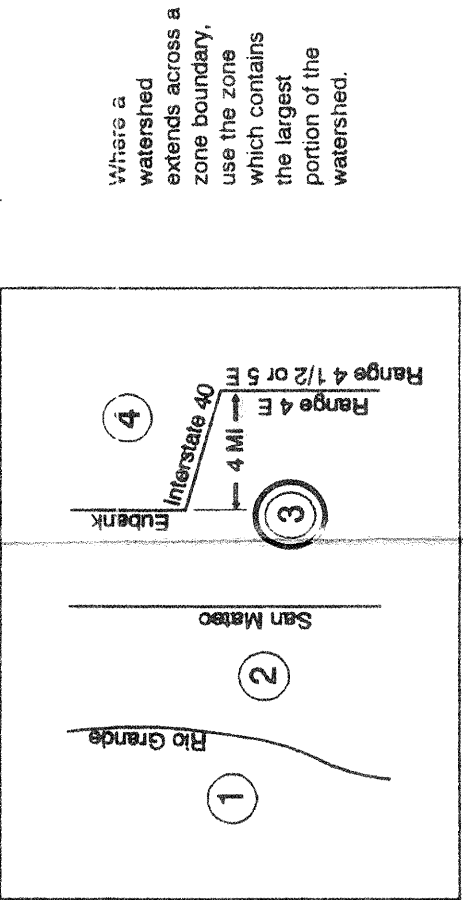


TABLE A-4. LAND TREATMENTS

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grazing, groundcover and infiltration capacity. Croplands. United droyes
B	Native grasses, weeds and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil compaction by human activity with slopes greater than 10 percent and less than 20 percent
C	Soil compacted by human activity. Minimal vegetation. Ungrazed (desert) landings. Irrigated weeds with slopes greater than 20 percent. Most vesper trees. Growth of rock on plastic (desert) landings. Irrigated weeds with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil compaction by human activity with slopes greater than 20 percent. Uncompacted weeds and shrubs areas with clay or clay drain soils and other soils of very low permeability as classified by SGS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs

TABLE A-9. PEAK DISCHARGE (cfs/acre)

Zone	Treatment				100-YR [2-YR, 10-YR]
	A	B	C	D	
1	1.29 [0.00, 0.24]	2.03 [0.0, 0.76]	2.87 [0.87, 4.48]	4.37 [1.69, 8.89]	
2	1.56 [0.00, 0.38]	2.28 [0.06, 0.95]	3.14 [0.60, 1.71]	4.70 [1.86, 3.14]	
3	1.87 [0.00, 0.59]	2.60 [0.21, 1.19]	3.45 [0.78, 5.00]	5.02 [2.04, 3.39]	
4	2.20 [0.05, 0.87]	2.92 [0.38, 1.45]	3.73 [1.00, 2.26]	5.25 [2.17, 3.57]	

TABLE A-10. PEAK INTENSITY (IN/HR) AT $t_c = 0.2$ hour)

Zone	Intensity	100-YR [2-YR, 10-YR]
1	4.70 [1.64, 3.14]	
2	5.05 [2.04, 3.41]	
3	5.39 [2.21, 3.65]	
4	5.61 [2.24, 3.82]	

DRAINAGE COMMENTS:-

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE SOUTH SIDE OF CENTRAL AVENUE S.E. APPROXIMATELY 200.0' EAST OF THE INTERSECTION OF CENTRAL AVENUE AND SAN PEDRO S.E. IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO.

THE SUBJECT SITE, 1.) IS PRESENTLY A VACANT PROPERTY WITH AN EXISTING OLD BUILDING STRUCTURE THAT IS TO BE DEMOLISHED. DOES NOT ITSELF LIE WITHIN A DESIGNATED FLOODPLAIN, HOWEVER, THE ADJACENT PUBLIC STREET RIGHT-OF-WAY THAT IS DESIGNATED TO THE SUBJECT PROPERTY (CENTRAL AVENUE) IS ACCORDING TO F.C.M.A. PARAGRAPH 10.0, A FLOODPLAIN. 2.) THERE ARE NO EXISTING OR PROPOSED DRAINAGE OR OPPOSITE FLOWS FROM ADJACENT PROPERTIES. 3.) DOES NOT CONTRIBUTE TO THE OPPOSITE FLOWS OF ADJACENT PROPERTIES. 4.) IS TO HAVE AN ADDITIONAL PARKING AREA MADE FOR SAID SITE FOR THE EXISTING **SONIC BURGER DRIVE IN** THAT LIES ADJACENT TO THE SUBJECT PROPERTY. 5.) IS TO HAVE DEVELOPED RUNOFF THAT WILL SHEETFLOW FROM THE SITE ONTO THE EXISTING PAVED PUBLIC ALLEY THAT LIES IMMEDIATELY SOUTH OF THE SITE. 6.) THE EXISTING PAVED PUBLIC ALLEY WILL CONTAINED WITHIN THE EXISTING INVERTED DRAINAGE SECTION OF SAID ALLEY, WHICH RUNS WEST TO EAST DUE TO THE S.E. AND INTO AN EXISTING STORM DRAIN INLET LOCATED ON THE EAST CURB OF SAN PEDRO S.E. APPROXIMATELY 0.0' SOUTH OF SAID ALLEY.

CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2., DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, NEW MEXICO, DATED JANUARY 1993, AND PER THE BERNALILLO COUNTY STORM DRAINAGE ORDINANCE.

SITE AREA: 0.16 ACRE

PRECIPITATION ZONE: THREE (3), TABLE A-1.

PEAK INTENSITY: IN./HR. AT T_c = TWELVE (12) MINUTES, 100-YR. = 5.05

LAND TREATMENT METHOD FOR THE CALCULATION OF "Q_D", TABLES A-8 & A-9.

"LAND TREATMENT FACTORS", TABLE A-4.

EXISTING CONDITIONS:

<u>TREATMENT</u>	<u>AREA/ACRES</u>	<u>FACTOR</u>	<u>CFS</u>
C	0.16	X 3.45	= 0.55

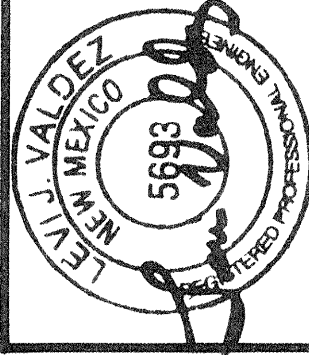
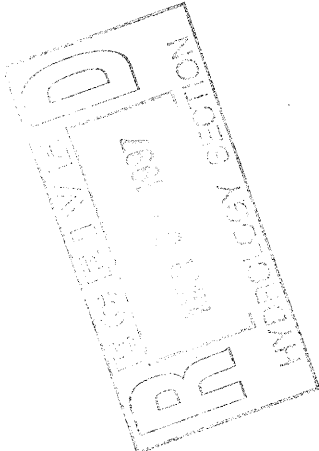
$$Q'' = \frac{0.55 \text{ CFS}}{1.0}$$

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.03	X 3.45	= 0.10
D	0.13	X 5.02	= 0.65

"Q" = 0.75 CFS *** INCREASE = 0.20 CFS

"Q_" = 0.75 CFS
*** INCREASE = 0.20 CFS



04-30-97

ENGINEER'S SEAL

A PROVIDED PAVING PLAN
FOR ADDITIONAL PARKING FOR
SONIC DRIVE-IN
639 CENTRE AVE. S.E.
ALBUQUERQUE, NEW MEXICO
APRIL, 1957