

Vicinity Map Zone Atlas K-18-Z

Purpose of Plat

1. ELIMINATE INTERIOR LOT LINES AS SHOWN HEREON
2. GRANT EASEMENTS AS SHOWN HEREON
3. DEDICATE PUBLIC RIGHT OF WAY AS SHOWN HEREON

Subdivision Data

GROSS ACREAGE.....0.7087 ACRES
ZONE ATLAS PAGE NO.....K-18-Z
NUMBER OF EXISTING LOTS.....8 LOTS
NUMBER OF LOTS CREATED.....1 LOT
AREA DEDICATED TO THE CITY OF ALBUQUERQUE.....0
MILES OF FULL WIDTH STREETS.....0.00
MILES OF HALF WIDTH STREETS.....0.00
DATE OF SURVEY.....OCTOBER 2010

Notes

1. FIELD SURVEY PERFORMED IN MARCH AND SEPTEMBER 2010.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-GRID).
3. THE SUBJECT PROPERTY IS WITHIN SECTION 24, TOWNSHIP 10 NORTH, RANGE 3 EAST.

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF DO HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THEIR RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ADDITIONAL PUBLIC RIGHT OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

ALLEN J. JOHNSON, CFO
CENTURION PACIFIC, LLC

Acknowledgment

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 10-19-2010
BY: ALLEN J. JOHNSON, CFO; CENTURION PACIFIC, LLC

NOTARY PUBLIC

MY COMMISSION EXPIRES 5-18-14

Indexing Information

Section 24, Township 10 North, Range 3 East
Subdivision: Tijeras Place Addition
Owner: Centurion Pacific LLC
UPC #101805704718932204

DOC# 2011028119

03/29/2011 09:03 AM Page: 1 of 2
ty:PLAT R-312-00 B: 2010 P: 0020 R: Toulous Olivero, Bernalillo Co

Legal Description

A CERTAIN PARCEL OF LAND SITUATE WITHIN SECTION 24, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING AND COMPRISING ALL OF LOTS NUMBERED FIFTEEN (15) THROUGH TWENTY-TWO (22), INCLUSIVE, IN BLOCK NUMBERED THIRTY-TWO (32), OF THE TIJERAS PLACE ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE AMENDED PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 24, 1923, IN PLAT BOOK C, PAGE 21, TOGETHER WITH THE EAST ONE-HALF (E. 1/2) OF VACATED ORTIZ DRIVE N.E., AND FURTHER MORE BEN3 DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED, SAID POINT BEING COMMON TO THE WESTERLY RIGHT-OF-WAY OF MADEIRA DRIVE N.E. AND THE NORTHERLY RIGHT-OF-WAY OF EAST CENTRAL AVENUE, ALSO BEING THE SOUTHEAST CORNER OF SAID LOT 22, MARKED BY A BATHEY MARKER LS#14271:

THENCE FROM THE POINT OF BEGINNING, ALONG THE NORTHERLY RIGHT OF WAY CENTRAL AVENUE, N.E., N 82°13'59" W, A DISTANCE OF 232.19 FEET, TO SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, MARKED BY A "X" IN CONCRETE:

THENCE, LEAVING SAID NORTHERLY RIGHT OF WAY OF CENTRAL AVENUE, N.E., N 00°17'08" E, A DISTANCE OF 140.52 FEET, TO THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, MARKED BY A "X" IN CONCRETE:

THENCE, S 82°18'57" E, A DISTANCE OF 30.20 FEET TO AN ANGLE POINT OF THE PARCEL HEREIN DESCRIBED, MARKED BY A PK NAIL WITH SHINER LS#14271 AND LYING ON THE WESTERLY RIGHT OF WAY OF A 15' ALLEY;

THENCE COINCIDING WITH SAID 15' ALLEY RIGHT OF WAY, S 00°13'54" W, A DISTANCE OF 7.54 FEET TO AN ANGLE POINT OF THE PARCEL HEREIN DESCRIBED, MARKED BY A PK NAIL WITH SHINER LS#14271 LYING ON THE SOUTHERLY RIGHT OF WAY OF SAID 15' ALLEY;

THENCE COINCIDING WITH SAID SOUTHERLY ALLEY RIGHT OF WAY, S 82°18'57" E, A DISTANCE OF 201.81 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL, MARKED BY A 5/8" REBAR, AND LYING ON THE WESTERLY RIGHT OF WAY OF MADIERA DRIVE, N.E.;

THENCE LEAVING SAID RIGHT OF WAY OF 15' ALLEY, AND COINCIDING WITH THE WESTERLY RIGHT OF WAY OF MADIERA DRIVE, N.E., S 00°13'45" W, A DISTANCE OF 133.33 FEET TO THE POINT OF BEGINNING CONTAINING 0.7087 ACRES (30,870 SQ.FT.) MORE OR LESS.

Public Utility Easement

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Plat of Lot 15-A, Block 32 Tijeras Place Addition

comprised of
Lots 15-22, Block 32,
Tijeras Place Addition and
The East 1/2 of Vacated Ortiz Drive NE
City of Albuquerque
Bernalillo County, New Mexico
January 2011

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number 1008590

Application Number

City approvals:

	1-14-11
City Surveyor	Date
	01-26-11
Traffic Engineer, Transportation Division	Date
	01/26/11
ABCWUA	Date
	1/26/11
Christina Sandora	Date
	1/26/11
Parks and Recreation Department	Date
	1/26/11
AMAFCA	Date
	1/26/11
Bradley A. Bingham	Date
	3-18-11
City Engineer	Date
DRB Chairperson, Planning Department	Date

Utility approvals:

	01/26/2011
PNM Electric Services	Date
	01-19-2011
New Mexico Gas Company	Date
	01-16-11
Qwest Telecommunications	Date
	01-24-11
Comcast	Date

Surveyor's Certificate

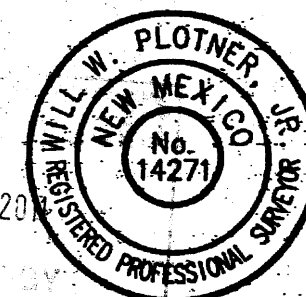
"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

1/13/11
WILL PLOTNER JR. DATE
N.M.R.P.S. No. 14271

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

APR 04 2011



**Plat of
Lot 15-A, Block 32
Tijeras Place Addition
comprised of
Lots 15-22, Block 32,
Tijeras Place Addition and
The East 1/2 of Vacated Ortiz Drive NE
City of Albuquerque
Bernalillo County, New Mexico
January 2011**

(N 90°00'00" E) RECORD BEARINGS AND DISTANCES
PER DEED OF RECORD

((N 90°00'00" E)) RECORD BEARINGS AND DISTANCES
PER PLAT OF RECORD (C-21)

N 90°00'00" E MEASURED BEARING AND DISTANCES

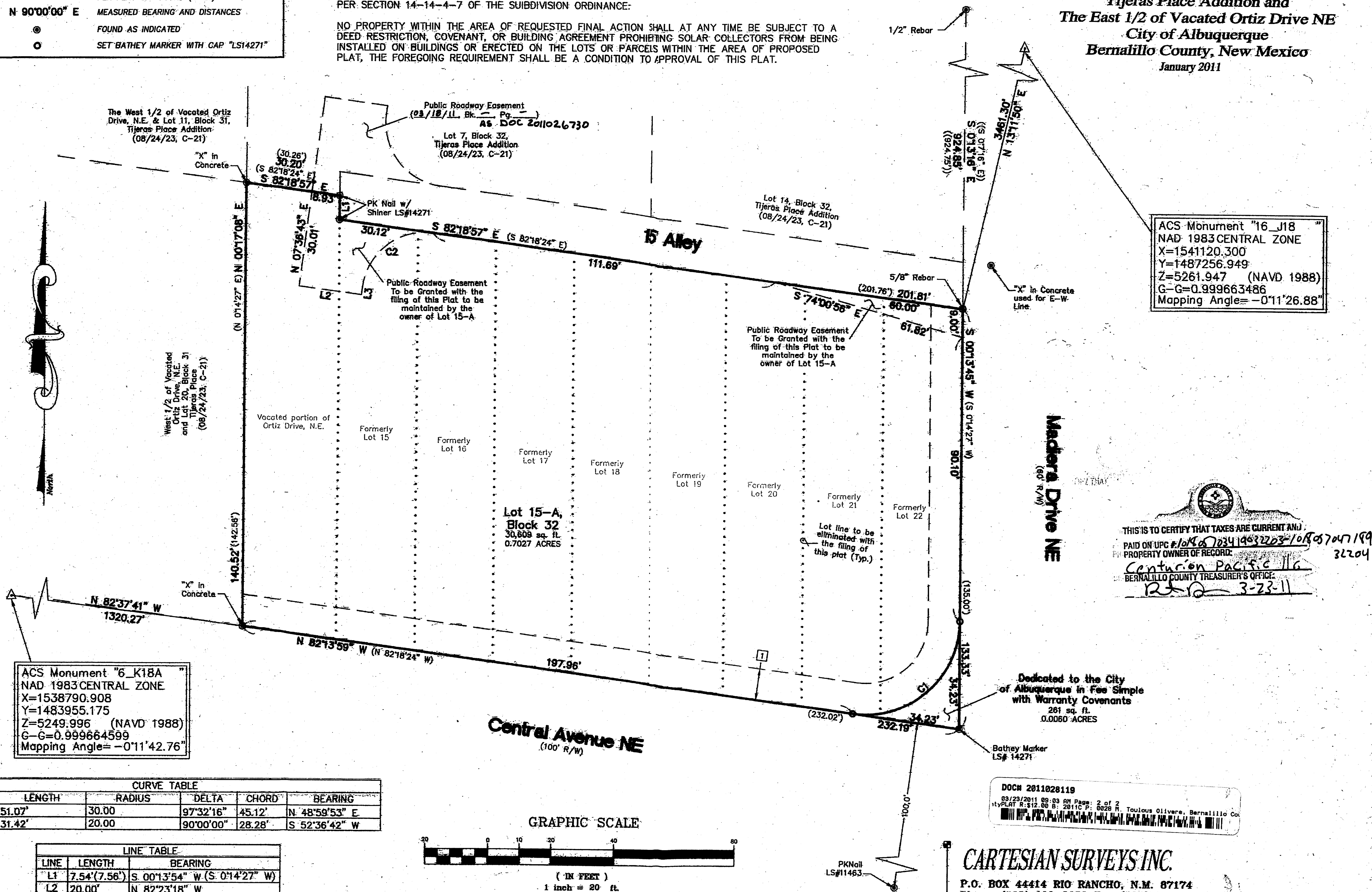
● FOUND AS INDICATED

○ SET BATHEY MARKER WITH CAP "LS14271"

1 10' NON-EXCLUSIVE PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	51.07'	30.00	97°32'16"	45.12'	N. 48°59'53" E
C2	31.42'	20.00	90°00'00"	28.28'	S. 52°36'42" W

LINE TABLE		
LINE	LENGTH	BEARING
L1	7.54'(7.56')	S 00°13'54" W (S 0°14'27" W)
L2	20.00'	N 82°23'48" W

CARTESIAN SURVEYS INC.





P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

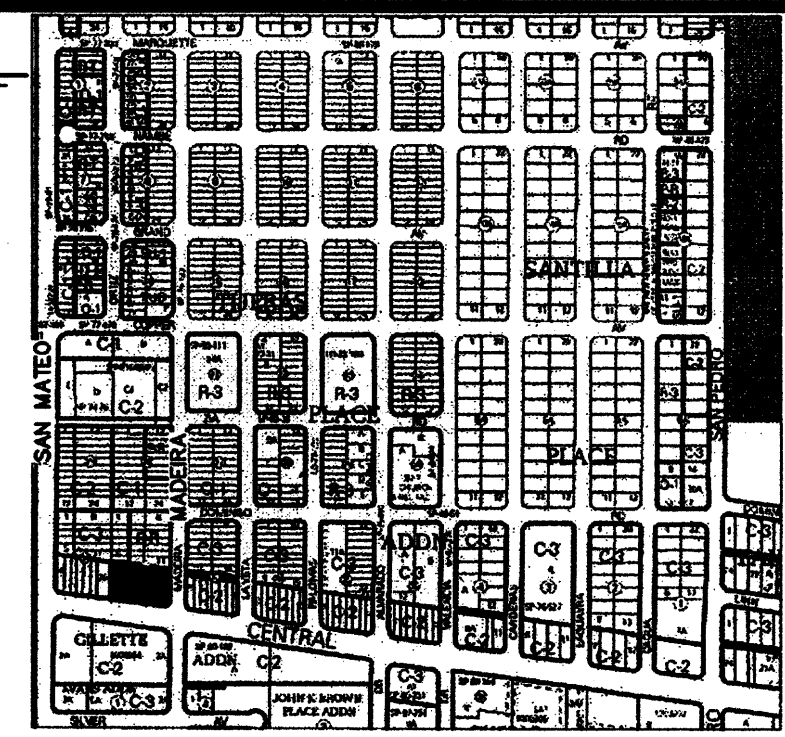
BASED UPON SCALING, THIS SUBJECT PROPERTY APPEARS TO BE IN ZONE(S) X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0354G, WHICH BEARS AN EFFECTIVE DATE OF 11/26/2008 BEING DEFINED AS AN AREA OUT OF THE 500 YEAR FLOODPLAIN. CENTRAL AVENUE IS WITHIN FLOOD ZONE A.



