

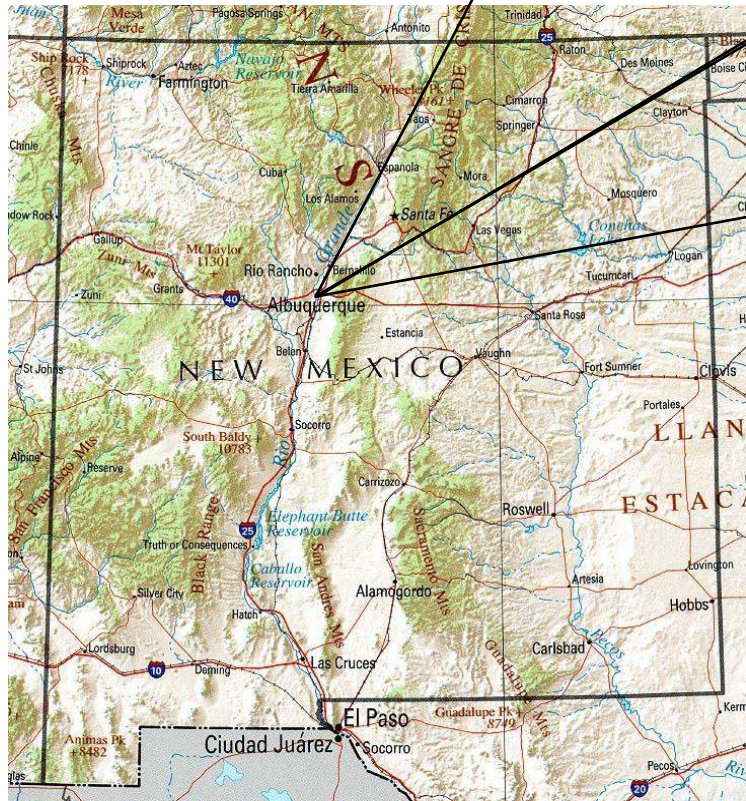
# DISTRICT 505 TOWER 10 APARTMENTS

## TEMPORARY SEDIMENT AND EROSION CONTROL DRAWINGS

### ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

#### DRAWING INDEX

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#	REVISION ITEM	DATE

ROUTE 66 MULTI FAMILY ABQ, LLC  
DISTRICT 505 TOWER 10  
APARTMENTS  
ALBUQUERQUE, NM



- SWPPP
- Stormwater
- Erosion Control
- Reclamation
- Seeding

DESIGNED BY:  
K. FETTER, P.E.  
DRAWN BY:  
S. FETTER

SHEET:  
**1- COVER**

**PROJECT DETAILS**

NPDES ID: NMR1007GO  
 ADDRESS: 300 SAN MATEO BLVD NE, ALBUQUERQUE, NM 87108  
 GPS COORDINATES: 35.080115, -106.585154  
 TOTAL ACREAGE: 3.45  
 ANTICIPATED DISTURBED ACREAGE: 2.35  
 FIRST RECEIVING WATER: RIO GRANDE  
 WATERS WITHIN ONE MILE OF PROJECT: NONE  
 IMPAIRED/TIERED WATERS: RIO GRANDE  
 ENDANGERED SPECIES: CRITERION A  
 SUPPORT ACTIVITIES: SEE SECTION 3.6 OF SWPPP NARRATIVE  
 SOIL TYPE: SEE NRCS SOIL REPORT PROVIDED IN SWPPP BINDER  
 TYPE PRE-CONSTRUCTION COVER: EXISTING BUILDING, ASPHALT PAVING  
 STABILIZATION MEASURES AND DEADLINES: SEE SECTION 6.0 OF SWPPP NARRATIVE  
 REGULATING AUTHORITY: ENVIRONMENTAL PROTECTION AGENCY (EPA)

**OPERATORS**

PROPERTY OWNER:  
 ROUTE 66 MULTI FAMILY ABQ, LLC  
 355 BUNKER HILL AVE. NE  
 HOUSTON, TX 77024

OWNER CONTACT:  
 SANDEEP PATEL  
 (281) 583-7088  
 SPATEL@SEDG.NET

GENERAL CONTRACTOR (GC):  
 SEDG  
 8850 HUFFMEISTER RD #200  
 HOUSTON, TX 77095

GC CONTACT:  
 SANDEEP PATEL  
 (281) 583-7088  
 SPATEL@SEDG.NET

**STORMWATER TEAM**

SEE SECTION 2.0 OF THE SWPPP NARRATIVE FOR THE PROJECT'S STORMWATER TEAM, RESPONSIBILITIES AND CONTACT INFORMATION

**SEQUENCE OF ACTIVITIES**

REFER TO THE ANTICIPATED CONSTRUCTION SCHEDULE INCLUDED WITH THE SWPPP BINDER

PHASE I: SITE PREPARATION AND PRE – CONSTRUCTION

1.PRIOR TO BEGINNING EARTH DISTURBING ACTIVITIES, THE OPERATOR(S) WILL CLEARLY DEMARCATATE THE LIMITS OF DISTURBANCE WITH STAKES, RIBBONS, CONSTRUCTION FENCING, OR OTHER APPROPRIATE METHOD. THESE DEMARCATATIONS SHALL REMAIN VISIBLE FOR THE DURATION OF THE PROJECT.

2.THE INITIAL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO EARTH DISTURBANCE. THE INITIAL CONTROL MEASURES MAY INCLUDE BUT ARE NOT LIMITED TO:

- a.PERIMETER CONTROLS (E.G., SILT FENCE, WATTLES, CONSTRUCTION FENCE)
- b.VEHICLE TRACKING PAD IF THE SITE ENTERS/EXITS ONTO A PAVED PUBLIC ROADWAY
- c.NPDES NOTIFICATION POSTING
- d.DESIGNATED STAGING AREA
- e.ANCHORED SANILETS
- f.DUMPSTERS

PHASE II: CONSTRUCTION ACTIVITIES

1.THE OPERATORS WILL MINIMIZE THE AREA DISTURBED AS MUCH AS FEASIBLY POSSIBLE.

2.ANY DISTURBED AREA IN WHICH CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED SHALL TEMPORARILY STABILIZED USING THE METHODS DESCRIBED IN SECTION 6.4 OF THE SWPPP NARRATIVE. SECTION 6.3 OF THE SWPPP NARRATIVE PROVIDES THE TEMPORARY STABILIZATION DEADLINES.

3.THE LOCATION OF SOME BMPS MAY REQUIRE ALTERATION IF DRAINAGE PATTERNS CHANGE DURING CONSTRUCTION. THE OPERATORS SHALL INSTALL ADDITIONAL BMPS OR UPGRADE BMPS IF NECESSARY.

4.IF CONCRETE IS USED ONSITE AND CONCRETE TRUCKS ARE UNABLE TO WASHOUT OFFSITE, THE OPERATORS WILL PROVIDE ONE OR MORE DESIGNATED CONCRETE WASHOUT AREAS. THE CONCRETE WASHOUTS MUST BE INSTALLED PRIOR TO CONCRETE USE ONSITE AND REMOVED ONLY AFTER CONCRETE WORK IS COMPLETE.

PHASE III: FINAL STABILIZATION AND CONSTRUCTION COMPLETION

1.IF APPLICABLE, REVEGETATION OR LANDSCAPING SHALL BE INITIATED IMMEDIATELY UPON KNOWING WORK IN A DISTURBED AREA HAS PERMANENTLY STOPPED AND THE AREA IS NOT COVERED BY PERMANENT STRUCTURES, UNLESS INFEASIBLE. SECTION 6.5 OF THE SWPPP NARRATIVE DISCUSSES PERMANENT STABILIZATION AND ASSOCIATED DEADLINES.

2.THE OPERATORS SHALL REMOVE TEMPORARY BMPS ONLY AFTER FINAL STABILIZATION IS COMPLETE.



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ROUTE 66 MULTI FAMILY ABQ, LLC  
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 SWPPP NOTES



- SWPPP
- Stormwater
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DESIGNED BY:  
 K. FETTER, P.E.  
 DRAWN BY:  
 S. FETTER

SHEET:  
 2 - SWPPP  
 NOTES

**GENERAL NOTES**

THE NPDES COMPLIANCE SWPPP DRAWING AND ASSOCIATED DOCUMENTATION IS AND SHALL BE CONSIDERED A LIVING DOCUMENT ALLOWING FOR MODIFICATIONS AS SITE CONDITIONS CHANGE OR DICTATE.

ALL SITE FEATURES (EXISTING/PROPOSED GRADES, EXISTING CONSTRUCTION, FUTURE CONSTRUCTION, ETC.) SHOWN IS PER INFORMATION FROM OTHERS.

