

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 31, 2024

Delcie Dobrovolny
Equiterra Regenerative Design Inc
302 Central Ave SE
Albuquerque, NM 87102

**Re: Tower 10
300 San Mateo Blvd NE
Traffic Circulation Layout
Architect's Stamp 07-29-24 (K18D065A)**

Dear Mr. Cinelli,

The TCL submittal received 07-12-2024 is approved for Building Permit by transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to plndrs@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Tower 10 **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: See attached

City Address: 300 San Mateo Blvd NE; Albuquerque 87108

Applicant: Equiterra Regenerative Design Inc **Contact:** Delcie Dobrovolny

Address: 302 Central Ave SE; Albuquerque NM 87102

Phone#: 505-242-2851 **Fax#:** _____ **E-mail:** delcie@equiterra.design

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 05/08/2024 **By:** Delcie Dobrovolny

COA STAFF:

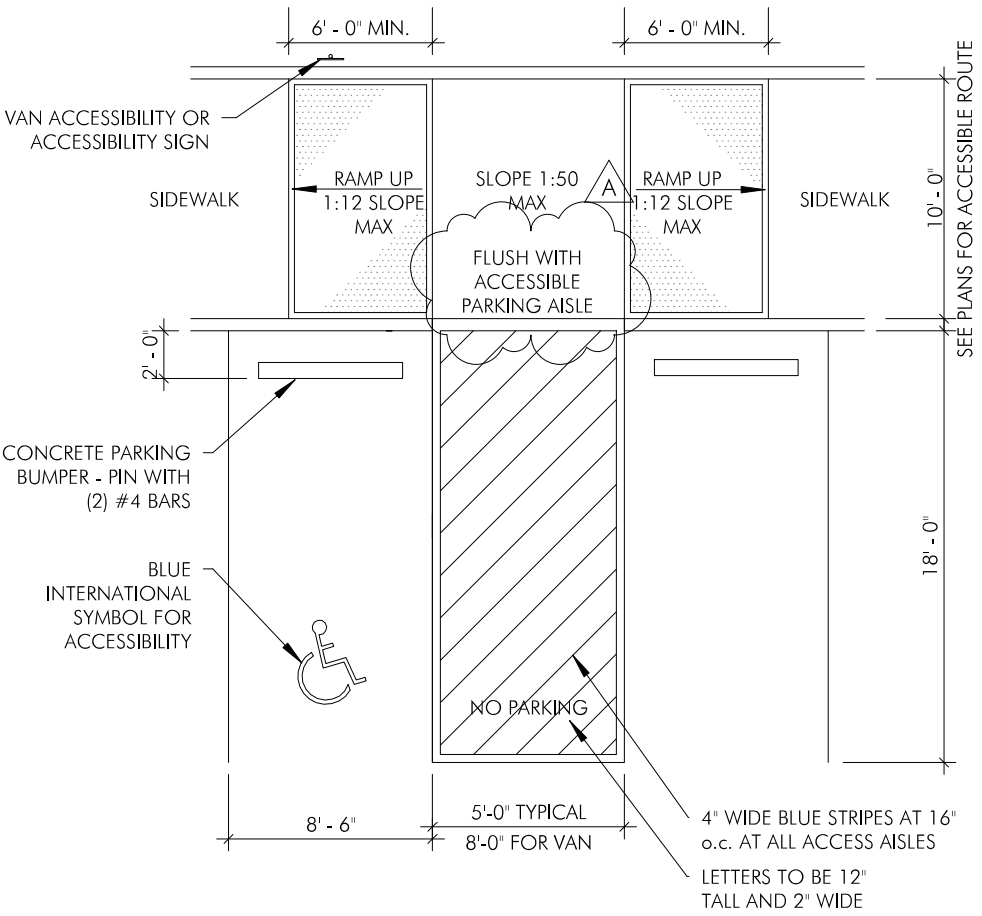
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

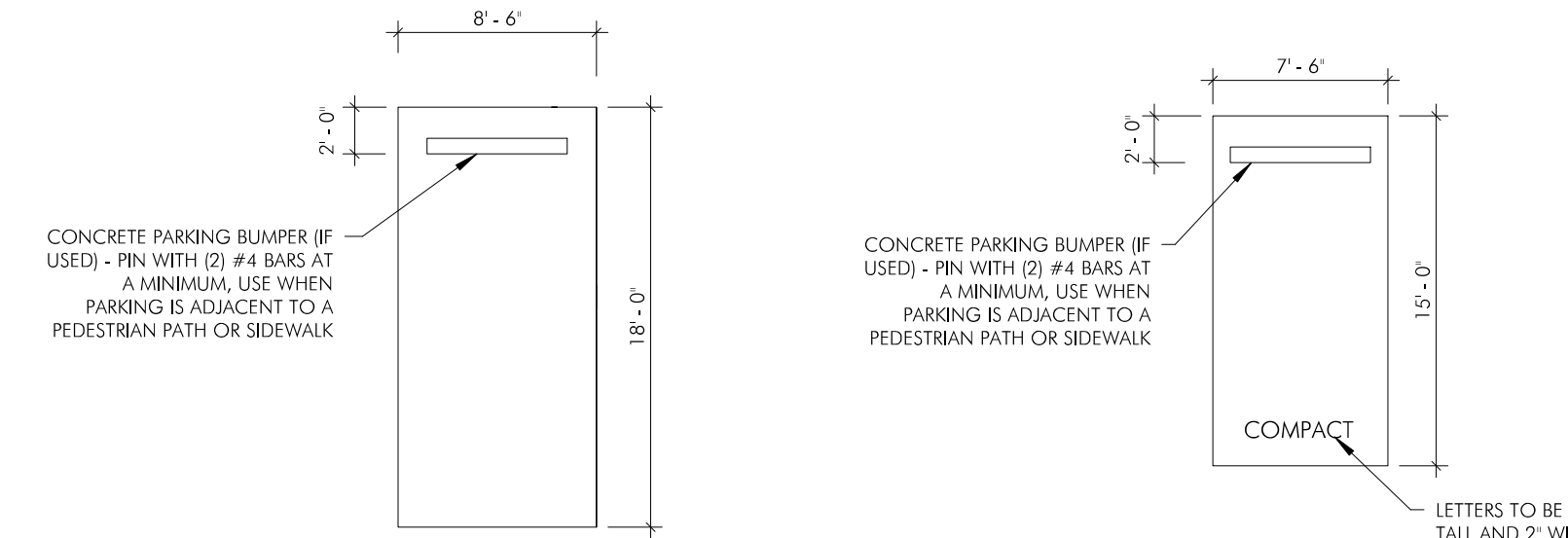
LEGAL DESCRIPTION:

PARCELS B, C-1, C-2, D & E; PORTIONS OF LOTS 1-12 AND ALL OF LOTS 13-24, BLOCK 25; ALL OF LOTS 1-24, BLOCK 26; PORTIONS OF LOTS 1-5 & 13-15, AND ALL OF LOTS 6-11 & 16-20, BLOCK 31; ALL OF LOTS 1-14, BLOCK 32; AND PORTIONS OF VACATED ORTIZ DRIVE, DOMINGO ROAD AND 15' ALLEY TIJERAS PLACE ADDITION AND TRACTS IDENTIFIED AS 3-6-EL-1, 3-6-EL-2 & 3-7-EL-1

EASEMENT SCHEDULE	
EASEMENT CALLOUT NUMBER	EASEMENT DESCRIPTION
1	EXISTING 30' INGRESS & EGRESS EASEMENT (9/15/1975, BK. MSC. 440, PG. 113, DOC. NO. 81496) AND SHOWN ON PLAT (3/13/1974, D6-28)
2	EXISTING 10' NON-EXCLUSIVE PUBLIC UTILITY EASEMENT (3/23/2011, 2011C-28, DOC. NO. 2011028119)
3	EXISTING PUBLIC ROADWAY EASEMENT (3/18/2011, DOC. NO. 2011026730) AS SHOWN ON PLAT (3/23/2011, 2011C-28, DOC. NO. 2011028119)
4	EXISTING PUBLIC ROADWAY EASEMENT (3/23/2011, 2011C-28, DOC. NO. 2011028119)
5	EXISTING 20' SANITARY SEWER AND WATER LINE EASEMENT (3/13/1974, D6-28)
6	EXISTING 7' MOUNTAIN STATES TELEPHONE & TELEGRAPH EASEMENT AS SHOWN ON PLAT (3/13/1974, D6-28)
7	EXISTING 10' UTILITY EASEMENT (3/13/1974, D6-28)
8	EXISTING 5' PNM AND MST&T EASEMENT (06/29/1956, BK. D355, PG. 321, DOC. NO. 992255) PARTIALLY RELEASED BY PNM PER WAIVER AND RELEASE (2/14/1974, BK. MSC. 354, PG. 143, DOC. NO. 94661)
9	EXISTING 5' PNM AND MST&T EASEMENT (2/5/1957, BK. MSC. 376, PG. 146, DOC. NO. 38553)
10	EASEMENTS RESERVED FOR EXISTING UTILITIES WITHIN THE VACATED RIGHT-OF-WAY OF ORTIZ DRIVE AND 21A ROAD PER ORDINANCE NO. 32-1973, DATED 3/26/1973 (4/3/1973, BK. MSC. 306, PG. 104, DOC. NO. 43924) RELEASED BY MST&T PER QUITCLAIM DEED (10/7/1985, BK. 252-A, PG. 280, DOC. NO. 85-84064) AND RELEASED BY PNM PER WAIVER AND RELEASE OF EASEMENT (9/19/1985, BK. MSC. 272-A, PG. 864, DOC. NO. 85-78568) RETAINED BY NM GAS PER DISCLAIMER (09/26/1985, BK. 274A, PG. 941, DOC. NO. 8580460)
11	EXISTING 5' PNM AND MST&T EASEMENT (8/26/1957, BK. D 396, PG. 549, DOC. NO. 38553)
12	EASEMENTS RESERVED FOR EXISTING UTILITIES WITHIN THE VACATED RIGHT-OF-WAY OF ORTIZ DRIVE AND DOMINGO ROAD PER COMMISSION ORDINANCE 2053, DATED 01/30/1952, EVIDENCED BY QUITCLAIM DEEDS (11/27/1962, BK. D670, PG. 88, DOC. NO. 11809) AND (3/21/1963, BK. D685, PG. 539, DOC. NO. 29786)
13	EXISTING RETAINED 5' MST&T EASEMENT (06/29/1956, BK. D355, PG. 321, DOC. NO. 992255) PARTIALLY RELEASED BY PNM PER WAIVER AND RELEASE (2/14/1974, BK. MSC. 354, PG. 143, DOC. NO. 94661)
14	EXISTING EASEMENT FOR TURNING BAY ADJACENT TO 15' PUBLIC ALLEY (06/22/1962, BK. D648, PG. 1, DOC. NO. 88451)
15	EXISTING UNRESTRICTED CABLE TELEVISION EASEMENT FOR CONSTRUCTION, INSTALLATION, MAINTENANCE, OPERATION, REPAIR, REPLACEMENT, UPGRADING, EXPANSION AND REMOVAL (5/15/1991, BK. 91-8, PG. 3361-3368, DOC. NO. 91037828) BLANKET IN NATURE WITHIN BUILDING AS SHOWN HEREON.