N 90°00'00" E	MEASURED BEARING AND DIST.
●	FOUND AS INDICATED
○	SET AS INDICATED
⊗	SANITARY SEWER MANHOLE
□	UTILITY PEDESTAL
⊠	IRRIGATION BOX
■	STORM DRAIN INLET
↔	INGRESS/EGRESS
⌈	COVERED AREA

WATER METER
FIRE HYDRANT
OVERHEAD UTILITY
GUY WIRE
SIGN
CHAIN LINK FENCE
GAS METER
ELECTRIC METER
LIGHT POST
UTILITY POLE
GAS VALVE
WATER VALVE

48.00	<div style="border: 1px solid black; padding: 2px; display: inline-block;">49.07 48.57</div>	NEW SPOT ELEVATIONS
		NEW FLOW ARROW
		WATER BLOCK
		NEW SIDEWALK
		TRUNCATED DOMES



VICINITY MAP
ZONE ATLAS K-18-Z

ALL OF LOTS 15-22, INCLUSIVE, IN BLOCK 32, OF THE TIERAS PLACE ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE AMENDED PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 24, 1923, BOOK C, PAGE 21, TOGETHER WITH THE EAST ONE-HALF OF VACATED ORTIZ DRIVE N.E., CONTAINING 0.7087 ACRES MORE OR LESS.

TOTAL AREA = 30,871 SQ.FT. = 0.7087 Acres.

ELEVATIONS ARE NAVD88 DATUM VALUES BASED ON THE CITY OF ALBUQUERQUE BENCHMARK "6_K18A", ELEVATION = 5,250.00 FEET. ELEVATIONS OF ALL SURVEYED POINTS WERE DETERMINED BY DIFFERENTIAL LEVELING, GPS/RTK AND TOTAL STATION SURVEY METHODS.


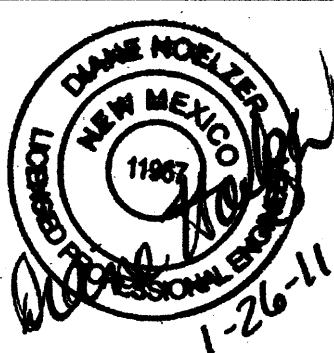
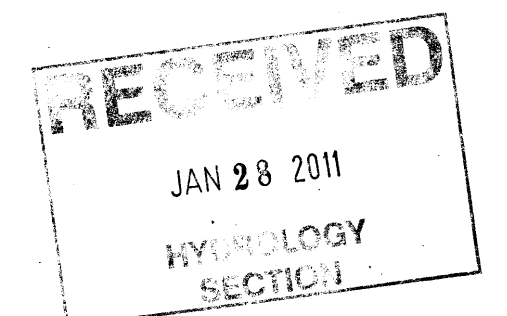
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK,
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND SHALL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.

C.O.A. STANDARD S0.19 NOTES
NOTICE TO CONTRACTOR

1.	An excavation/construction permit will be required before beginning any work within City right of way.
2.	All work detailed on these plans to be performed, except as otherwise stated or provided for herein, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
3.	Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (262-1930) for location of existing utilities.
4.	Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all Constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
5.	Backfill compaction shall be according to Traffic / street use.
6.	Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7.	Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		

REMOVE EXISTING DRIVEWAY,
REPLACE WITH SIDEWALK,
CURB, AND GUTTER PER CITY
STANDARD.

 MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

DORMAN and BREEN
LAURENCE BREEN A.I.A.
Albuquerque Westside 505-792-

B+
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

BANK OF THE WEST
5401 Central Ave.
Albuquerque, New Mexico 87108

Grading & Drainage Plan (with Demo)

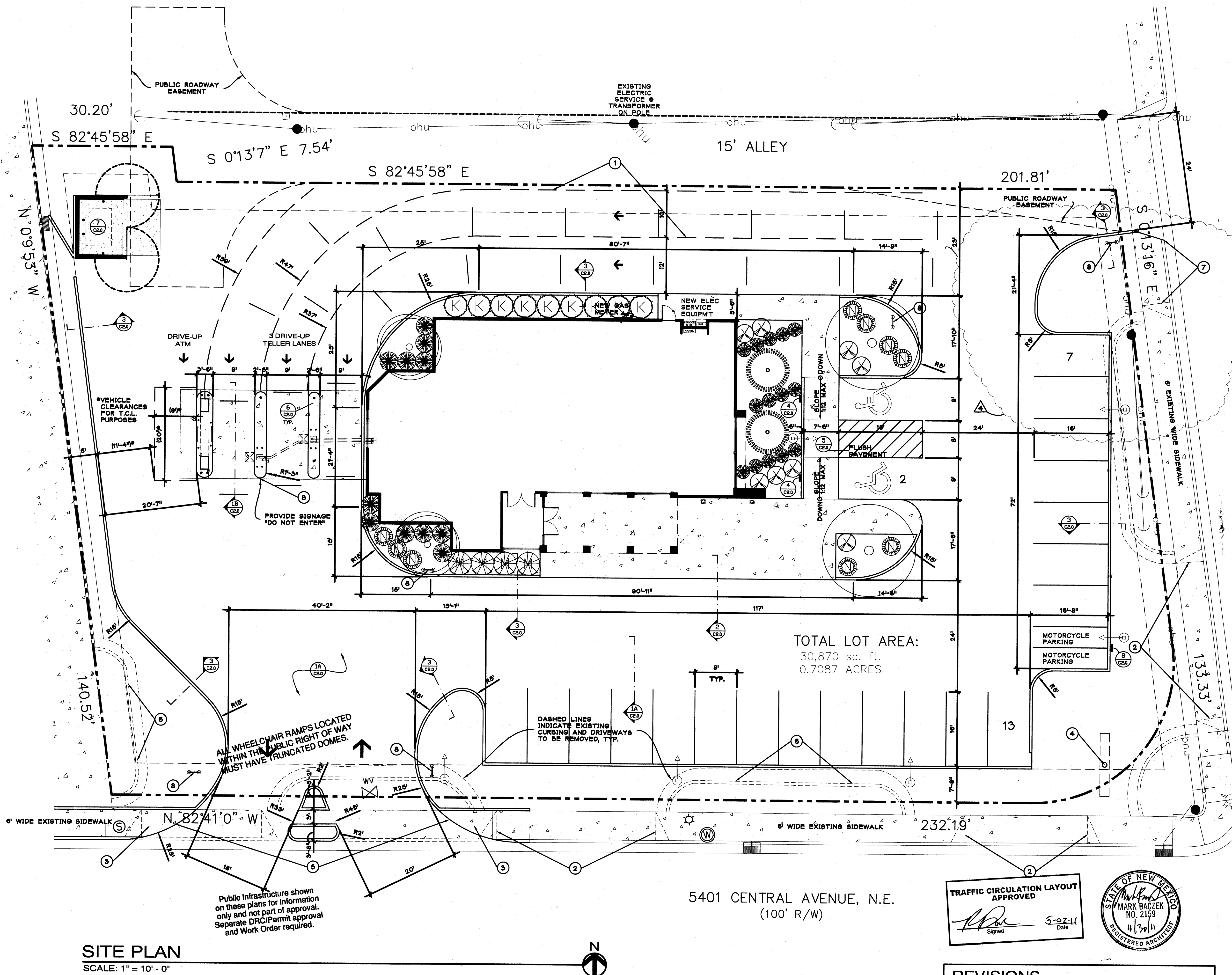
DB NUMBER:
A10043

/26/2011

REVISIONS:	DATE:
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MEET:

-3.0



SITE PLAN
SCALE: 1" = 10' - 0"

LEGAL DESCRIPTION

PLAT OF LOT 15-A, BLOCK 32 TIJERAS PLACE ADDITION
COMPRISED OF
LOTS 15-22, BLOCK 32,
TIJERAS PLACE ADDITION AND
THE EAST 1/2 OF VACATED ORTIZ DRIVE NE
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

ZONING DATA

APPLICABLE ZONE CODE DATA - CITY OF ALBUQUERQUE
ZONE ATLAS PAGE: K-18-Z
ZONE CLASSIFICATION: C-2, COMMUNITY COMMERCIAL

LOT AREA = 0.7087 AC OR 30,870 SQ. FT.
BUILDING FLOOR AREA = 3,045 SQ. FT.
GROSS ROOF AREA = 4,364 SQ. FT.

REQUIRED LANDSCAPE AREA = 15% OF TOTAL LOT AREA
MINUS AREA OF LOT COVERED BY BUILDINGS.

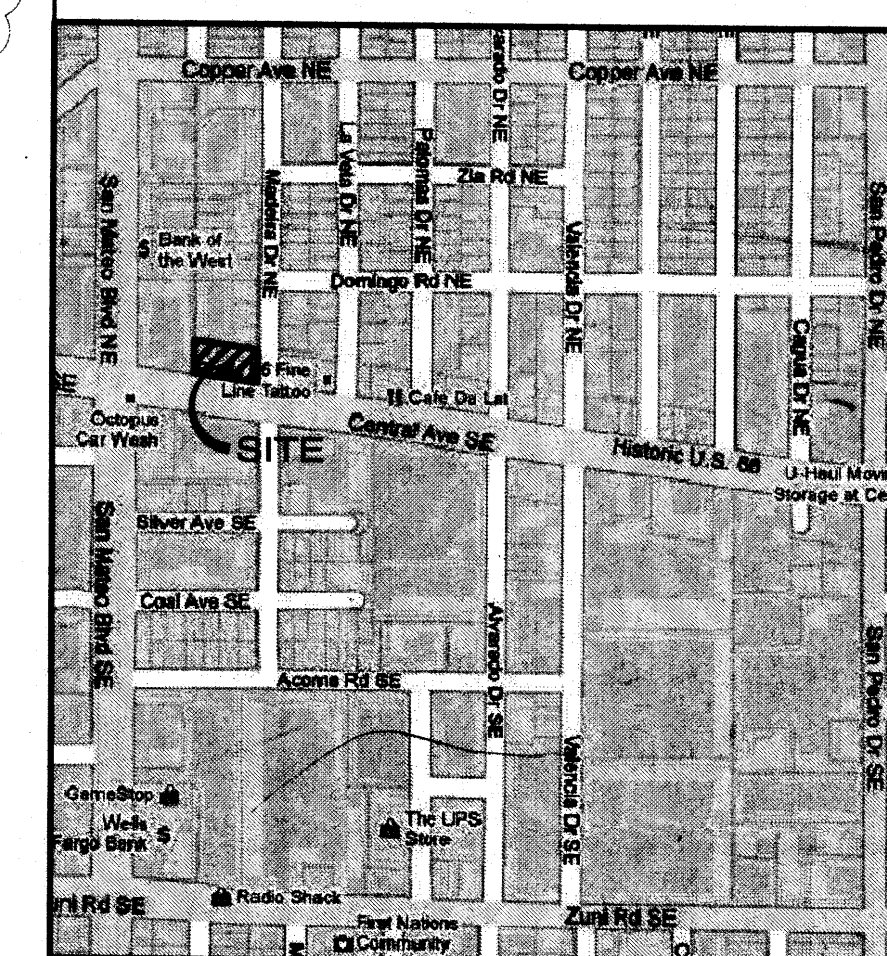
REQUIRED LANDSCAPE AREA = 3,976 S.F. OR 15%
PROVIDED LANDSCAPE AREA = 5,411 S.F. OR 20.4%

REQUIRED OFF STREET PARKING SPACES:
NET AREA = 3,045 SQ. FT.
OFF STREET PARKING SPACES REQUIRED @ 1 PER 200 =
16 SPACES
OFF STREET PARKING SPACES PROVIDED = 20 SPACES
DISABLED SPACES REQUIRED = 1 SPACE
DISABLED SPACES PROVIDED = 2 SPACES
MOTORCYCLE SPACES REQUIRED = 1 SPACE
MOTORCYCLE SPACES PROVIDED = 2 SPACES

REQUIRED SETBACKS: 5' FRONT SETBACK.

MAXIMUM BUILDING HEIGHT = 26 FEET.

VICINITY MAP

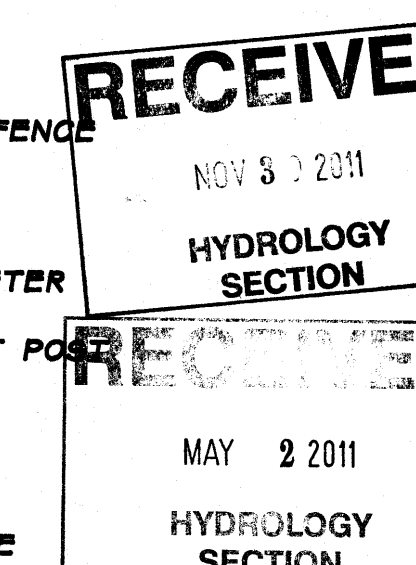


KEYED NOTES

- [1] PROVIDE PAINTED STRIPING TO DESIGNATE DRIVE-UP LANES AS INDICATED.
- [2] REMOVE EXISTING DRIVEWAY, REPLACE WITH SIDEWALK, CURB, AND GUTTER PER C.O.A. STANDARD SPECIFICATIONS SECTION 2400, DWG 2415A.
- [3] PROVIDE RAMP PER C.O.A. STANDARD SPECIFICATIONS SECTION 2400, DWG 2426. ALL RAMP IN R.O.W. MUST HAVE TRUNCATED DOMES. (TYPICAL)
- [4] PROVIDE POWER TO POLE SIGN, (POLE SIGN N.I.C.)
- [5] PROVIDE NEW DRIVEWAY AND TRAFFIC CONTROL ISLAND AS PER C.O.A. STANDARD SPECIFICATIONS SECTION 2400, DWG 2426.
- [6] REMOVE EXISTING CURB AND GUTTER IN PLANTER. SIDEWALK TO NEW LIMIT OF DRIVEWAY.
- [7] REMOVE EXISTING DRIVEWAY AND EXTEND SIDEWALK TO NEW LIMIT OF DRIVEWAY. CONSTRUCT NEW SIDEWALK, CURB, AND GUTTER PER C.O.A. STANDARD SPECIFICATIONS SECTION 2400, DWG 2426.
- [8] DIRECTIONAL TRAFFIC SIGN, NOT IN CONTRACT.