MINIMUM REQUIREMENTS TO FURTHER DEVELOP OR MODIFY THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) DRAWING SHALL BE BASED ON THE CURRENT EDITION OF THE NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT (NMSHTD), NPDES LAW AND CITY OF ALBUQUERQUE ORDINANCE § 14-5-2-11.

ALL OPERATORS SHALL SUBMIT A NOTICE OF INTENT (NOI). THE NOI SHALL BE ACTIVE AND POSTED ON THE EPA'S WEBSITE PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES.

LOCATE TEMPORARY WASHOUT, ANCHORED TOILETS, CONSTRUCTION ENTRANCE AND PARKING, STAGING, REFUELING, TRASH CONTAINMENT AREA TO MINIMIZE SITE DISTURBANCE DURING CONSTRUCTION ACTIVITY.

THE OPERATOR IS REQUIRED TO REGULARLY PERFORM STREET SWEEPING AND CLEAN - UP MEASURES IN THE EVENT OF SEDIMENT TRACK - OUT.

**THE FOLLOWING ARE STANDARD EROSION CONTROL REQUIREMENTS PER THE CITY OF ALBUQUERQUE STORMWATER QUALITY DEPARTMENT (JUNE 16, 2023):**

ALL EROSION AND SEDIMENT CONTROL (ESC) WORK ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:

THE CITY ORDINANCE § 14-5-2-11, THE ESC ORDINANCE;  
THE EPA'S 2022 CONSTRUCTION GENERAL PERMIT (CGP); AND  
THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL

ALL BEST MANAGEMENT PRACTICES (BMPs) MUST BE INSTALLED PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES EXCEPT AS SPECIFIED HEREON IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMPs SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, AND DIVERSION BERMS SHALL BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF-INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMPs AND PRIOR TO BEGINNING CONSTRUCTION.

SEE SECTION 3.5 OF THE SWPPP NARRATIVE OR THE CONTRACTOR'S SCHEDULE FOR BMP SCHEDULING OR PHASING.

SELF-INSPECTIONS - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-2-11(C)(1), AT A MINIMUM A ROUTINE SELF-INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF 1/4 INCH OR GREATER UNTIL THE SITE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE DETERMINED AS STABILIZED BY THE CITY. REPORTS OF THESE INSPECTIONS SHALL BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.

CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.

FINAL STABILIZATION AND NOTICE OF TERMINATION (NOT) - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-2-11(C)(1), SELF-INSPECTIONS MUST CONTINUE UNTIL THE SITE IS "DETERMINE AS STABILIZED BY THE CITY". THE PROPERTY OWNER/OPERATOR IS RESPONSIBLE FOR DETERMINING WHEN THE "CONDITIONS FOR TERMINATION CGP COVERAGE" PER CGP PART 8.2 ARE SATISFIED AND THE FOR FILING THEIR NOT WITH THE EPA. EACH OPERATOR MAY TERMINATE GCP COVERAGE ONLY IF ONE OR MORE OF THE CONDITIONS IN PART 8.2.1, 8.2.2 OR 8.2.3 HAS OCCURRED. AFTER FILING THE NOT WITH THE EPA, THE PROPERTY OWNER IS RESPONSIBLE FOR REQUESTING A DETERMINATION OF STABILIZATION FROM THE CITY.

WHEN DOING WORK IN THE CITY RIGHT-OF-WAY (E.G., SIDEWALK, DRIVE PADS, UTILITIES, ETC.) PREVENT SEDIMENT FROM ENTERING THE STREET. IF SEDIMENT IS PRESENT IN THE STREET, THE STREET SHOULD BE SWEEP DAILY OR PRIOR TO A RAIN EVENT OR CONTRACTOR INDUCED WATER EVENT (E.G. CURB CUT OR WATER TEST).

WHEN CUTTING THE STREET FOR UTILITIES, THE SEDIMENT SHALL BE PLACED ON THE UPHILL SIDE OF THE STREET CUT AND THE AREA SWEEP AFTER WORK IS COMPLETE. A WATTLE OR MULCH SOCK MAY BE PLACED AT THE TOE OF THE EXCAVATED DIRT PILE IF SITE CONSTRAINTS DO NOT ALLOW PLACING THE EXCAVATED DIRT ON THE UPHILL SIDE OF THE STREET CUT.

EROSION AND SEDIMENT CONTROL (ESC) PLANS MUST SHOW LONGITUDINAL STREET SLOPE AND STREET NAMES. ON STREETS WHERE THE LONGITUDINAL SLOPE IS STEEPER THAN 2.5%, WATTLES OR MULCH SOCKS OR J-HOOKED SILT FENCE SHALL BE SHOWN IN THE FRONT YARD SWALE OR ON THE SIDE OF THE STREET.



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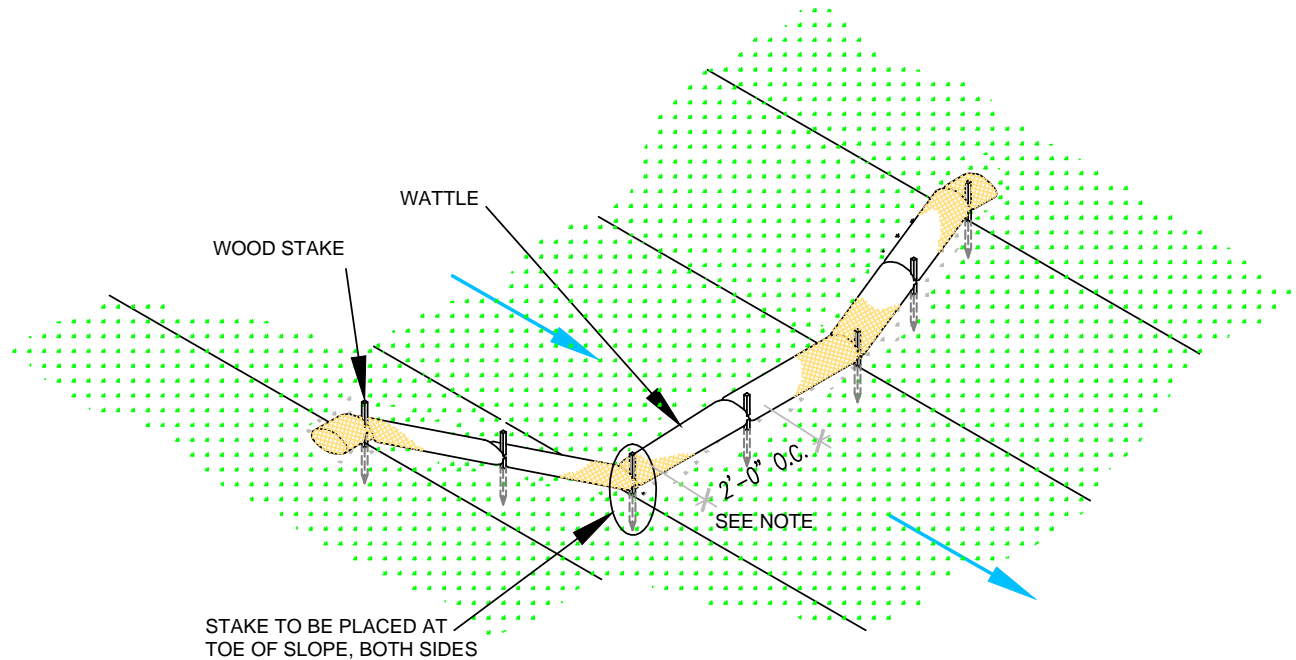


SWPPP  
Stormwater  
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Seeding