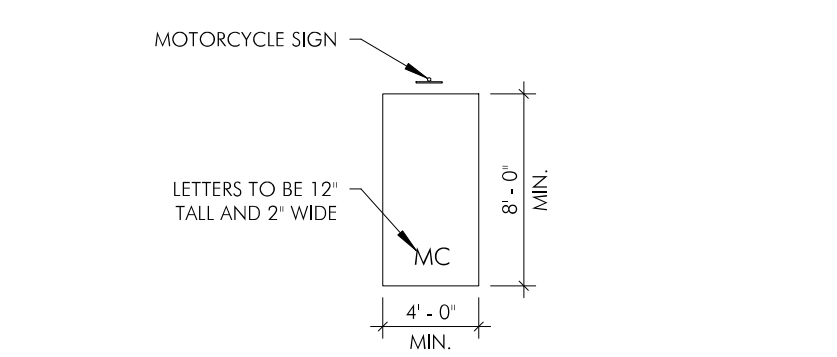


E1 ACCESSIBLE PARKING AND RAMP
1/8" = 1'-0"



D1 TYPICAL STANDARD PARKING
1/8" = 1'-0"

D2 TYPICAL COMPACT PARKING
1/8" = 1'-0"



C1 TYPICAL MOTORCYCLE PARKING
1/8" = 1'-0"

C2 TYPICAL MOTORCYCLE SIGNAGE
3/4" = 1'-0"



B1 TYPICAL POST-MOUNTED SIGNAGE
1/4" = 1'-0"

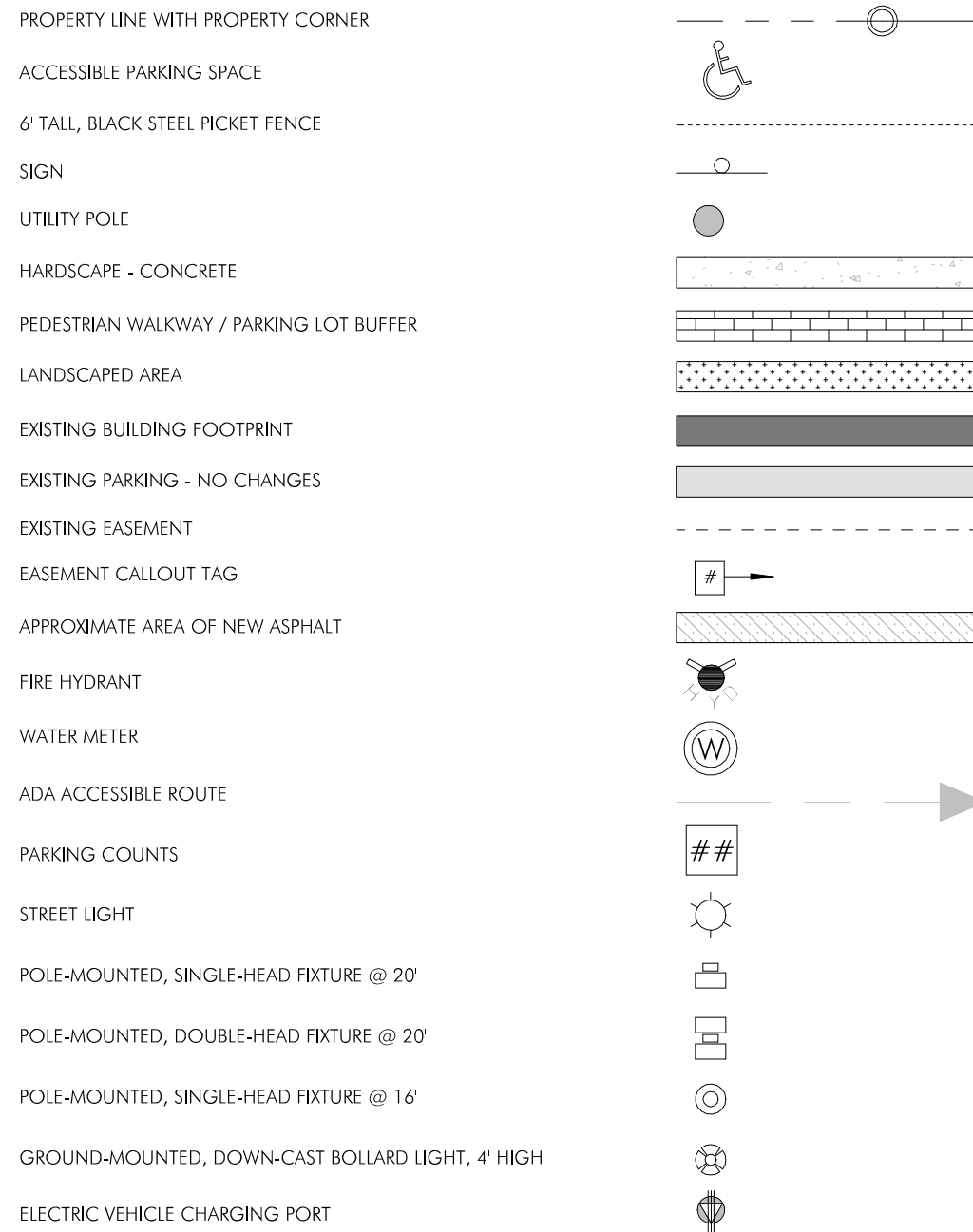
B2 TYPICAL ACCESSIBILITY SIGNAGE
1/2" = 1'-0"