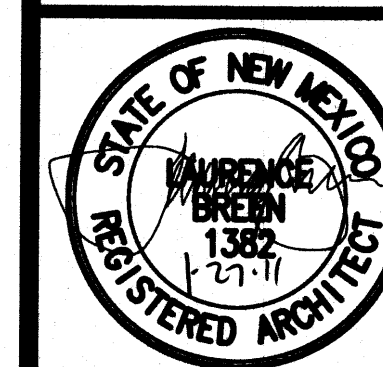
LEGEND - EXISTING FEATURES U.N.O. (UNLESS NOTED OTHERWISE)

- ⊙ SANITARY SEWER MANHOLE
- UTILITY PEDESTAL
- ⊗ IRRIGATION BOX
- ⊕ STORM DRAIN INLET
- ⊙ FIRE HYDRANT
- ⊙ WATER METER
- SIGN
- CHAIN LINK FENCE
- ⊙ GAS METER
- ⊙ ELECTRIC METER
- ⊙ STREETLIGHT POST
- ⊙ GAS VALVE
- ⊙ WATER VALVE
- ⊙ NEW POLE LIGHT
- ⊙ NEW DIRECTIONAL SIGN

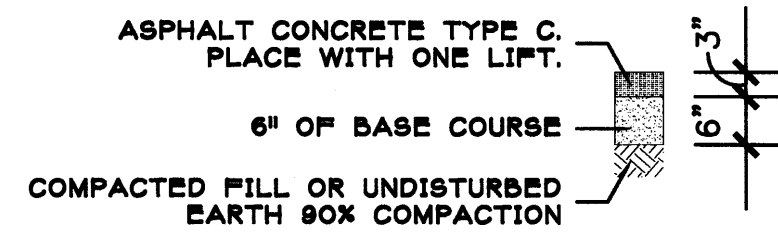


© DORMAN AND BREEN ARCHITECTS 2011
DORMAN and BREEN
LAURENCE BREEN A.I.A.
Albuquerque Westside 505-792-8160
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

Building Shell for:
Bank of the West
5401 Central Ave.
Albuquerque, New Mexico 87108
Permit # 2011 90197

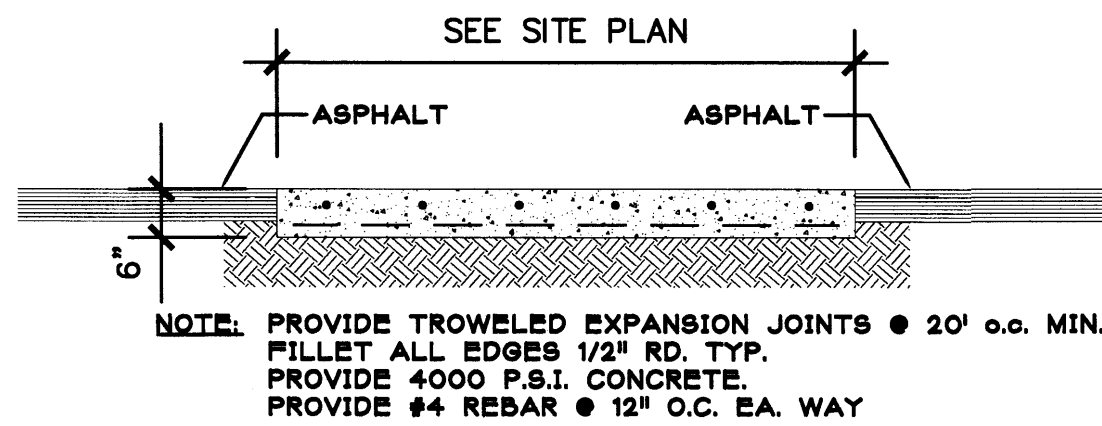


SHEET TITLE:	SITE PLAN
JOB NUMBER:	1006
DATE:	1/27/11
REVISIONS:	TCL REVISIONS
DATE:	4/27/11
SHEET:	C-1.0
	6 OF 43



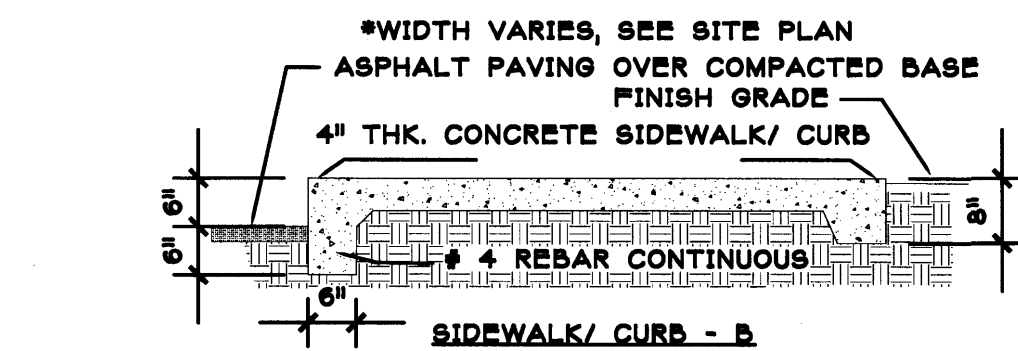
1a TYP. PAVEMENT SECTION

SCALE: 1/2" = 1' - 0"



1b DRIVE-UP PAVEMENT SECTION

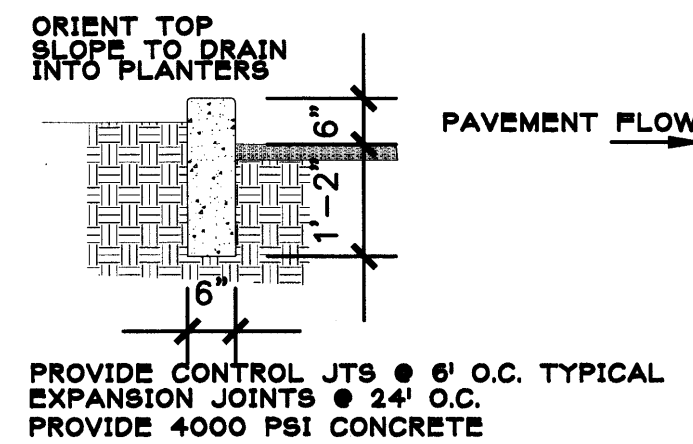
SCALE: 1/2" = 1' - 0"



NOTE: PROVIDE TROWELED CONTROL JOINTS @ 5' o.c. MIN. PROVIDE TROWELED EXPANSION JOINTS @ 20' o.c. MIN. FILLET ALL EDGES 1/2" RD. TYP. PROVIDE 4000 P.S.I. CONCRETE.

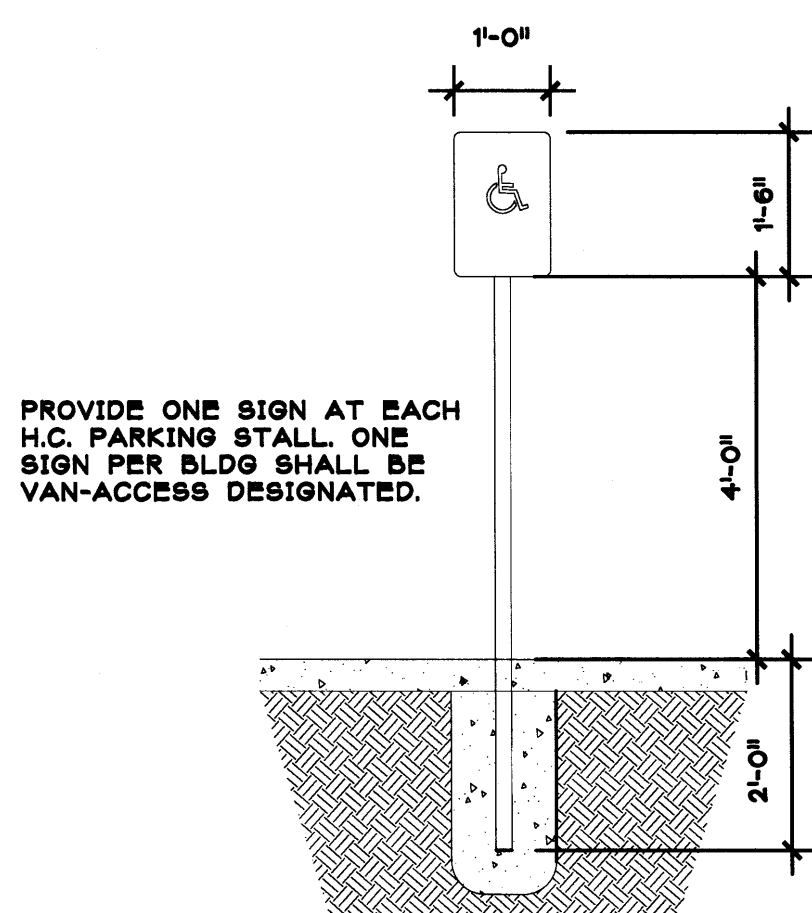
2 CURB/SIDEWALK

SCALE: 1/2" = 1' - 0"



3 HEADER CURB

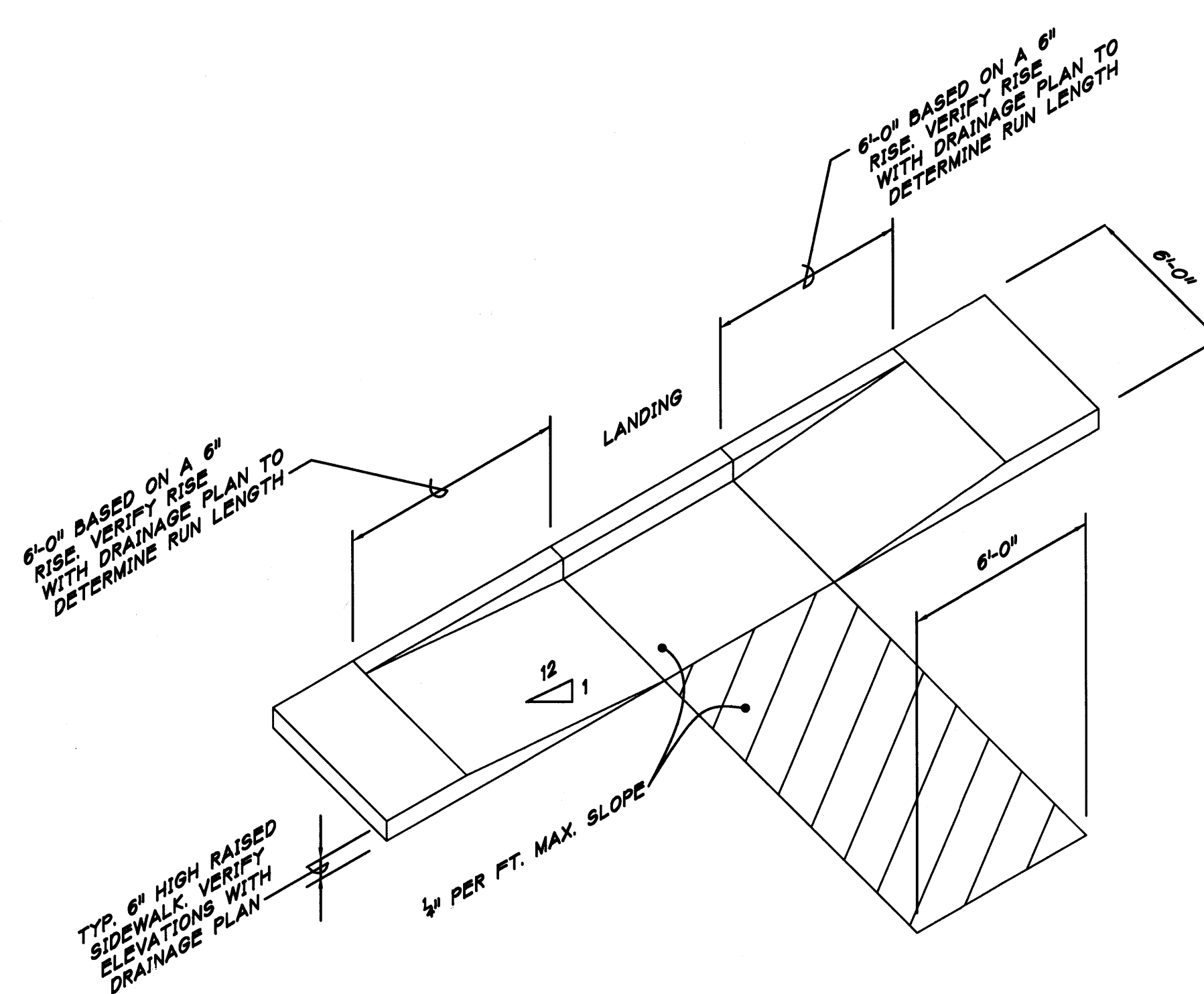
SCALE: 1/2" = 1' - 0"



SIGN TO READ "ACCESSIBLE PARKING" TYPICAL. TWO SIGNS SHALL BE DESIGNATED AS "VAN ACCESSIBLE". SIGN SIZE 12" W X 18" H. SEE SITE PLAN.