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S. FETTER

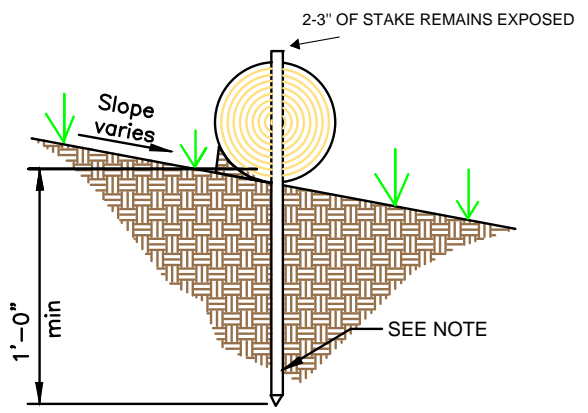
SHEET:  
3 - GENERAL  
NOTES



**WATTLE WITHOUT BLANKET**

NTS

2' FOR DRAWING ONLY. 8' MAX SPACING BETWEEN STAKES



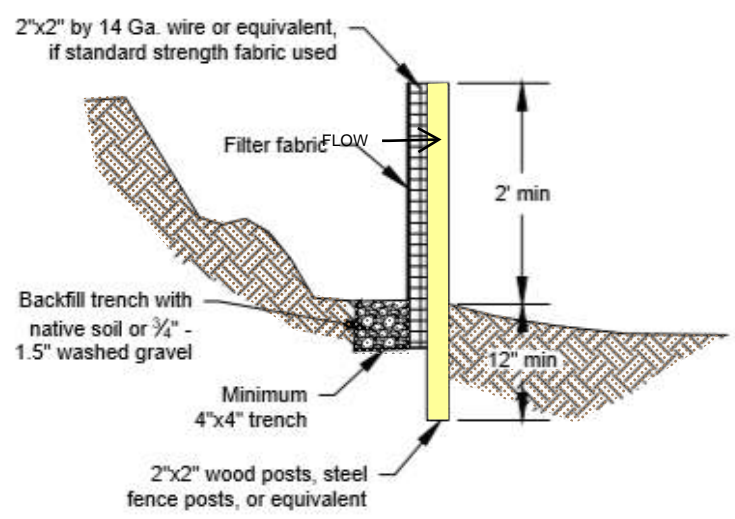
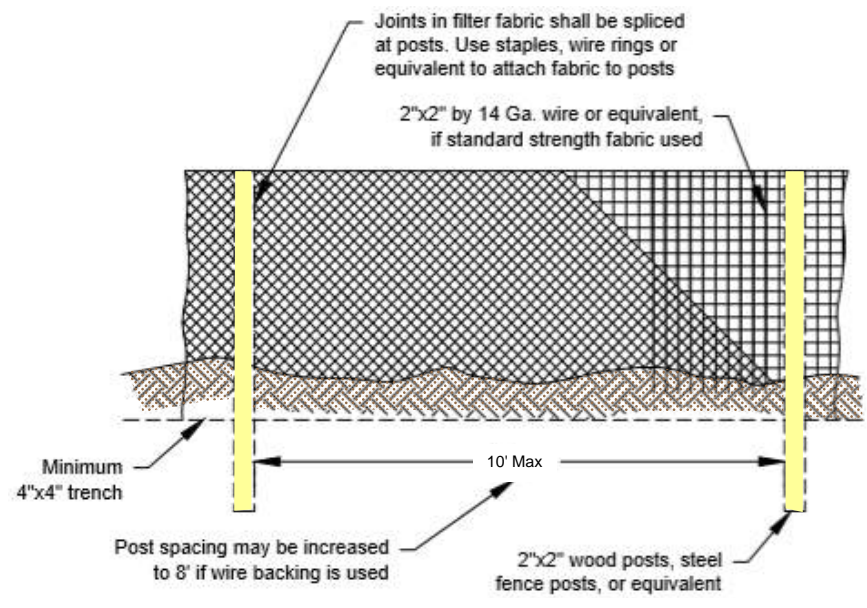
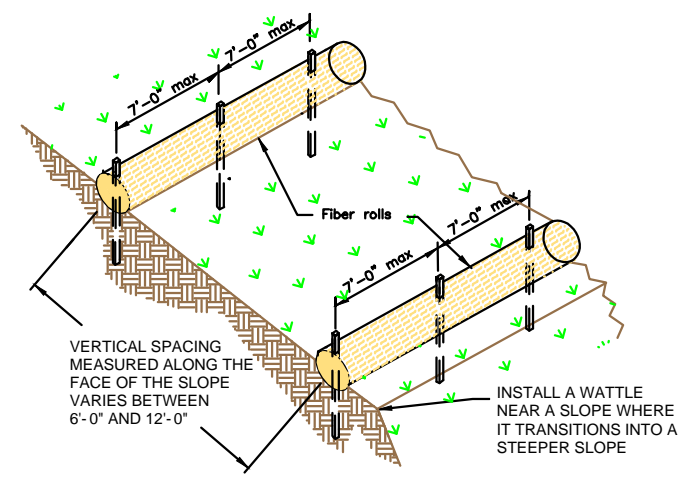
**WATTLE**

NTS

SECURE WATTLE WITH 18-24" STAKES EVERY 3-4' AND STAKES ON EACH END OF THE WATTLE.

DRIVE STAKES PERPENDICULAR TO THE SLOPE FACE AND THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2-3" OF THE STAKE ABOVE THE WATTLE.

VERTICAL SPACING DEPENDENT ON SLOPE GRADIENT.



**SILT FENCE**

NTS

SILT FENCE IS TO BE PLACED PERPENDICULAR TO THE SLOPE OF THE SITE.

DIG A 4"X4" MINIMUM TRENCH UPSTREAM OF THE SILT FENCE. DRIVE STAKES AT LEAST 1' DEEP ON THE DOWNSTREAM EDGE.

RUN THE SILT FENCE ON THE INSIDE OF THE STAKES AND SECURE WITH HOG RINGS, WIRE, ZIP TIES OR STAPLES.

IF ONE CONTINUOUS PIECE OF FABRIC IS NOT AVAILABLE, OVERLAP THE FABRIC AT LEAST THE WIDTH OF THE STAKE AND SECURE WITH HOG RINGS, WIRE, ZIP TIES OR STAPLES.

COVER TRENCH WITH BACKFILLED COMPACTED SOIL, GRAVEL OR ROCK.



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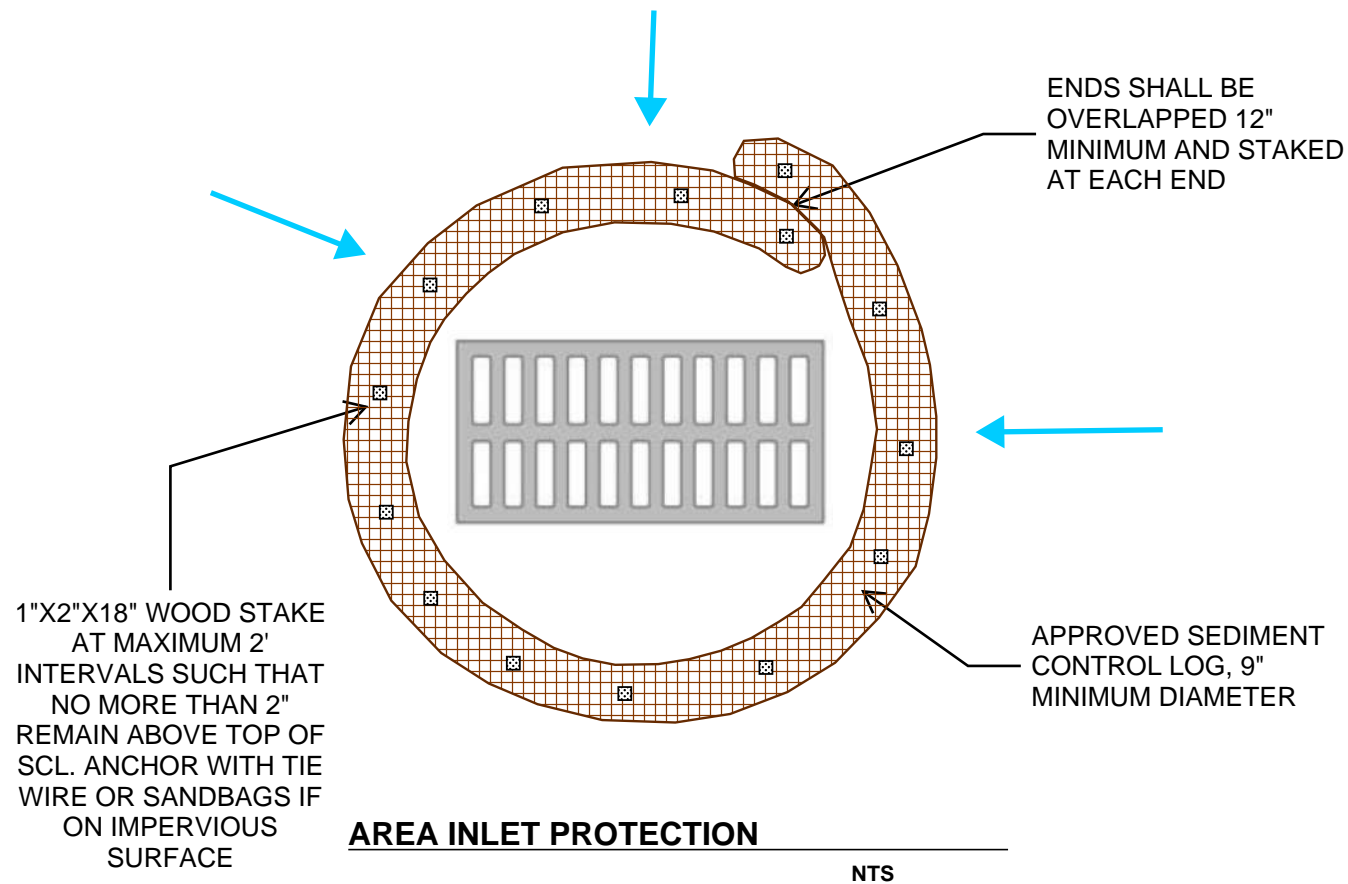
ROUTE 66 MULTI FAMILY ABQ, LLC  
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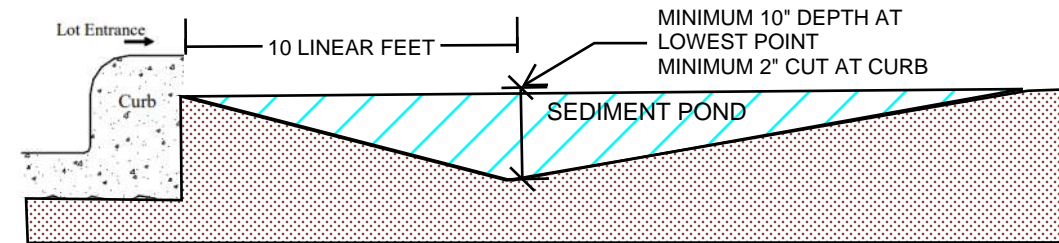
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**AREA INLET PROTECTION**