A1 TYPICAL PARKING ISLAND 90 DEGREE
1/16" = 1'-0"

A2 TYPICAL PARKING ISLAND 60 DEGREE
1/16" = 1'-0"

LEGEND - SITE PLAN



PROJECT INFORMATION

PROJECT ADDRESS: 300 SAN MATEO BLVD NE ALBUQUERQUE, NM 87108

LEGAL DESCRIPTION: PARCELS B, C-1, C-2, D & E, PORTIONS OF LOTS 1-12 AND ALL OF LOTS 13-24, BLOCK 25; ALL OF LOTS 1-24, BLOCK 26; PORTIONS OF LOTS 1-5 & 15-15, AND ALL OF LOTS 6-11 & 16-20, BLOCK 31; ALL OF LOTS 1-14, BLOCK 32; AND PORTIONS OF VACATED ORTIZ DRIVE, DOMINGO ROAD AND 15' ALLEY TUNAS PLAGE ADDITION AND TRACTS IDENTIFIED AS 3-6-EL-1, 3-6-EL-2 & 3-7-EL-1

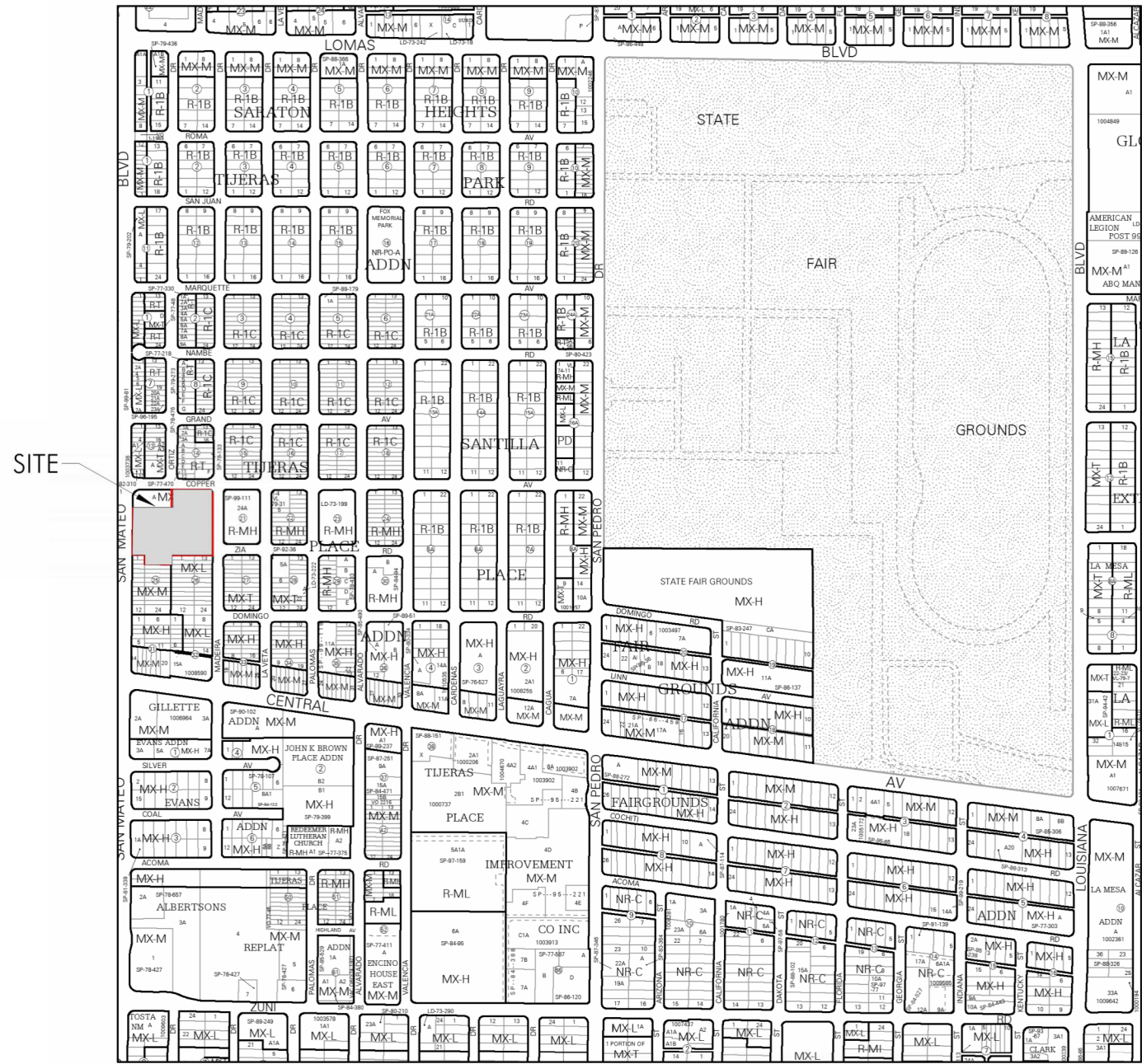
TYPE OF DEVELOPMENT: CONVERSION OF OFFICE (8 OCCUPANCY) TO APARTMENTS (8-2)