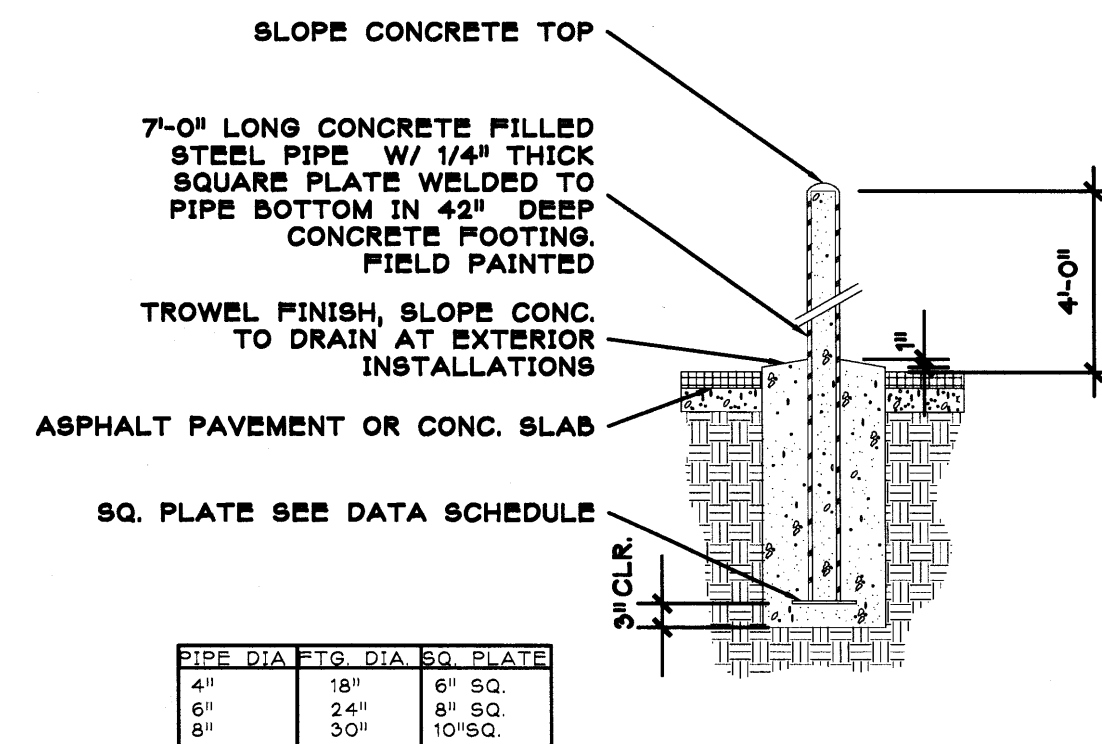
4 HC PARKING SIGN

SCALE: 1/2" = 1' - 0"



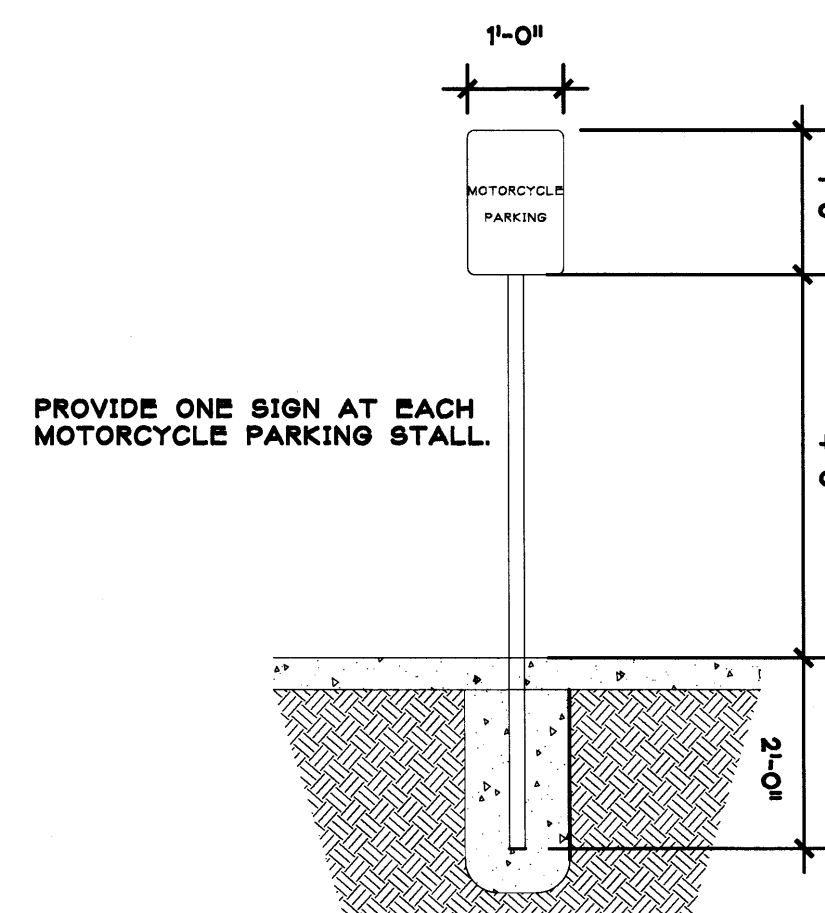
5 WHEELCHAIR RAMP DETAIL

SCALE: NONE



6 BOLLARD DETAIL

SCALE: 1/2" = 1' - 0"

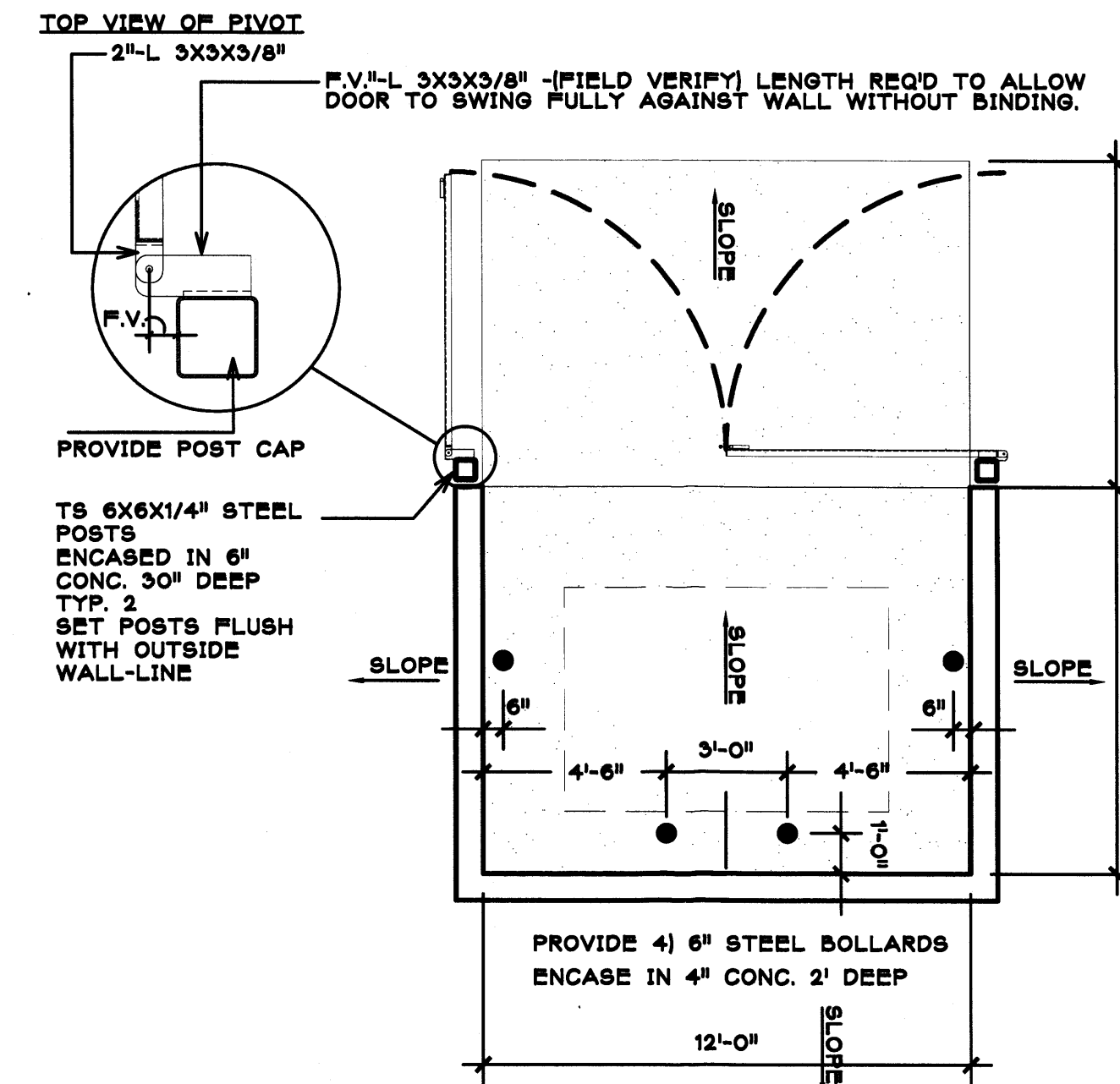


SIGN TO READ "MOTORCYCLE PARKING" TYPICAL. SIGN SIZE 12" W X 18" H. SEE SITE PLAN.

8 MOTORCYCLE PARKING SIGN

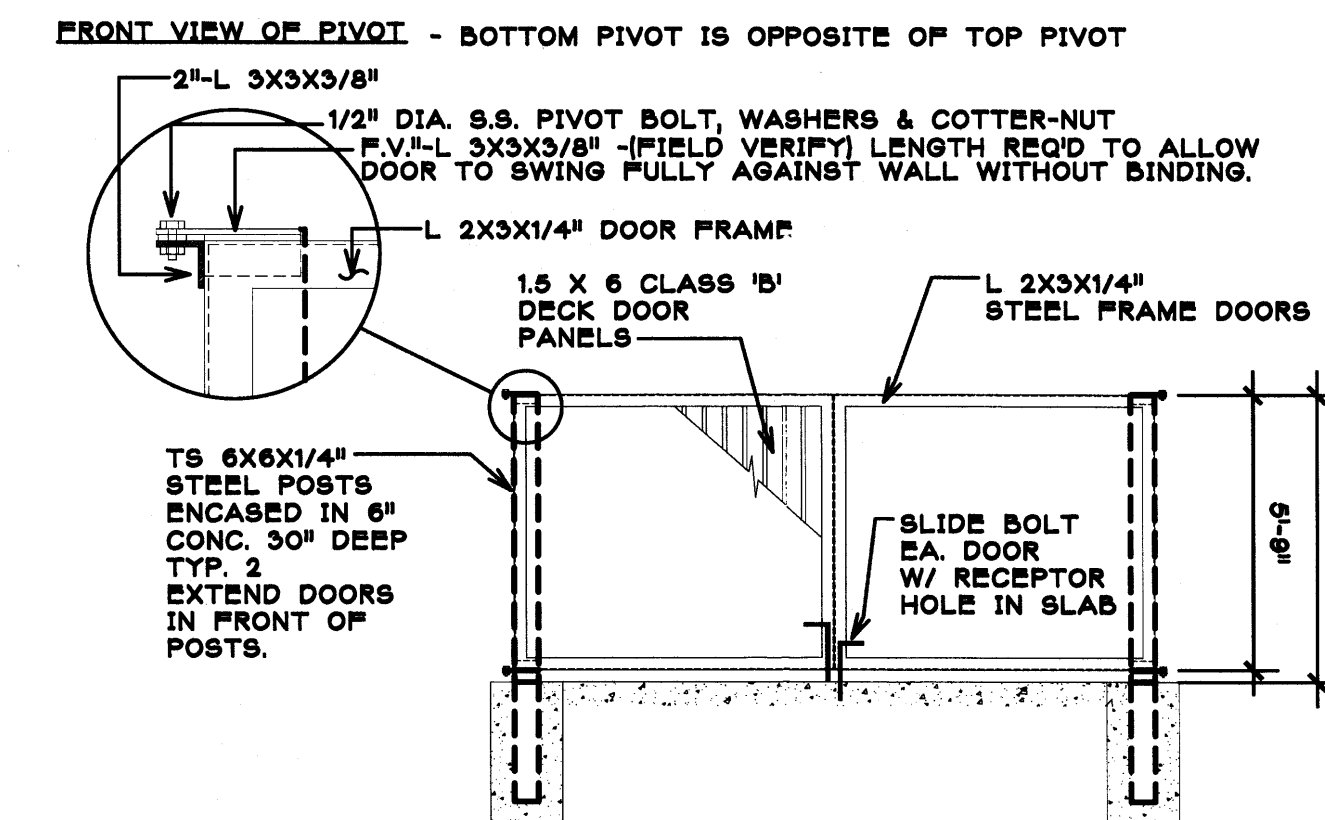
SCALE: 1/2" = 1' - 0"