NTS



**CUTBACK CURB**

NTS

CUTBACK CURBS SHOULD TYPICALLY BE INSTALLED AT THE SITE ENTRANCE WHEN ACCESS IS NEEDED.

SOIL SHOULD BE CUT BACK FROM BEHIND THE CURB, SIDEWALK OR ROADWAY A MINIMUM 2" DOWN FROM THE TOP OF THE HARDSCAPE.

BRING THE SOIL BACK >10 FEET FT FROM THE HARDSCAPE TO FORM THE SEDIMENT TRAP.

THE LOWEST POINT OF THE SEDIMENT POND SHALL BE AT LEAST 10 INCHES.

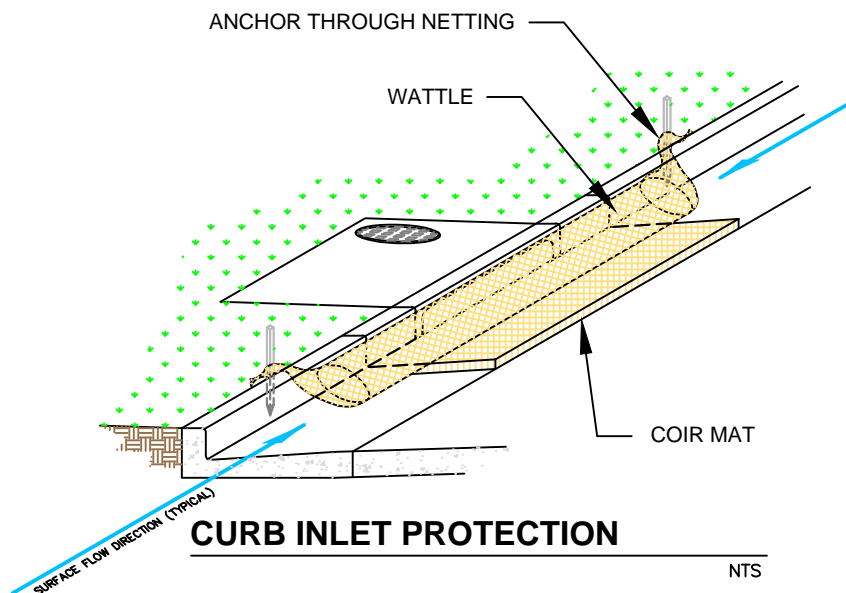
IF THE HOUSE PAD HAS BEEN STABILIZED, THE DEPTH OF THE SEDIMENT POND MAY BE REDUCED TO 4 INCHES.

THE DEPTH AND LENGTH OF THE EXCAVATED AREA CAN BE INCREASED IF MORE STORAGE IS NEEDED.

INSPECT BMPs PRIOR TO FORCAST PRCPITATION, DAILY DURING PRECIPITATION EVENTS, AFTER PRECIPITATION EVENTS AND THROUGH THE LIFE OF THE PROJECT.

MAINTAIN PROPER DEPTH AND LENGTH OF THE CUTBACK FOR THE DURATION OF THE PROJECT.

KEEP CUTBACK AREA CLEAN AND FREE OF TRASH AND DEBRIS.



**CURB INLET PROTECTION**

NTS

THE MAT SHOULD EXTEND A MINIMUM OF 1" PAST ALL EDGES OF THE INLET. PLACE MAT AGAINST THE CURB INLET.

PLACE WATTLES ON TOP OF THE MAT CLOSEST TO THE INLET OPENING AND CURB.

THE MAXIMUM HEIGHT OF THE PROTECTIVE BARRIER MUST BE LOWER THAN THE TOP OF THE CURB OPENING. THIS ALLOWS OVERFLOW INTO THE INLET DURING LARGE PRECIPITATION EVENTS.

ANCHOR THE BARRIER NETTING OVER THE CURB WITH WOODEN STAKES IF ABLE. IF UNABLE TO DO THAT ANCHOR THE WATTLE WITH SAND BAGS ON EACH END.



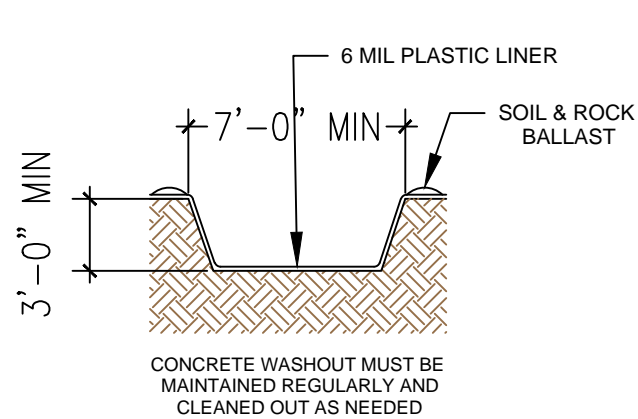
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SHEET:



### CONCRETE WASHOUT

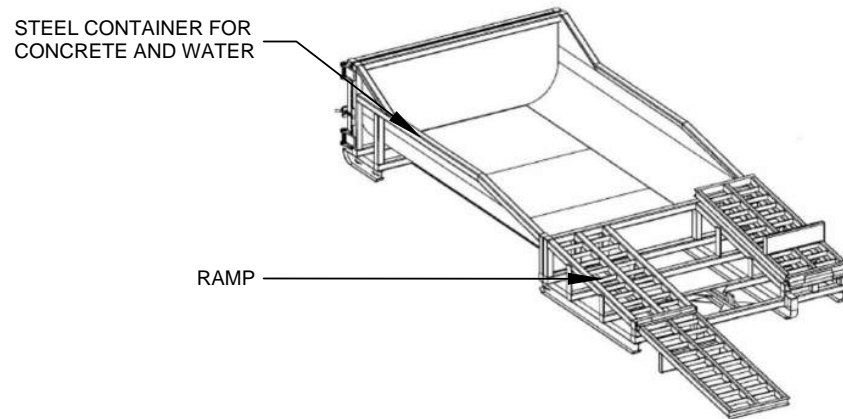
NTS

LOCATE WASHOUT AT LEAST 50 FT FROM STORMDRAINS, OPEN DITCHES, WATER BODIES OR PROJECT PERIMETER. A SIGN SHOULD BE INSTALLED ADJACENTLY TO THE WASHOUT.

WASH OUT WASTE INTO THE WASHOUT WHERE THE CONCRETE CAN SET, BE BROKEN UP AND DISPOSED OF CORRECTLY.

DO NOT CREATE RUNOFF BY DRAINING WATER TO BERMED AREA OR BY COLLECTING THE WATER WASTE WHEN WASHING CONCRETE TO REMOVE PARTICLES AND EXPOSE THE AGGREGATE.

DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET, STORMDRAIN SYSTEMS OR OFF THE PROJECT SITE.