SIZE OF DEVELOPMENT: 3.2 ACRES

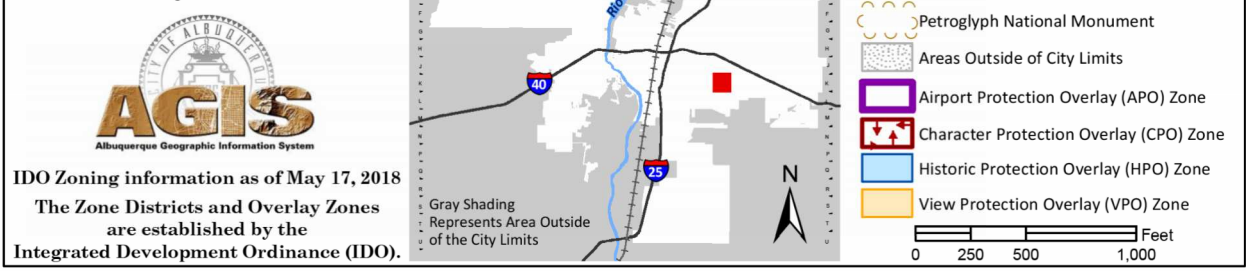
GENERAL NOTES

PARKING CALCULATIONS

300 SAN MATEO (CURRENT SCOPE OF WORK)	
RESIDENTIAL STUDIOS (@ 1/DU) - 2 UNITS = 2 SPACES	124.4 SPACES
1 BR (@ 1.0/DU) - 90 UNITS = 108 SPACES	
2 BR (@ 1.6/DU) - 9 UNITS = 14.4 SPACES	
AMENITY SPACES	145.35 SPACES
AMENITIES (@ 1/1000SF) 11,584SF = 34.75	
POOL (@ 1/3 OCCUPANTS) 332 OCC = 110.6	
BUSINESS OFFICE	0.67 SPACES
TOTAL SPACES REQUIRED	270.4 SPACES
PARKING REDUCTIONS	
PROXIMITY TO TRANSIT (30%)	81.12 SPACES
MT IN AREA OF CHANGE (20%)	54 SPACES
TOTAL SPACES REQUIRED AFTER REDUCTIONS	135.28
TOTAL SPACES PROVIDED	176
ADA SPACES REQUIRED	8 SPACES (2 VAN)
ADA SPACES PROVIDED	8 SPACES (2 VAN)
PARKING SPACES INSIDE OF GRAY HATCH ARE PART OF 5401 CENTRAL PROPERTY AND NOT INCLUDED IN REQUIRED PARKING	
MOTORCYCLE SPACES REQUIRED	18 SPACES
MOTORCYCLE SPACES PROVIDED	15 SPACES
BICYCLE PARKING SPACES REQUIRED (10% OF OFF-STREET PARKING)	15 SPACES
OUTSIDE BICYCLE PARKING SPACES PROVIDED	61 SPACES
INSIDE BICYCLE PARKING SPACES PROVIDED	
5401 CENTRAL (NOT INCLUDED IN SCOPE OF WORK - PROVIDED FOR REFERENCE ONLY)	
OFFICE (@ 2.5/1000SF) 174,994 SF = 437.5 SPACES	
RESIDENTIAL 2 BR (@ 1.6/DU) 2 UNITS = 3.2 SPACES	
TOTAL SPACES REQUIRED	440.7
TOTAL SPACES PROVIDED	600
NOTE: 5401 CENTRAL IS IN A PT ZONE	