CONCRETE SLAB IN ENCLOSURE: 6" THK. 4,000 PSI, 3/4" AGG. W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MIN.
CONCRETE APRON SLAB: 6" THK. x12' x 8'. 4,000 PSI, 3/4" AGG. W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MIN.
CMU WALL: SEE SECTION BELOW



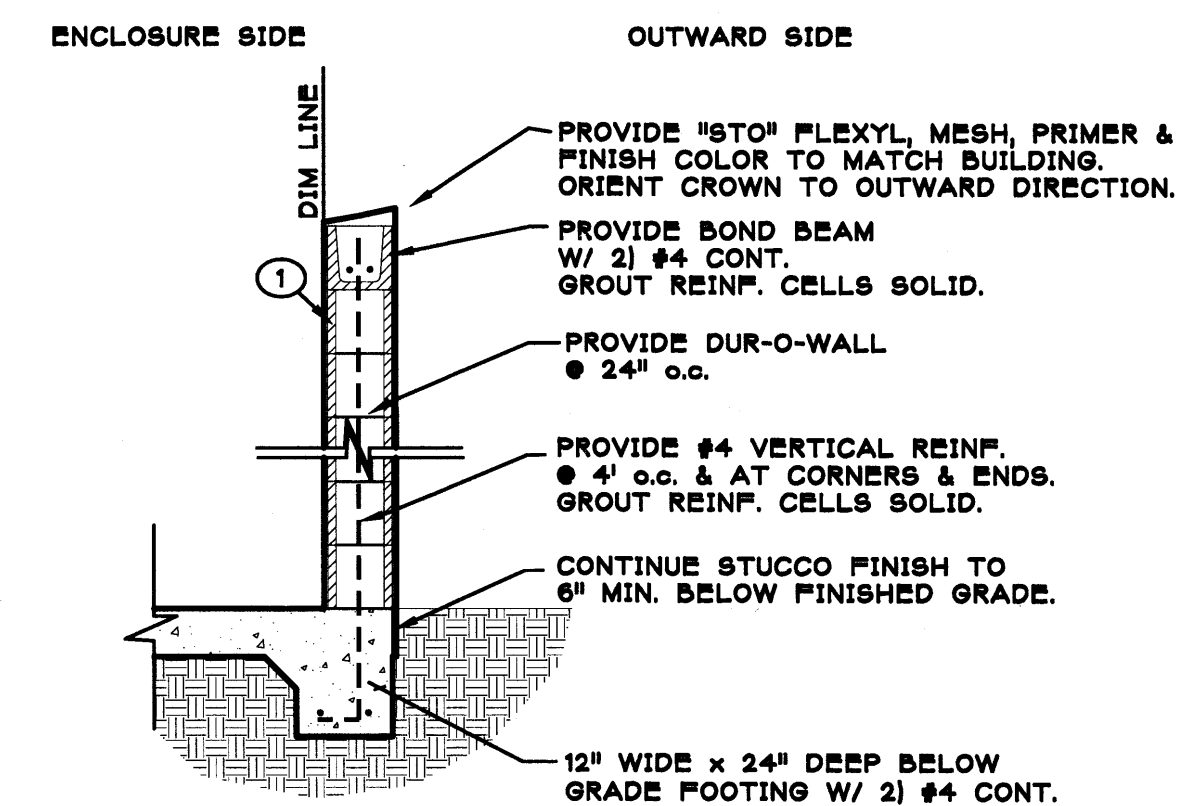
TYPICAL PLAN

SCALE 1/4"=1'-0"



FRONT VIEW OF GATES

SCALE 1/4"=1'-0"

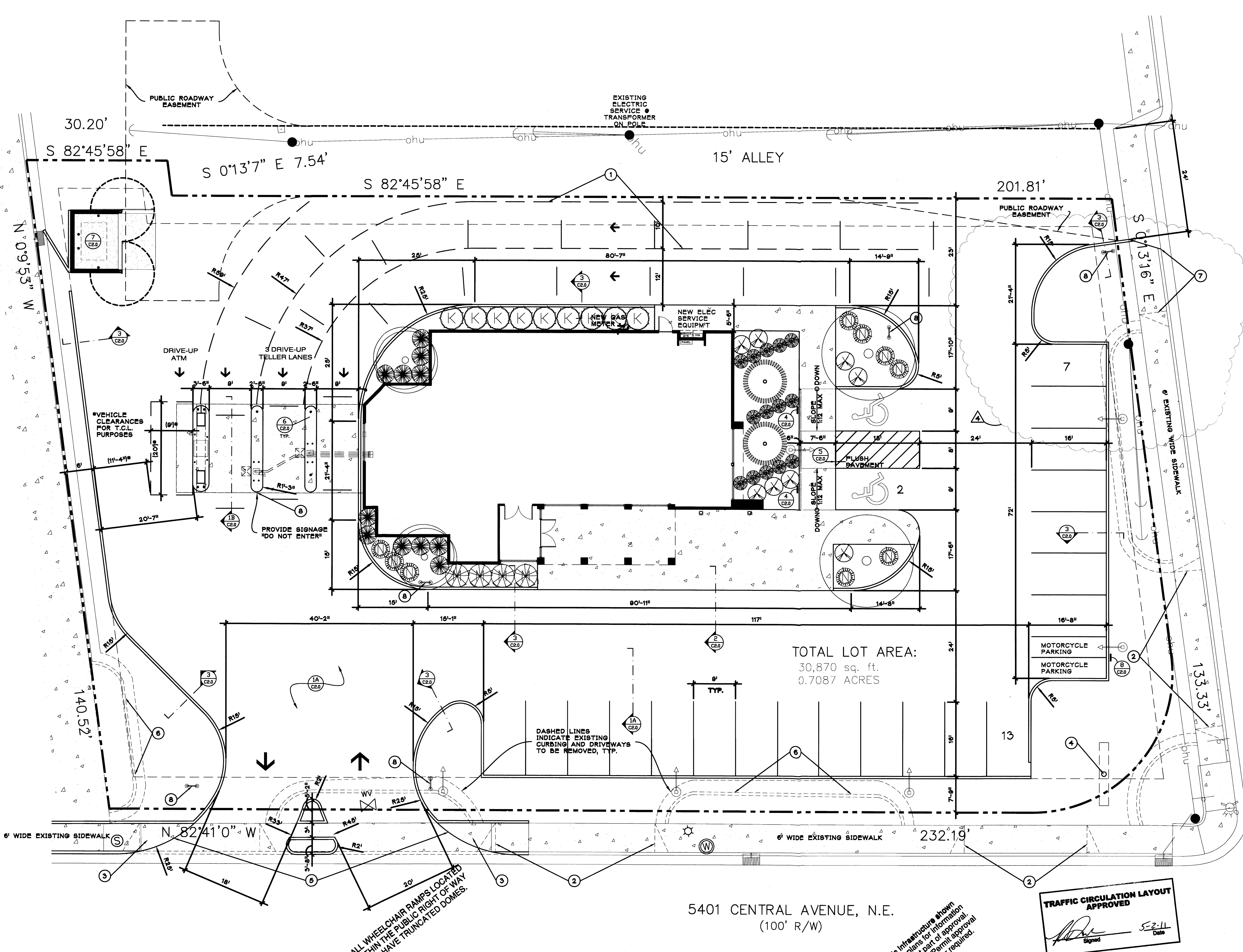


(1) PROVIDE 6" CMU WALL 6' HIGH @ DUMPSTER & AS NOTED OTHERWISE IN PLAN. FINISH W/ STUCCO SYSTEM TO MATCH BUILDING COLOR.

WALL SECTION

SCALE 1/2"=1'-0"

7 TRASH DUMPSTER ENCLOSURE



SITE PLAN
SCALE: 1" = 10' - 0"

5401 CENTRAL AVENUE, N.E.
(100' R/W)

Public Infrastructure shown
on these plans for information
only and no part of approval.
Separate engineering approval
and Work Order required.

TRAFFIC CIRCULATION LAYOUT
APPROVED
5-2-11
Date

REVISIONS

4 SEE L-1.0 LANDSCAPE PLAN FOR CHANGES
IN THIS AREA.

LEGAL DESCRIPTION

PLAT OF LOT 15-A, BLOCK 32, TIJERAS PLACE ADDITION
COMPRISED OF
LOTS 15-22, BLOCK 32,
TIJERAS PLACE ADDITION AND
THE EAST 1/2 OF VACATED ORTIZ DRIVE NE
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

ZONING DATA

APPLICABLE ZONE CODE DATA - CITY OF ALBUQUERQUE
ZONE ATLAS PAGE: K-18-2
ZONE CLASSIFICATION: C-2, COMMUNITY COMMERCIAL

LOT AREA = 0.7087 AC OR 30,870 SQ. FT.
BUILDING FLOOR AREA = 3,045 SQ. FT.
GROSS ROOF AREA = 4,364 SQ. FT.

REQUIRED LANDSCAPE AREA = 15% OF TOTAL LOT AREA
MINUS AREA OF LOT COVERED BY BUILDINGS.

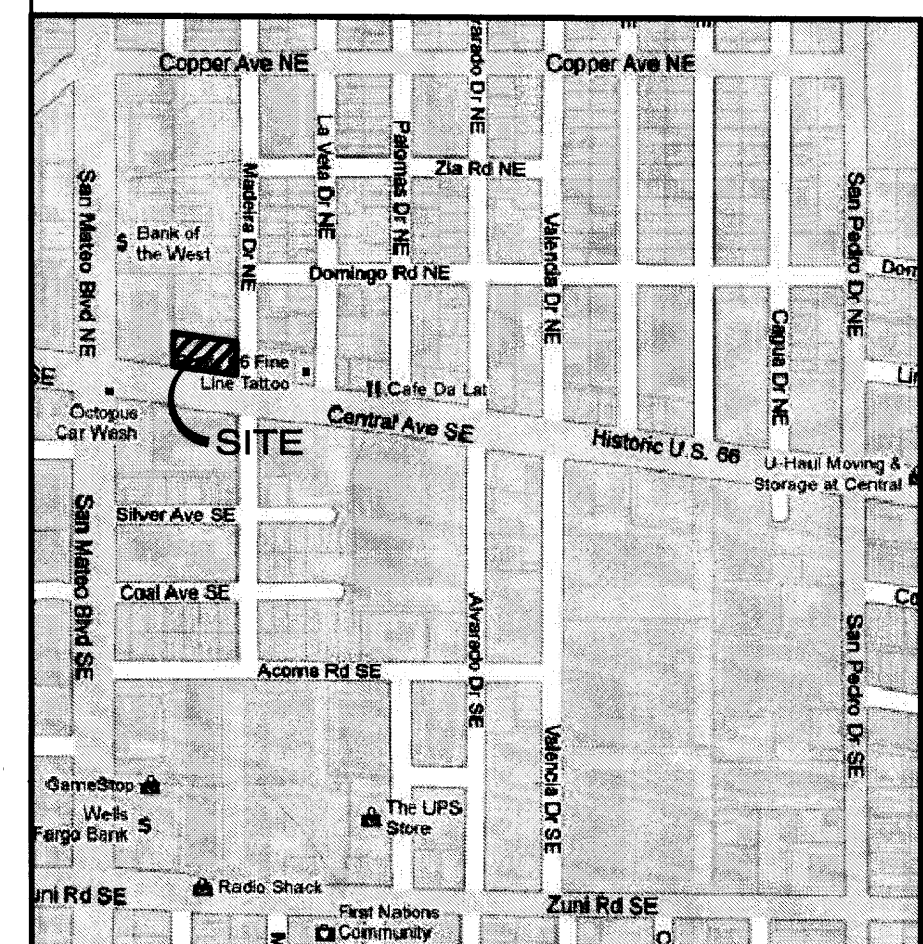
REQUIRED LANDSCAPE AREA = 3,976 S.F. OR 15%
PROVIDED LANDSCAPE AREA = 5,411 S.F. OR 20.4%

REQUIRED OFF STREET PARKING SPACES:
NET AREA = 3,045 SQ. FT.
OFF STREET PARKING SPACES REQUIRED = 1 PER 200 =
16 SPACES
OFF STREET PARKING SPACES PROVIDED = 20 SPACES
DISABLED SPACES REQUIRED = 2 SPACES
DISABLED SPACES PROVIDED = 2 SPACES
MOTORCYCLE SPACES REQUIRED = 1 SPACE
MOTORCYCLE SPACES PROVIDED = 2 SPACES

REQUIRED SETBACKS: 5' FRONT SETBACK.

MAXIMUM BUILDING HEIGHT = 26 FEET.