### MODULAR CONCRETE WASHOUT

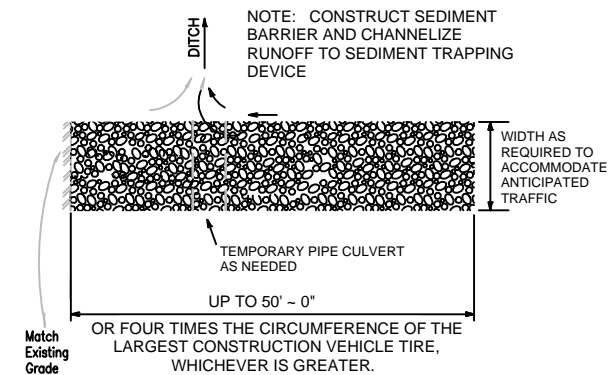
NTS

CRUSHED AGGREGATE GREATER THAN 75 MM (3 IN.) BUT SMALLER THAN 150 MM (6 IN.)



### SECTION B-B

NTS



### STABILIZED CONSTRUCTION ENTRANCE

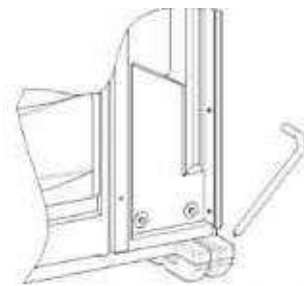
NTS

CONSTRUCT THE ENTRANCE ON A LEVEL SURFACE WHERE AN UNPAVED ROAD MEETS A PAVED ROAD. TYPICALLY AT PROJECTS ACCESS AREA.

GRADE THE ENTRANCE TOWARD THE CONSTRUCTION SITE TO PREVENT RUNOFF.

INSPECT THE ENTRANCE TO KEEP TRASH AND DEBRIS OUT OF THE WAY.

AFTER PRECIPITATION EVENTS, INSPECT THE ENTRANCE FOR ANY REPAIRS THAT MAY BE NEEDED.

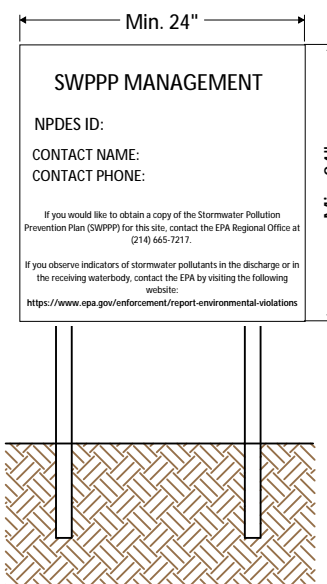


### PORTABLE TOILET STAKING

NTS

PLACE THE PORTABLE TOILET ON LEVEL GROUND. A FLAT PAVED SURFACE IS BEST IF AVAILABLE.

DRIVE THE STAKES OVER THE SKIDS OF THE PORTABLE TOILET, AROUND ALL SIDES.



NPDES Permit must be positioned at the most active part of the project where it can be viewed by the public (e.g. project entrance).

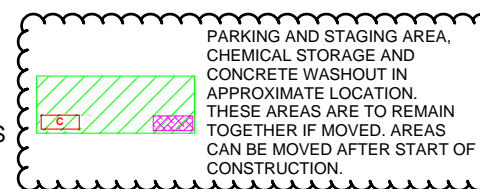
### NPDES POSTING BOARD

NTS

- POST - CONSTRUCTION FLOW
- PRE - CONSTRUCTION FLOW
- SILT FENCE
- WATTLE OR SOCK
- SPOILS PILE PROTECTION
- EARTHEN BERM
- INLET PROTECTION
- NATURAL BUFFER
- PARKING AND STAGING AREA

- CONCRETE WASHOUT
- STABILIZED CONSTRUCTION ENTRANCE
- VEGETATIVE STABILIZATION
- ENDANGERED/THREATENED SPECIES
- CHEMICAL STORAGE
- CHECK DAM

- TEMP TOILET
- LOCATION FOR PUBLIC NOTIFICATION OF NPDES
- PROJECT BOUNDARY
- DISTURBED AREA
- PROJECT AND DISTURBED BOUNDARY
- CULVERT BLANKET
- CUTBACK CURB



### DRAWING KEY



- SWPPP
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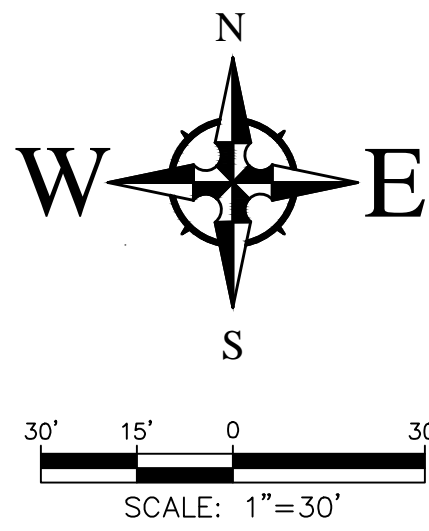
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K. FETTER, P.E.  
DRAWN BY:  
S. FETTER

SHEET:

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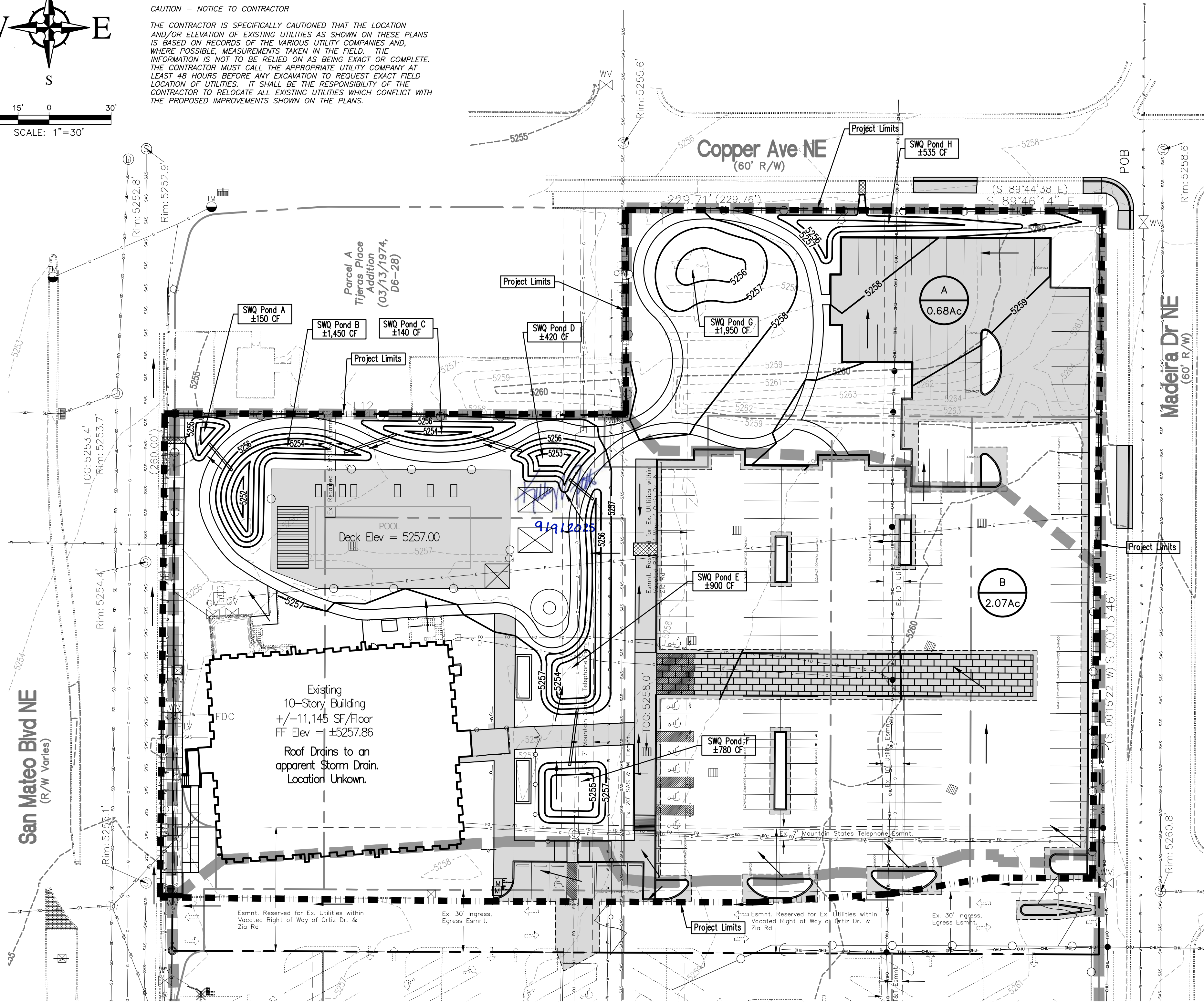






**CAUTION - NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



**DRAINAGE MANAGEMENT PLAN**

**INTRODUCTION**

The purpose of this submittal is to provide a Conceptual Drainage Management Plan for the subject site located at 300 San Mateo Blvd NE. The scope of the project involves converting the existing office building into apartments, removing a large portion of the existing parking lot to make room for parking and additional site amenities.