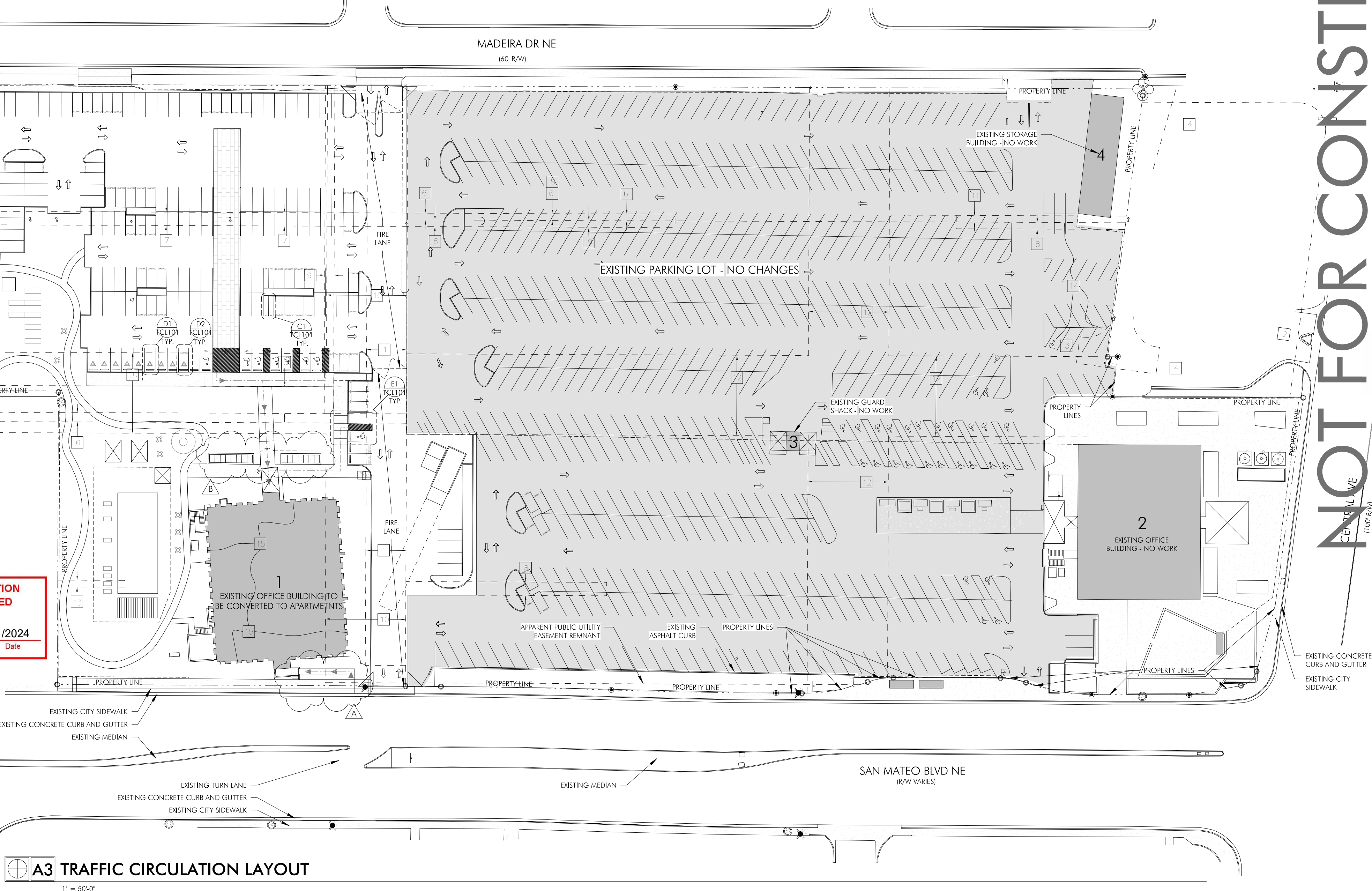


IDO Zone Atlas May 2018



E4 VICINITY MAP

NTS



A3 TRAFFIC CIRCULATION LAYOUT

1" = 50'-0"

NOT FOR CONSTRUCTION

EQUITERRA
302 central ave se
albuquerque, nm 87102
ph 505.242.2851
regenerative design
www.equitterra.design

PARK CENTRAL APARTMENTS
Route 66 Multi Family ABQ
300 SAN MATEO BLVD NE, ALBUQUERQUE, NM 87108



CONSTRUCTION DOCUMENTS

DRAWN BY: MC
CHECKED BY: DD/KDB
DATE: JUL 15, 2024

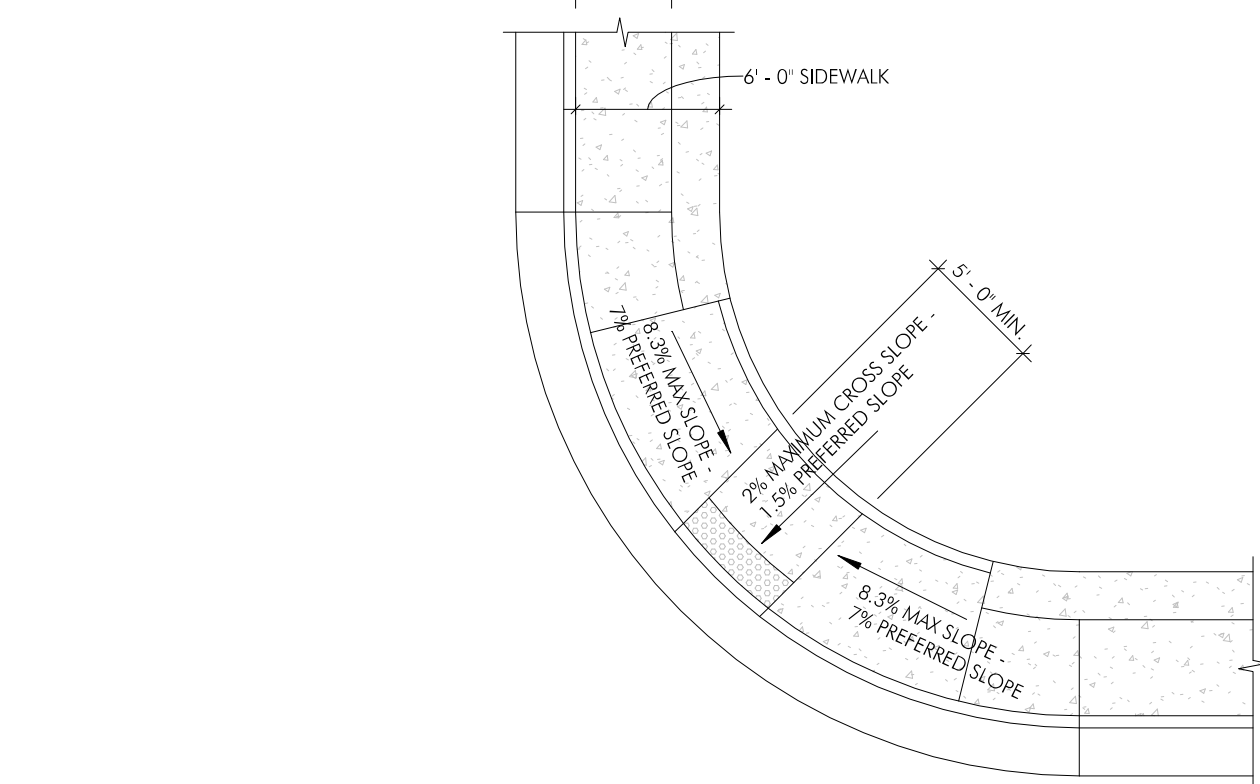
A TCL Response 07-18-2024
B TCL Response 07-29-2024