VICINITY MAP



KEYED NOTES

- [1] PROVIDE PAINTED STRIPING TO DESIGNATE DRIVE-UP LANES AS INDICATED
- [2] REMOVE EXISTING DRIVEWAY, REPLACE WITH SIDEWALK, CURB, AND GUTTER PER C.O.A. STANDARD SPECIFICATIONS SECTION 2400, DWG 2415A.
- [3] PROVIDE RAMP PER C.O.A. STANDARD SPECIFICATIONS SECTION 2400, DWG 2426. ALL RAMP IN R.O.W. MUST HAVE TRUNCATED DOMES. (TYPICAL)
- [4] PROVIDE POWER TO POLE SIGN, (POLE SIGN N.I.C.)
- [5] PROVIDE NEW DRIVEWAY AND TRAFFIC CONTROL ISLAND AS PER C.O.A. STANDARD SPECIFICATIONS SECTION 2400, DWG 2426.
- [6] REMOVE EXISTING CURB AND GUTTER IN PLANTER.
- [7] REMOVE EXISTING DRIVEWAY AND EXTEND SIDEWALK TO NEW LIMIT OF DRIVEWAY. CONSTRUCT NEW SIDEWALK, CURB, AND GUTTER PER C.O.A. STANDARD SPECIFICATIONS SECTION 2400, DWG 2426.
- [8] DIRECTIONAL TRAFFIC SIGN, NOT IN CONTRACT.

LEGEND - EXISTING FEATURES U.N.O. (UNLESS NOTED OTHERWISE)

- SANITARY SEWER MANHOLE
- UTILITY PEDESTAL
- ⊗ IRRIGATION BOX
- ⊞ STORM DRAIN INLET
- ⊙ FIRE HYDRANT
- ⊕ WATER METER
- SIGN
- CHAIN LINK FENCE
- ⊙ GAS METER
- ⊕ ELECTRIC METER
- ⊙ STREETLIGHT POST
- ⊕ GAS VALVE
- ⊕ WATER VALVE
- ⊙ NEW POLE LIGHT
- ⊙ NEW DIRECTIONAL SIGN

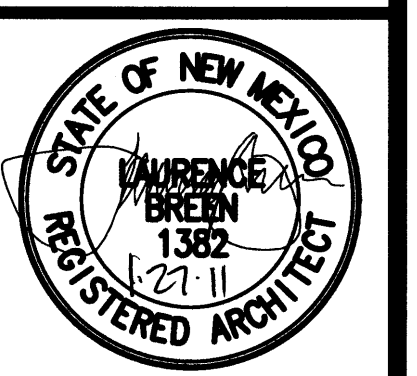
© DORMAN AND BREEN ARCHITECTS 2011

DORMAN and BREEN

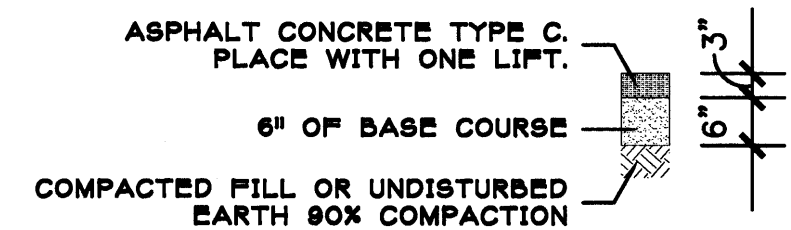
LAURENCE BREEN F.A.I.A.
Albuquerque Westside 505-792-8180

RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

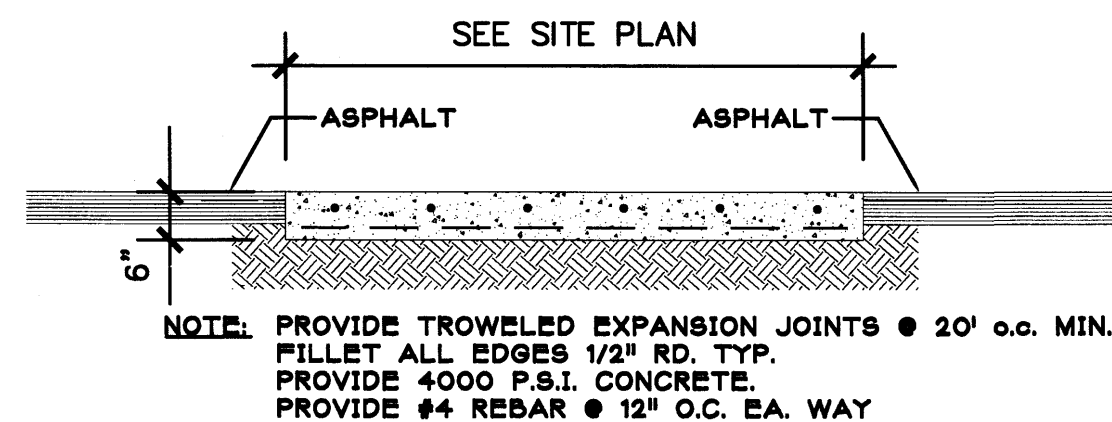
Building Shell for:
Bank of the West
5401 Central Ave.
Albuquerque, New Mexico 87108



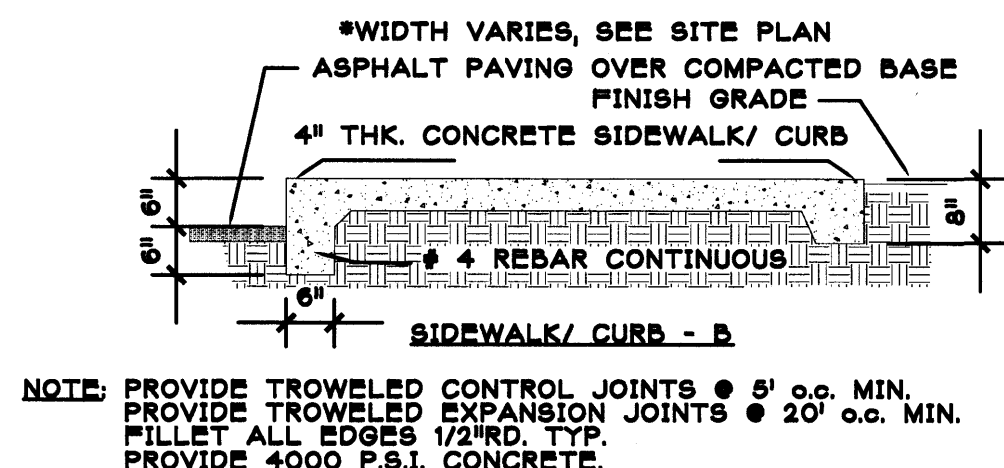
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JOB NUMBER:	1006
DATE:	1/27/11
REVISIONS:	DATE:
TCL REVISIONS	4/27/11
SHEET:	C-1.0
	6 OF 43



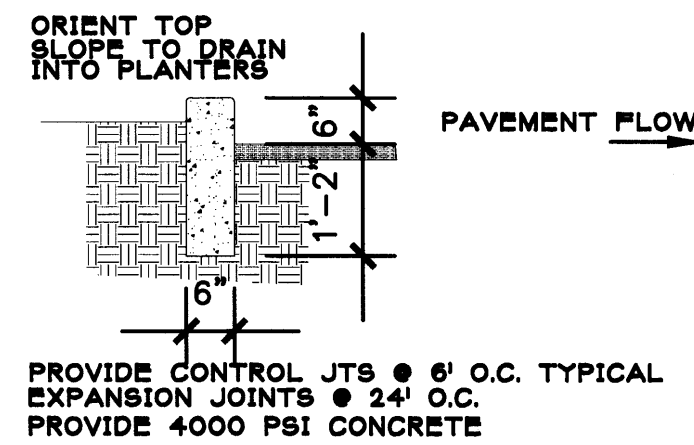
1a TYP. PAVEMENT SECTION
SCALE: 1/2" = 1' - 0"



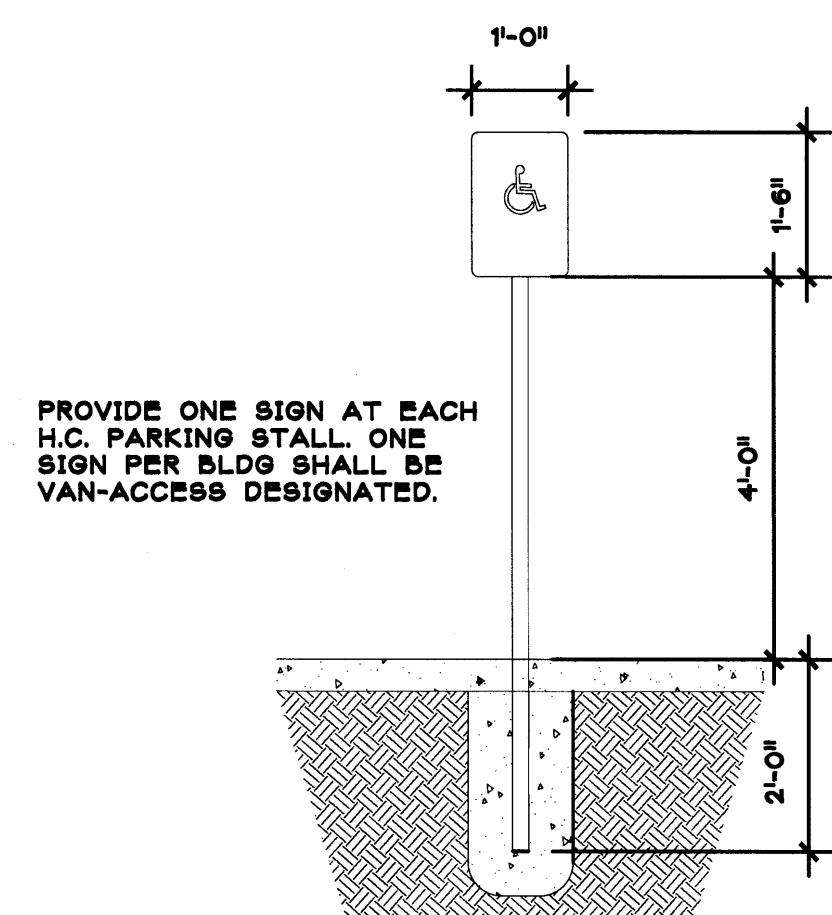
1b DRIVE-UP PAVEMENT SECTION
SCALE: 1/2" = 1' - 0"



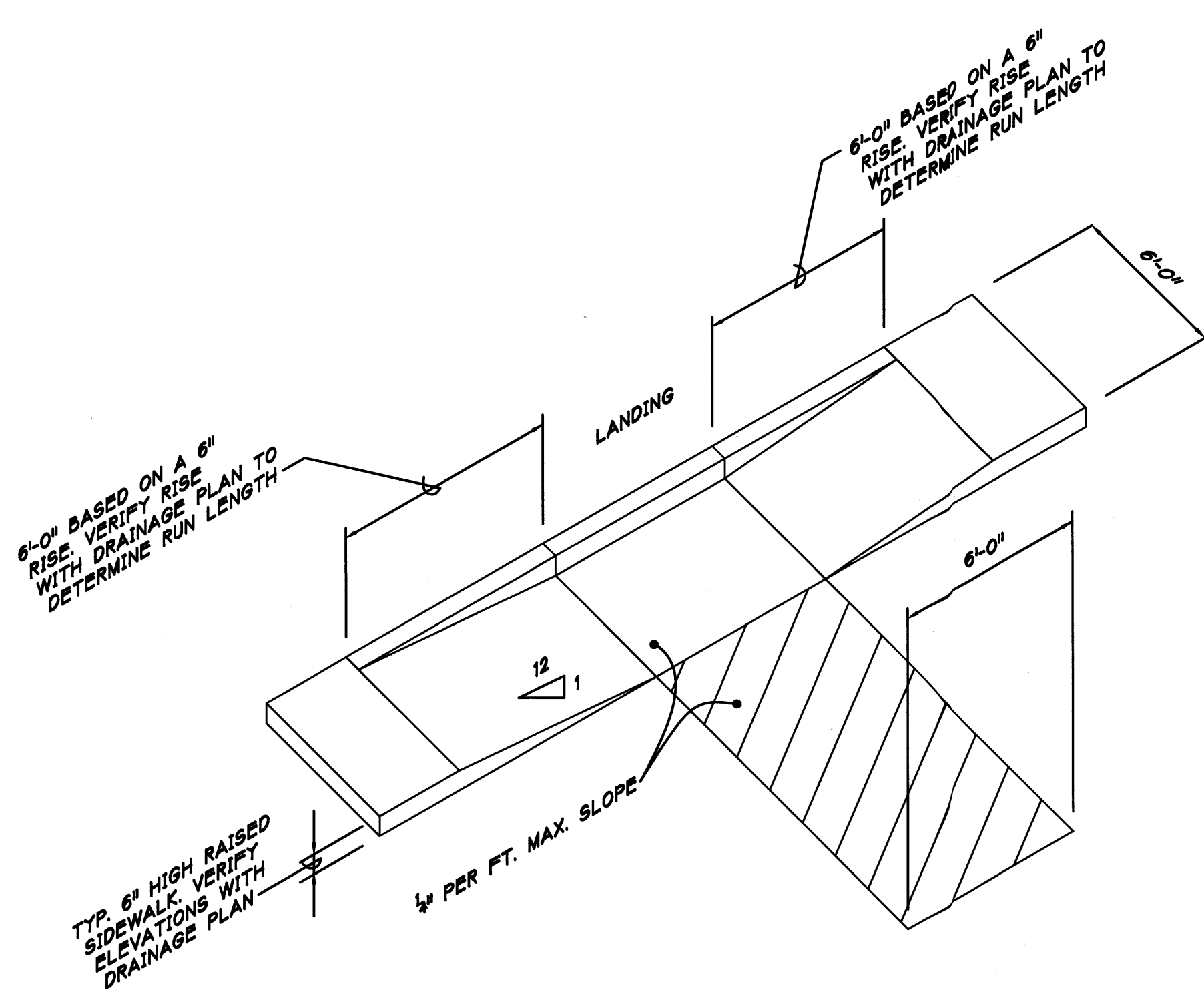
2 CURB/SIDEWALK
SCALE: 1/2" = 1' - 0"