**EXISTING HYDROLOGIC CONDITIONS**

The site currently drains via sheet flow from southeast to northwest and into San Mateo Blvd. It appears that the existing building's roof is connecting to an existing storm drain; however, no as-built plans can be found that reflect the location and/or size of the pipe.

**PROPOSED HYDROLOGIC CONDITIONS**

The site will continue to drain from southeast to northwest and into San Mateo Blvd. Per the Drainage Calculation table this sheet, there will be a reduction of 1.72cfs (4,115 Cubic Feet) during the 100-Yr, 6-Hr Storm Event. Stormwater Quality Ponding is being installed per the volumes reflected in plan, this sheet. Each individual pond is labeled with the volume that it contains.

**CONCLUSION**

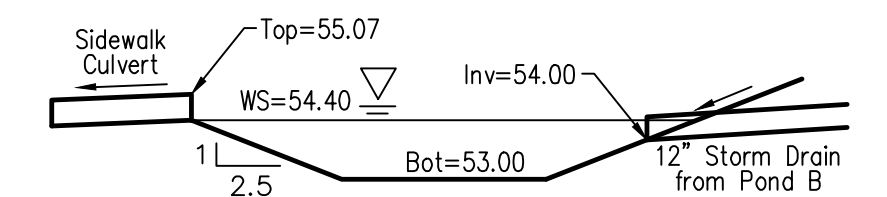
This drainage management plan shows that there will be a significant reduction in runoff from the site as part of the redevelopment project. Furthermore, Stormwater Quality Ponding will be provided on site. With this submittal, we are requesting Building Permit approval.

**BASIN 'A' WATER QUALITY POND CALCULATION**

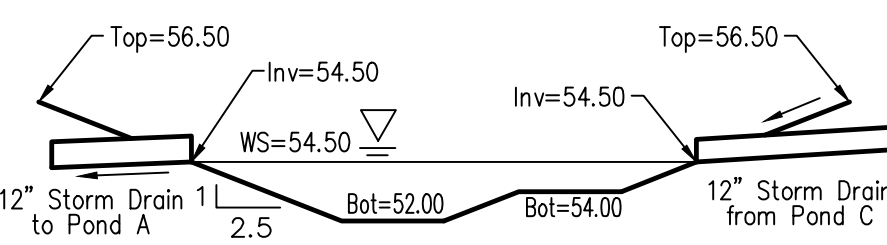
TOTAL NEW IMPERVIOUS AREA = 14,030 SF  
FIRST FLUSH = 14,030 \* 0.26" / 12 = **228 CF**  
TOTAL VOLUME PROVIDED (PONDS G-H) = **2,485 CF**

**BASIN 'B' WATER QUALITY POND CALCULATION**

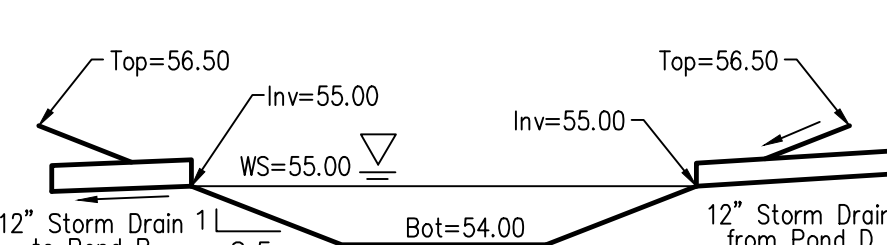
TOTAL NEW IMPERVIOUS AREA = 10,500 SF  
FIRST FLUSH = 10,500 \* 0.26" / 12 = **410 CF**  
TOTAL VOLUME PROVIDED (PONDS A-F) = **3,840 CF**