TRAFFIC CIRCULATION LAYOUT

24001
TCL101

D1 DRIVEPAD & SIDEWALK (BASED ON CABQ STANDARD DRAWING #2425B-A)

1/4" = 1'-0"



C1 CORNER ACCESS RAMP (BASED ON CABQ STANDARD DRAWING #2441-A)

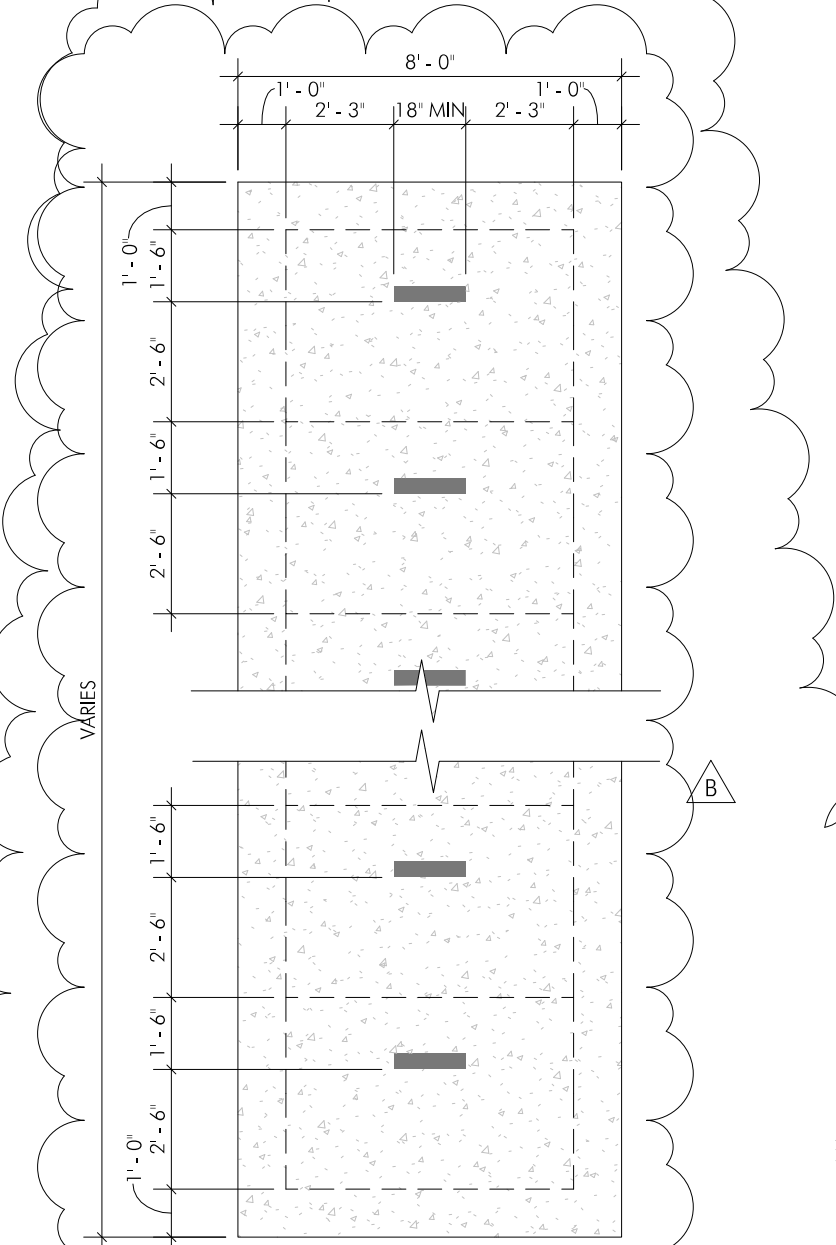
1/8" = 1'-0"

LEGEND - SITE PLAN

- PROPERTY LINE WITH PROPERTY CORNER
- ACCESSIBLE PARKING SPACE
- 6' TALL, BLACK STEEL PICKET FENCE
- SIGN
- UTILITY POLE
- HARDSCAPE - CONCRETE
- PEDESTRIAN WALKWAY / PARKING LOT BUFFER
- LANDSCAPED AREA
- EXISTING BUILDING FOOTPRINT
- EXISTING PARKING - NO CHANGES
- EXISTING EASEMENT
- EASEMENT CALLOUT TAG
- APPROXIMATE AREA OF NEW ASPHALT
- FIRE HYDRANT
- WATER METER
- ADA ACCESSIBLE ROUTE
- PARKING COUNTS
- STREET LIGHT
- POLE-MOUNTED, SINGLE-HEAD FIXTURE @ 20'
- POLE-MOUNTED, DOUBLE-HEAD FIXTURE @ 20'
- POLE-MOUNTED, SINGLE-HEAD FIXTURE @ 16'
- GROUND-MOUNTED, DOWN-CAST BOLLARD LIGHT, 4" HIGH
- ELECTRIC VEHICLE CHARGING PORT