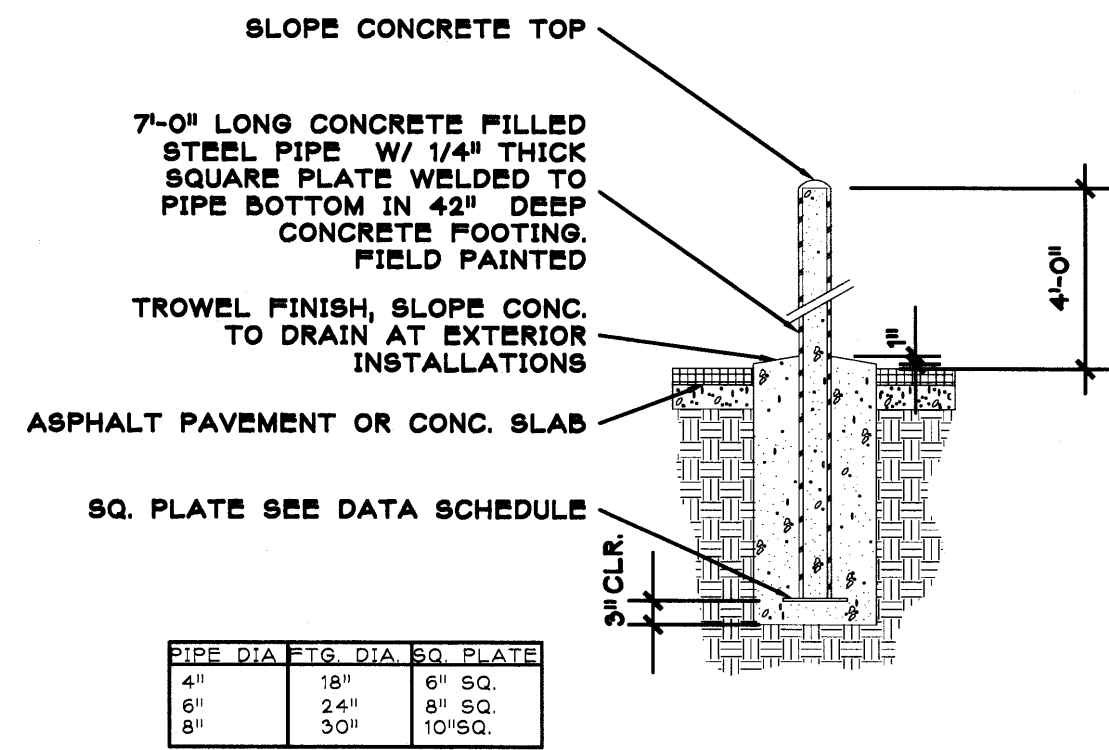
3 HEADER CURB
SCALE: 1/2" = 1' - 0"



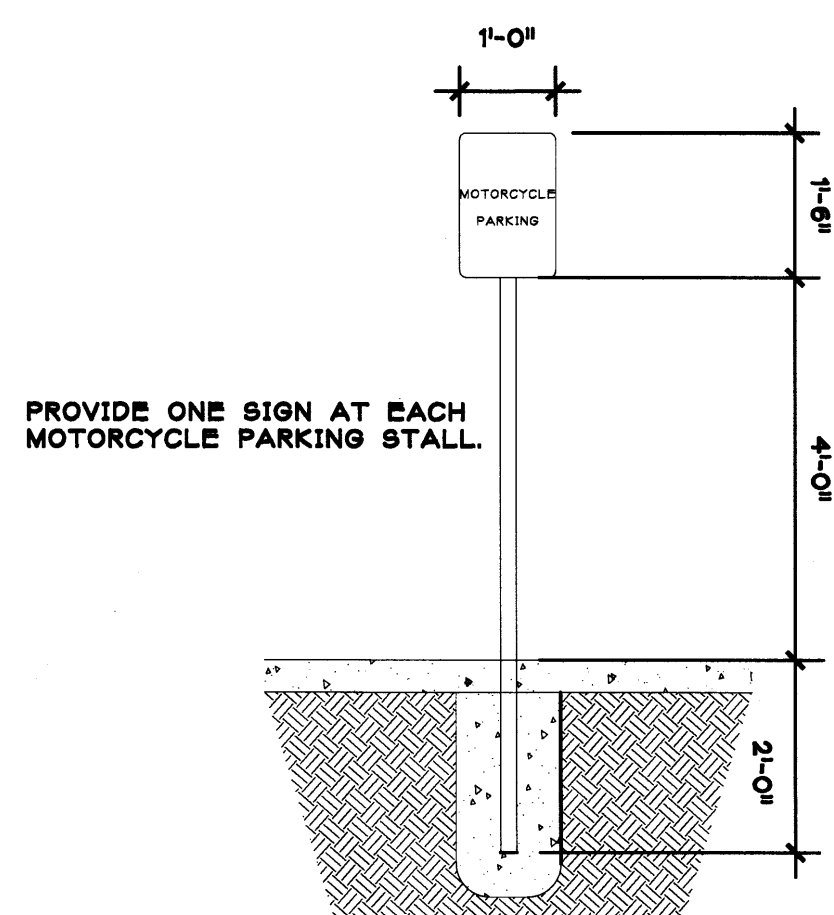
4 HC PARKING SIGN
SCALE: 1/2" = 1' - 0"