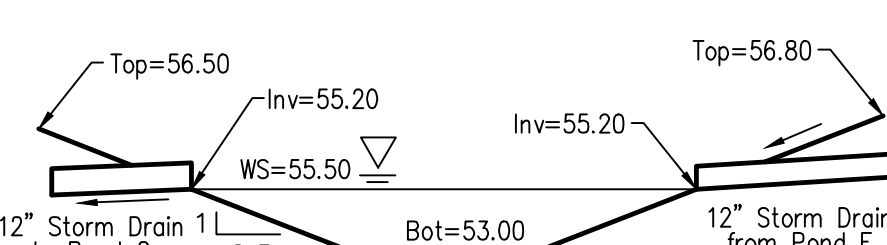
**Pond A Cross Section**



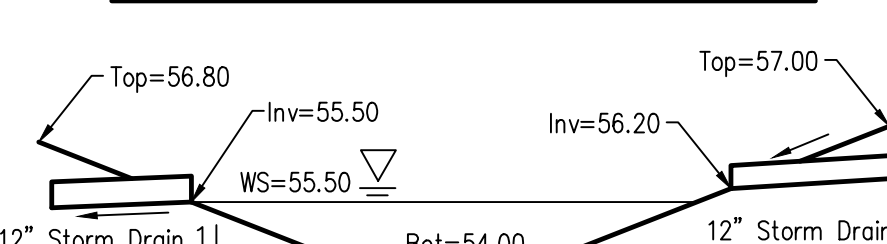
**Pond B Cross Section**



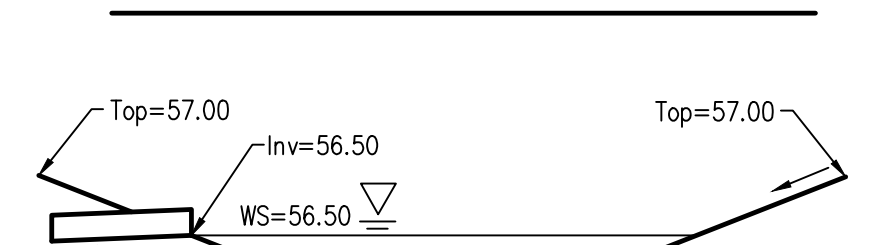
**Pond C Cross Section**



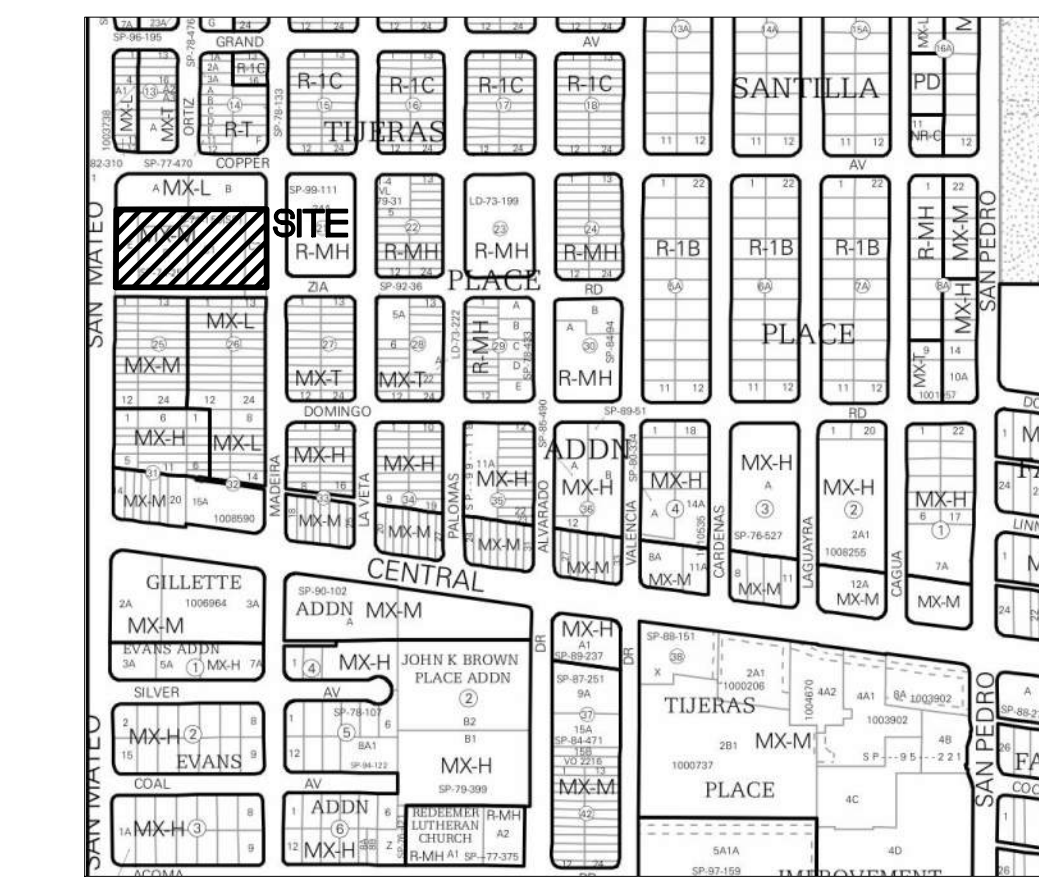
**Pond D Cross Section**



**Pond E Cross Section**



**Pond F Cross Section**



**VICINITY MAP - K-18-Z**

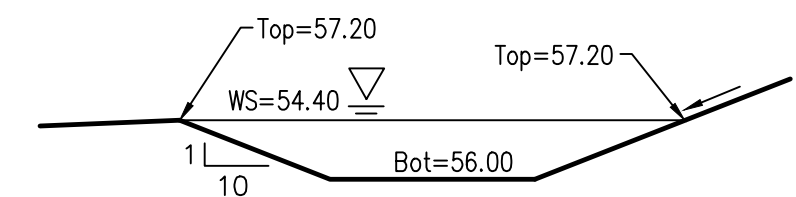
**LEGAL DESCRIPTION:**

A Certain Tract of Land Situate within Section 24, Township 10 North, Range 3 East, NM Principal Meridian within City of Albuquerque, Bernalillo County, NM, Comprising all of Parcels "B", "D" and "E" of the Replat showing Parcels "A" through "E", Inclusive, comprising all of Block 20, portion of Block 19 together with portions of Vacated Ortiz Dr. NE & Zia Rd. NE of Tijeras Pl Addition.

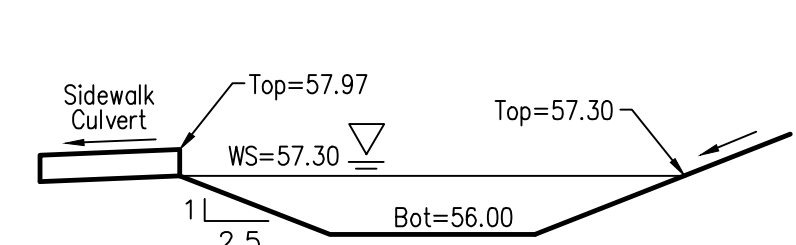


**FIRM MAP 35001C0354H**

Per FIRM Map 35001C0354H, dated August 16, 2012, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.



**Pond G Cross Section**



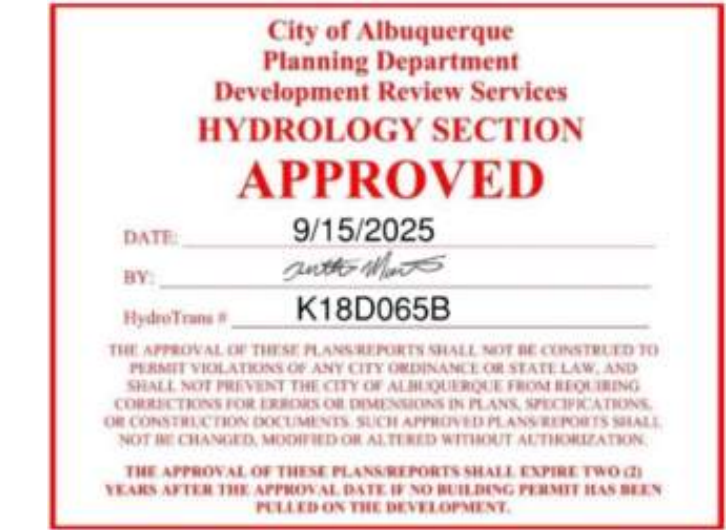
**Pond H Cross Section**

Pre-Developed Drainage Calculations														
This table is based on the COA DPM Chapter 6.2(A), Zone: 3														
BASIN	Area (AC)	Land Treatment Percentages (%)				Weighted C	Tc (min)	I (100) (in/hr)	Q(100) (cfs/ac)	Q(100) (CFS)	WT E (inches)	V(100)200 (CF)	V(100)1000y (CF)	Comments
		A	B	C	D									
A-Pre	0.48	0.0	0.0	25.0	75.0	0.84	12.00	4.16	3.50	1.68	2.21	3846	6852	Surface Drains to Copper Sheet Flows to San Mateo
B-Pre	2.36	0.0	0.0	10.0	90.0	0.88	12.00	4.36	3.85	9.08	2.43	20926	38559	
<b>TOTAL</b>	<b>2.84</b>								<b>10.76</b>			<b>24672</b>	<b>45411</b>	

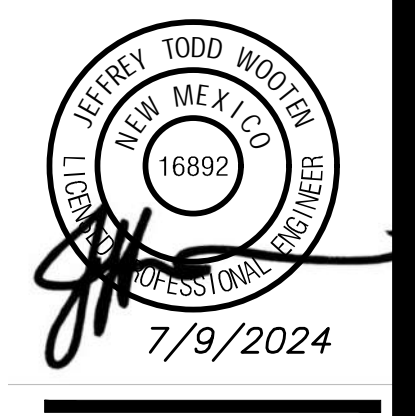
  

Post-Developed Drainage Calculations														
Ultimate Development Conditions Basin Data Table														
This table is based on the COA DPM Chapter 6.2(A), Zone: 3														
BASIN	Area (AC)	Land Treatment Percentages (%)				Weighted C	Tc (min)	I (100) (in/hr)	Q(100) (cfs/ac)	Q(100) (CFS)	WT E (inches)	V(100)200 (CF)	V(100)1000y (CF)	Comments
		A	B	C	D									
A	0.68	0.0	0.0	50.0	50.0	0.78	12.00	3.83	2.97	2.02	1.84	4530	7368	Surface Drains to Copper / San Mateo Sheet Flows to San Mateo
B	2.07	0.0	0.0	30.0	70.0	0.83	12.00	4.09	3.39	7.03	2.13	16028	28125	
<b>TOTAL</b>	<b>2.75</b>								<b>9.04</b>			<b>20557</b>	<b>35493</b>	

- LEGEND**
- ← FLOW ARROW
  - - - 515 - - - EXISTING CONTOUR
  - - - 515 - - - PROPOSED CONTOUR
  - - - - - EXISTING STORM DRAIN
  - PROPOSED PAVED AREA
  - PROJECT LIMITS
- TOTAL IMPERVIOUS AREA TO BE REMOVED IS APPROXIMATELY 55,616 SF.  
TOTAL IMPERVIOUS AREA TO BE ADDED IS APPROXIMATELY 24,530 SF.  
IMPERVIOUS AREA REDUCTION = 31,086 SF



**EQUITERRA**  
regenerative design  
302 central ave se  
albuquerque, nm 87102  
ph 505.242.2851  
www.equiterria.design