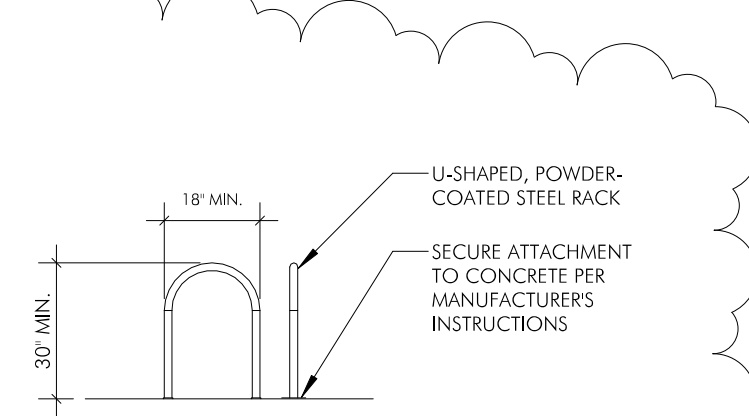
B1 TYPICAL BICYCLE PARKING

1/4" = 1'-0"



B2 TYPICAL BICYCLE RACK

1/4" = 1'-0"

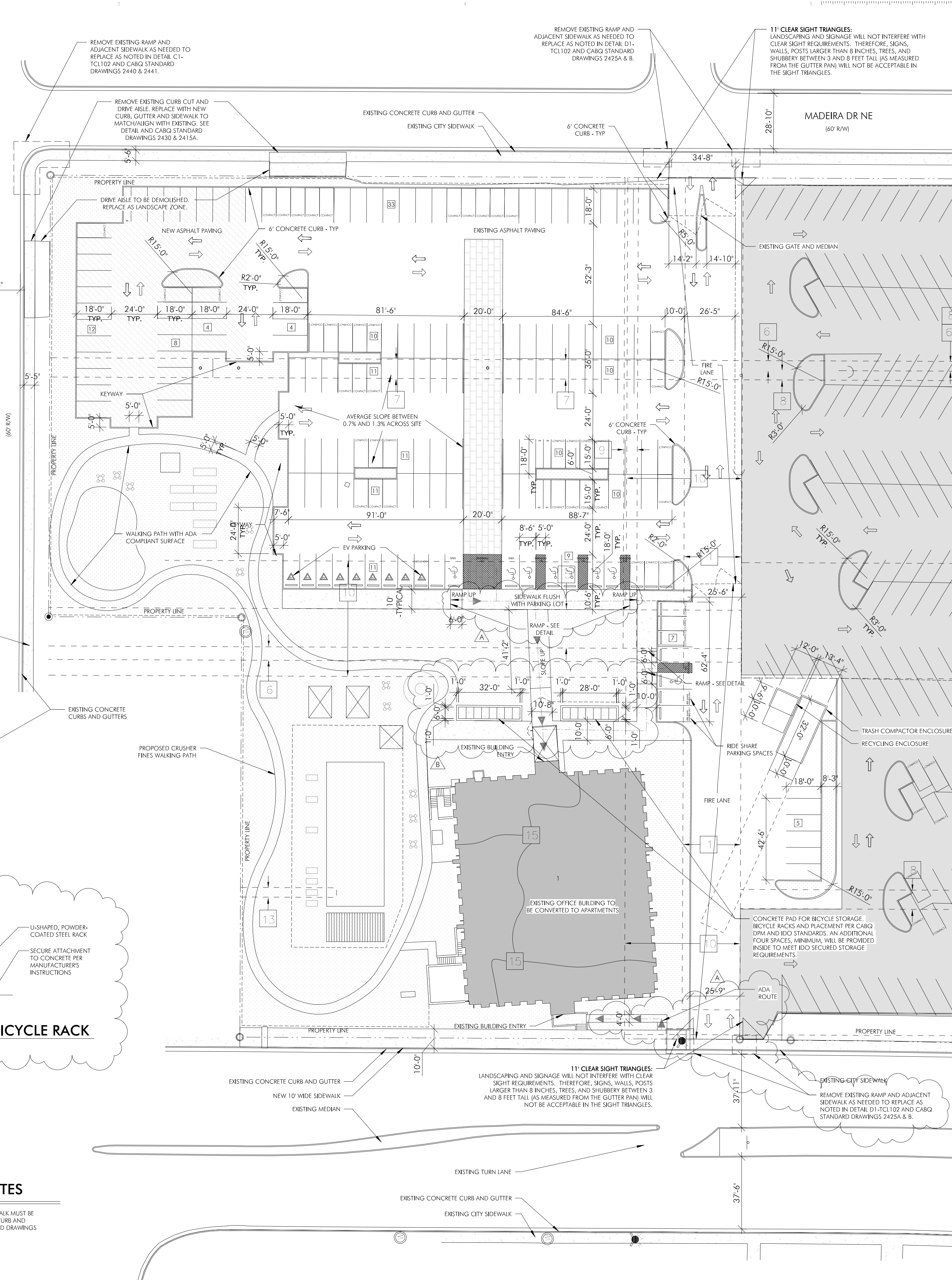


GENERAL NOTES

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. REFER TO CITY STANDARD DRAWINGS 2430 & 2415A.

A2 TRAFFIC CIRCULATION LAYOUT ENLARGED

1" = 30'-0"



NOT FOR CONSTRUCTION

PARK CENTRAL APARTMENTS

Route 66 Multi Family ABQ

300 SAN MATEO BLVD NE, ALBUQUERQUE, NM 87108



CONSTRUCTION DOCUMENTS

DRAWN BY:	AG
CHECKED BY:	DD/KDB
DATE:	JUL 15, 2024
A	TCL Response 07-18-2024
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TRAFFIC CIRCULATION LAYOUT

24001
TCL102

302 central ave se
albuquerque, nm 87102
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www.equitterra.design