5 WHEELCHAIR RAMP DETAIL
SCALE: NONE

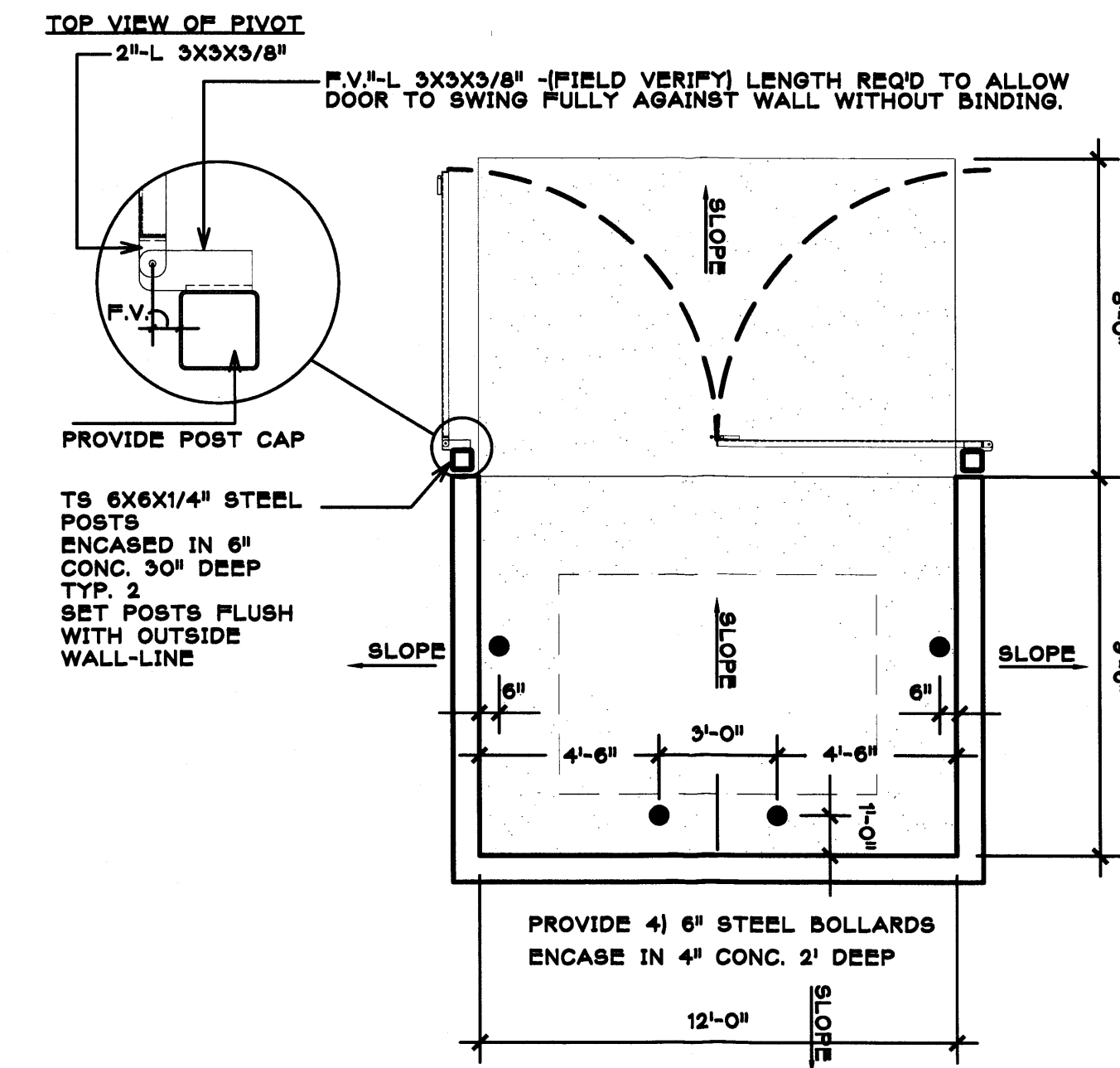


6 BOLLARD DETAIL
SCALE: 1/2" = 1' - 0"

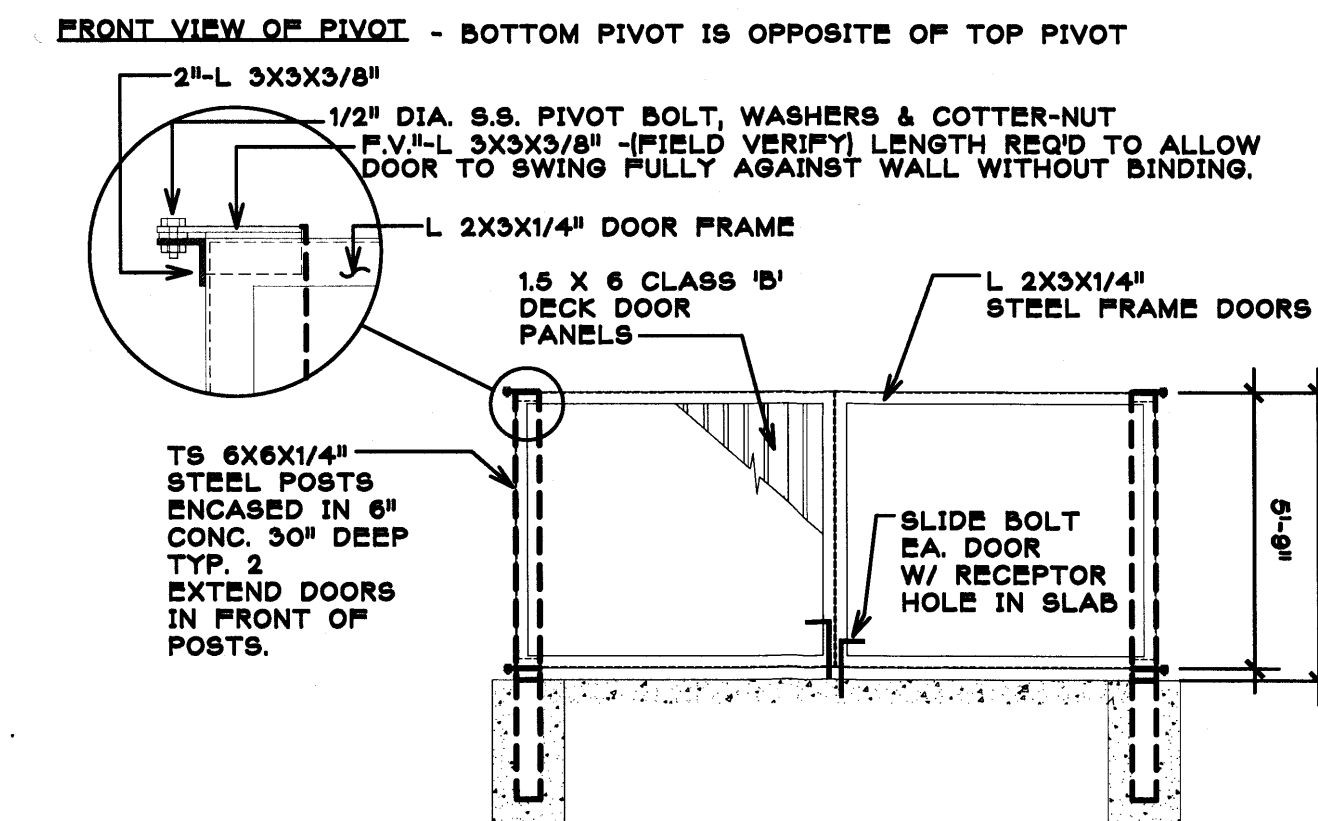


8 MOTORCYCLE PARKING SIGN
SCALE: 1/2" = 1' - 0"

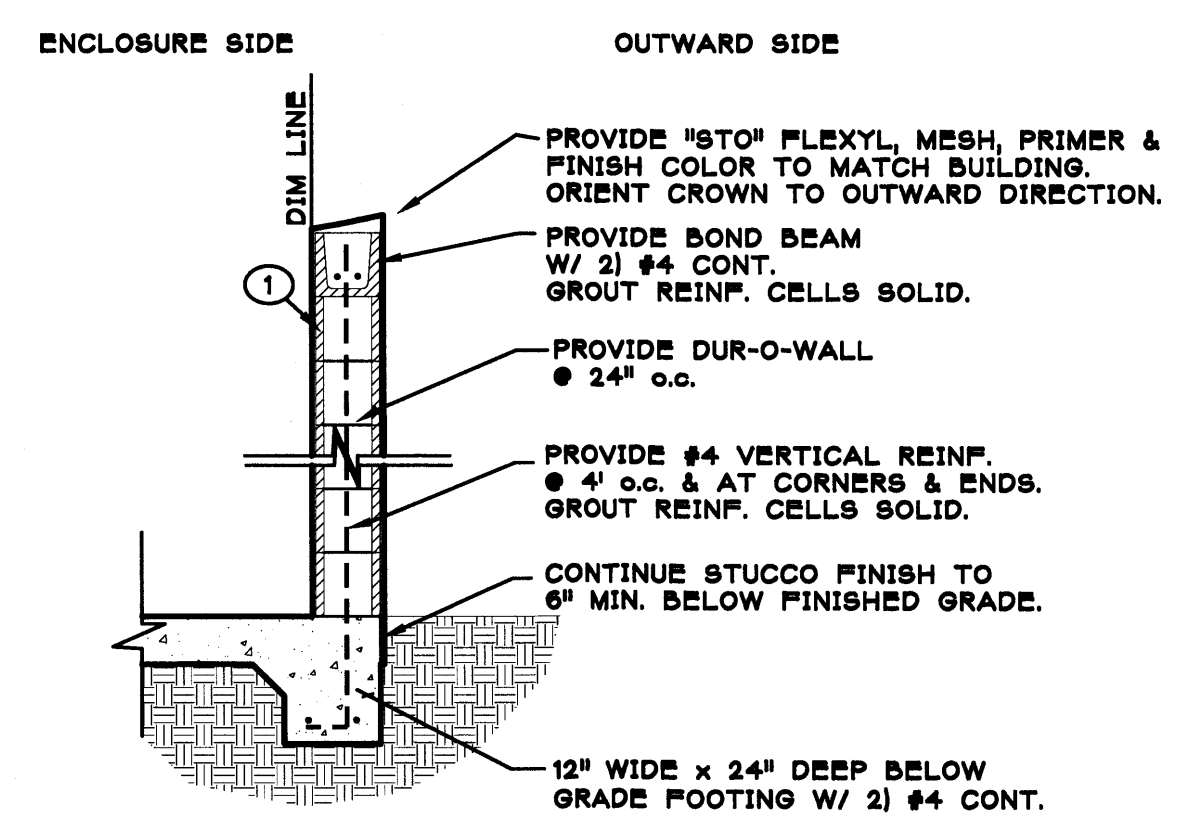
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CMU WALL: SEE SECTION BELOW



TYPICAL PLAN
SCALE 1/4"=1'-0"



FRONT VIEW OF GATES
SCALE 1/4"=1'-0"



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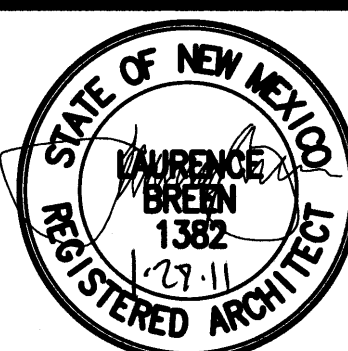
WALL SECTION
SCALE 1/2"=1'-0"

7 TRASH DUMPSTER ENCLOSURE

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DORMAN and BREEN
LAURENCE BREEN A.I.A.
Albuquerque Westside 505-792-8160

D + B
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

Building Shell for:
Bank of the West
5401 Central Ave.
Albuquerque, New Mexico 87108



SHEET TITLE:
SITE DETAILS

JOB NUMBER:
1006

DATE:
1/27/11

REVISIONS:
TCL REVISIONS 4/27/11


DATE:
4/27/11


SHEET:
C-2.0
8 OF 43


BASED UPON SCALING, THIS SUBJECT PROPERTY APPEARS TO BE IN ZONE(S) X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0354G, WHICH BEARS AN EFFECTIVE DATE OF 11/26/2008 BEING DEFINED AS AN AREA OUT OF THE 500 YEAR FLOODPLAIN. CENTRAL AVENUE IS WITHIN FLOOD ZONE A.


N 90°00'00" E	MEASURED BEARING AND DIST.
●	FOUND AS INDICATED
●	SET AS INDICATED
⊙	SANITARY SEWER MANHOLE
□	UTILITY PEDESTAL
⊠	IRRIGATION BOX
⊞	STORM DRAIN INLET
↑ ↓	INGRESS/EGRESS
↖ ↗ ↘	COVERED AREA


WATER METER
FIRE HYDRANT
OVERHEAD UTILITY
GUY WIRE
SIGN
CHAIN LINK FENCE
GAS METER
ELECTRIC METER
LIGHT POST
UTILITY POLE
GAS VALVE
WATER VALVE

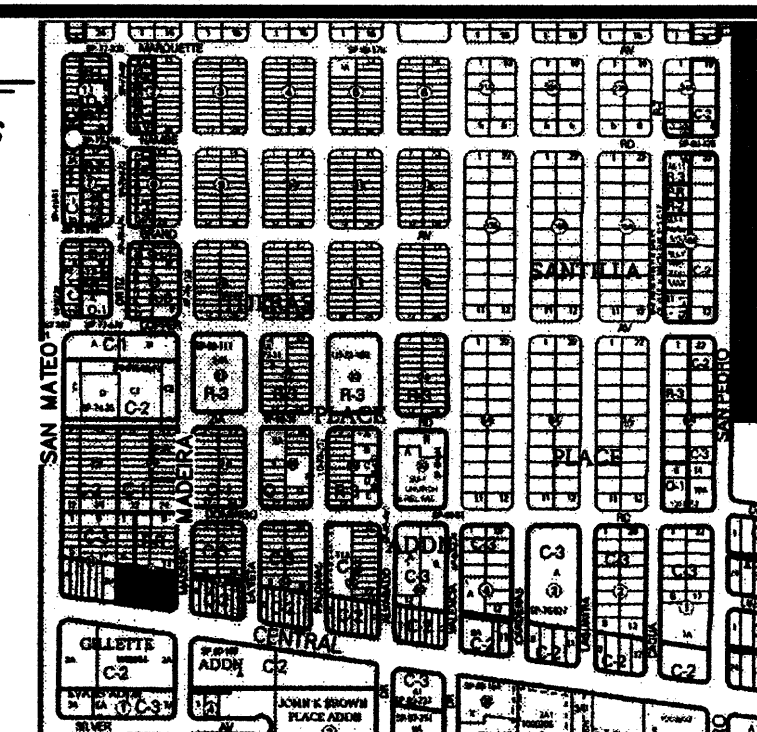

NEW SPOT ELEVATIONS


NEW FLOW ARROW


WATER BLOCK


NEW SIDEWALK


TRUNCATED DOMES



VICINITY MAP
ZONE ATLAS K-18-Z

ALL OF LOTS 15-22, INCLUSIVE, IN BLOCK 32, OF THE THERAS PLACE ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE AMENDED PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 24, 1923, BOOK C, PAGE 21, TOGETHER WITH THE EAST ONE-HALF OF VACATED ORTIZ DRIVE N.E., CONTAINING 0.7087 ACRES MORE OR LESS.

TOTAL AREA = 30.871 SQ.FT. = 0.7087 Acres

ELEVATIONS ARE NAVD88 DATUM VALUES BASED ON THE CITY OF ALBUQUERQUE BENCHMARK "6_K18A", ELEVATION = 5,250.00 FEET. ELEVATIONS OF ALL SURVEYED POINTS WERE DETERMINED BY DIFFERENTIAL LEVELING, GPS/RTK AND TOTAL STATION SURVEY METHODS.

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK,
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND SHALL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND NETTING THE SOIL TO KEEP IT FROM BLOWING.

C.O.A. STANDARD S0.19 NOTES
NOTICE TO CONTRACTOR

PERMIT TO CONSTRUCTION		
1.	An excavation/construction permit will be required before beginning any work within City right of way.	
2.	All work detailed on these plans to be performed, except as otherwise stated or provided for herein, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1996 Edition as revised through update #7 amendment 1).	
3.	Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (280-1990) for location of existing utilities.	
4.	Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.	
5.	Backfill compaction shall be according to Traffic / street use.	
6.	Maintenance of these facilities shall be the responsibility of the Owner of the property served.	
7.	Work on Arterial Street shall be Performed on a 24-hour Basis.	

Approval	Name	Date
Inspector		

— REMOVE EXISTING DRIVEWAY,
REPLACE WITH SIDEWALK,
CURB, AND GUTTER PER CIT
STANDARD.

Bank of the West
5401 Central Ave.
Albuquerque, New Mexico 87108

DORMAN and BREEN

RICHARD DORMAN F.A.I.A.

LAURENCE BREEN A.I.A.
Albuquerque Westside 505-792-8160

SHEET TITLE:

Grading &
Drainage Plan

JOB NUMBER:
A10043

DATE: 11/16/2010

REVISIONS:	

SHEET:

C 1

C-1

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9535

Flood Notes

BASED UPON SCALING, THIS SUBJECT PROPERTY APPEARS TO BE IN ZONE(S) X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0354S, WHICH BEARS AN EFFECTIVE DATE OF 11/26/2008 BEING DEFINED AS AN AREA OUT OF THE 500 YEAR FLOODPLAIN. CENTRAL AVENUE IS WITHIN FLOOD ZONE A.

NOTE:

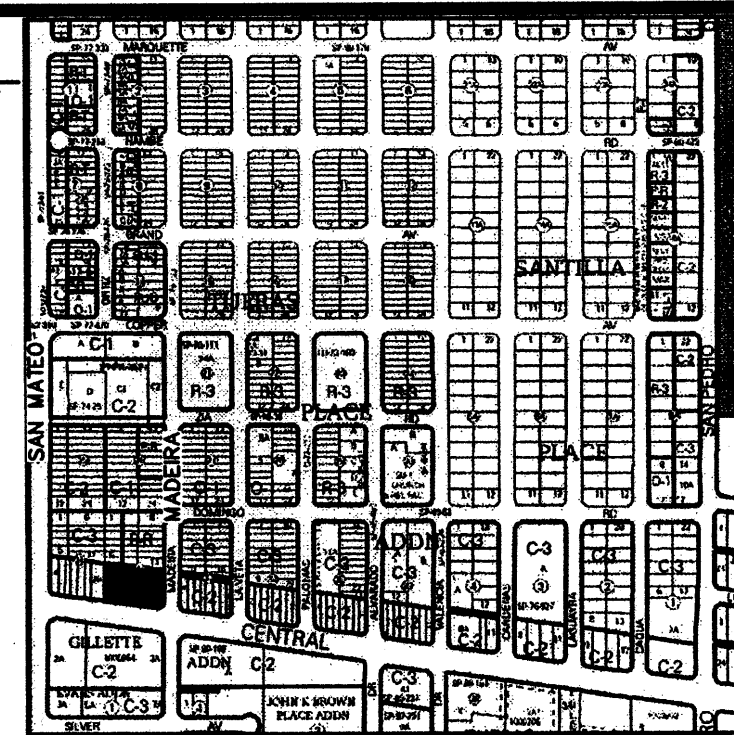
- Ⓐ PROTECT SLOPE WITH 2"-3" LANDSCAPE ROCK OR 2" AC SURFACE

LEGEND

- N 90°00'00" E MEASURED BEARING AND DIST.
 FOUND AS INDICATED
 SET AS INDICATED
 SANITARY SEWER MANHOLE
 UTILITY PEDESTAL
 IRRIGATION BOX
 STORM DRAIN INLET
 INGRESS/EGRESS
 COVERED AREA

- WATER METER
 FIRE HYDRANT
 OVERHEAD UTILITY LINES
 GUY WIRE
 SIGN
 CHAIN LINK FENCE
 GAS METER
 ELECTRIC METER
 LIGHT POST
 UTILITY POLE
 GAS VALVE
 WATER VALVE

- NEW SPOT ELEVATIONS
 NEW FLOW ARROW
 WATER BLOCK
 NEW SIDEWALK
 TRUNCATED DOMES



VICINITY MAP
 ZONE ATLAS K-18-Z

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ACS BENCHMARK

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STANDARD GRADING NOTES

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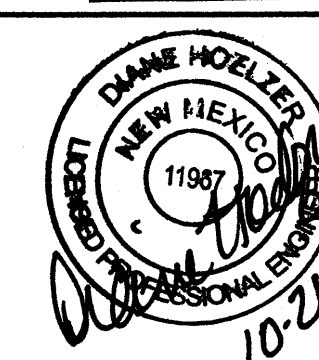
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- Work on Arterial Street shall be performed on a 24-hour basis.

Approval	Name	Date
Inspector		

MADERA DRIVE, N.E. 150' R/W

RECEIVED
 OCT 21 2010
 HYDROLOGY SECTION



MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

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