**DISTRICT 505**  
**TOWER 10 APARTMENTS**  
300 SAN MATEO BLVD NE  
ALBUQUERQUE, NEW MEXICO 87102

DRB DOCUMENTS

DRAWN BY:  
CHECKED BY:  
DATE: July 9, 2024

REVISIONS

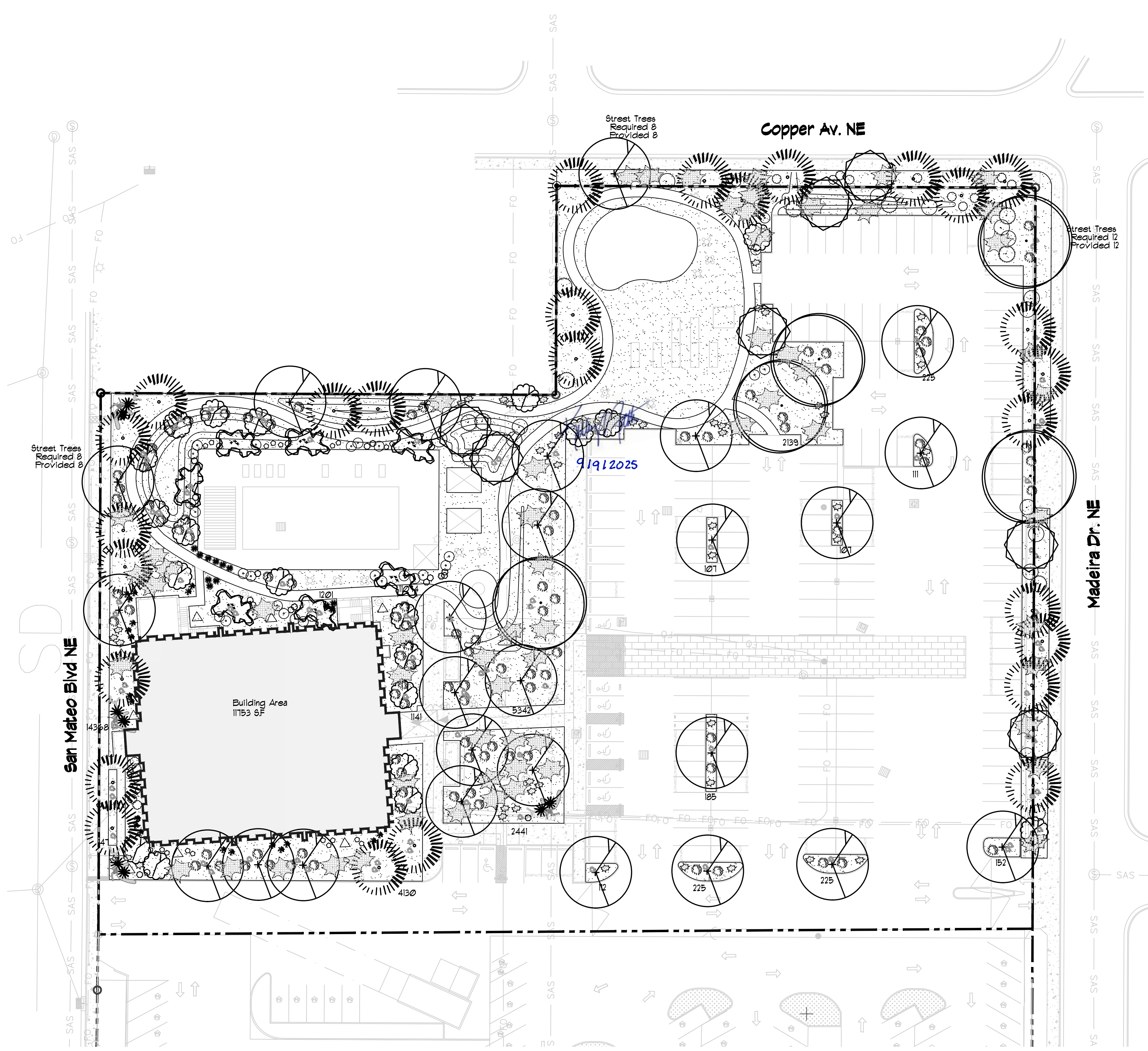
POST-DEVELOPED  
DRAINAGE  
MANAGEMENT PLAN

C-102

**W E** Wooten Engineering  
PO Box 15814  
Rio Rancho, N.M. 87174  
Phone: (505) 980-3560

BENCH MARK  
ACS MONUMENT "14\_L17"  
PUB. EL=5319.339' NAVD 1988

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**LANDSCAPE LEGEND**

QTY SIZE COMMON/BOTANICAL H2O USE

**Trees**

26	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	60x60	2826	13476 M
5	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45	1520	7650 M
21	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25	491	13251 M
1	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i>	15x15	177	1239 M
8	4 - 6'	Palm Yucca <i>Yucca faxoniana</i> Note: Install 3 Boulders and 150sf cobble accent	15x6	29	232 L
20	15 Gal	Oklahoma Redbud <i>Cercis reniformis</i>	15x12	113	2260 M
1	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25	491	3431 M 10251

**Shrubs & Groundcovers**

98	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	3x4	1256	1231 M
20	5 Gal	Karl Foerster Grass <i>Calamagrostis acutiflora 'Karl Foerster'</i>	30"x2	314	63 M
24	5 Gal	Deep Blue Lavender <i>Lavender angustifolia 'Hidcote'</i>	2x3	106	170 M
8	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x5	20	160 M
12	5 Gal	Dwarf Fountain Grass <i>Pennisetum alopecuroides 'Hamelin'</i>	25"x25"5	60	M
65	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12	113	7345 M
20	1 Gal	Autumn Sage <i>Salvia greggii</i>	2x3	106	141 M
29	5 Gal	Blue Mist <i>Caryopteris glandonensis 'Dark Knight'</i>	2x3	106	205 M
17	5 Gal	Fern Bush <i>Chamaebatiaria millefolium</i>	4x6	2826	480 L
11	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	4x5	20	220 L
15	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x5	20	300 L
45	5 Gal	Drift Roses <i>Rosa 'Knock Out'</i>	2x4	13	585 L
98	2-3cf	Boulders To be placed at contractor discretion			10360
43432		Landscape Gravel / Filter Fabric Mountainair Brown			

**LANDSCAPE NOTES:**  
Landscape Contractor is responsible for their own takeoff of quantities and materials. The quantities shown in the legend are for permitting only and shall not be considered for bidding purposes. Any discrepancy between quantities shown on the plan and in the legend shall be ruled by quantities and areas as shown on the plan.

All Nursery stock shall meet the standards of the American Standard for Nursery Stock, April 14, 2014 Edition, ANSI Z601-2014. Only plant material meeting the standards of this publication will be accepted. Only Grade A, number one plant material shall be used. Any trees, shrubs, or groundcover not meeting this requirement shall be removed from the project at the contractor's expense, and replaced with material meeting the American Standard requirements. It is the discretion of the Landscape Architect to reject any and all plants not meeting this standard and require replacement at the Contractor's expense.

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain all landscaping in a living, healthy, and attractive condition.

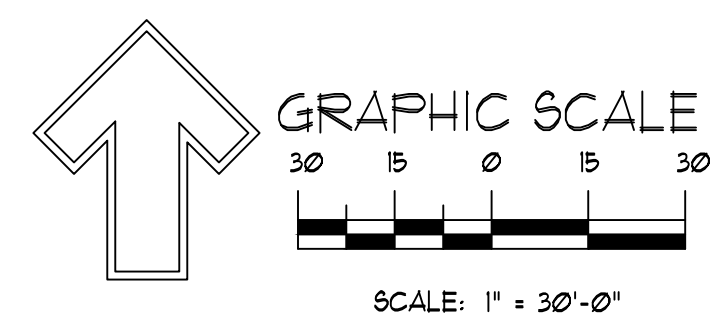
Landscape Gravel to a minimum depth of 3" shall be placed in all landscape areas as indicated on the plan. Any area that is less than 3" shall be rejected and repaired at the Contractor's expense.

Property Owner: All landscaping will be in conformance with the City of Albuquerque, Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (sf)	138426
TOTAL BUILDING AREA (sf)	11753
TOTAL LOT AREA (sf)	138426
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	20764
TOTAL ON-SITE LANDSCAPE PROVIDED	43432
TOTAL LIVE PLANTS REQUIRED	32574
TOTAL LIVE PLANTS PROVIDED	11829
TOTAL GROUND COVER REQUIRED	10858
TOTAL GROUND COVER PROVIDED	10360



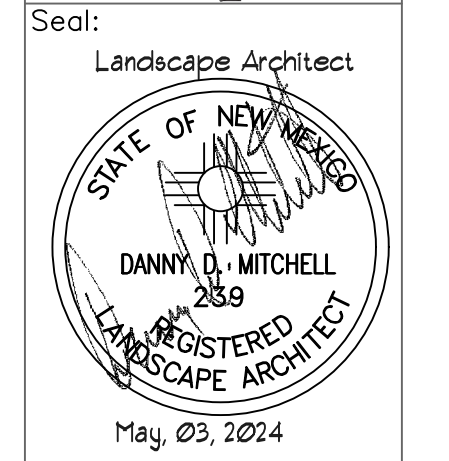
REVISIONS	Date:	Comment

Designed By: D. Mitchell  
 Drawn By: dm  
 Approved By:  
 Date: NEW MEXICO ONE CALL  
 1-800-321-ALERT (2537)  
 www.onecall.org  
 Call two working days before you dig.  
 File ID:

**Landscape Plan**

**300 San Mateo Blvd NE  
Albuquerque, NM 87102**

Mitchell Associates, Inc  
 LANDSCAPE ARCHITECTURE  
 Danny Mitchell  
 danny@mitchellassociatesinc.com  
 505.639.9583



Seal: Landscape Architect  
 DRAWING NO:  
**LS-101**