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CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 15, 2009

Joseph F. Simons, Jr., Registered Architect,
Simons Architecture
PO Box 67408
Albuquerque, NM 87193-7408

Re: Approval of Permanent, Final, Certificate of Occupancy (C.O.) for
Dihn Temple, [K-18 / D069]
327 Georgia
Architect's Stamp Dated 07/07/09

Dear Mr. Simons:

The TCL / Letter of Certification submitted on July 13, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

PO Box 1293

Sincerely,

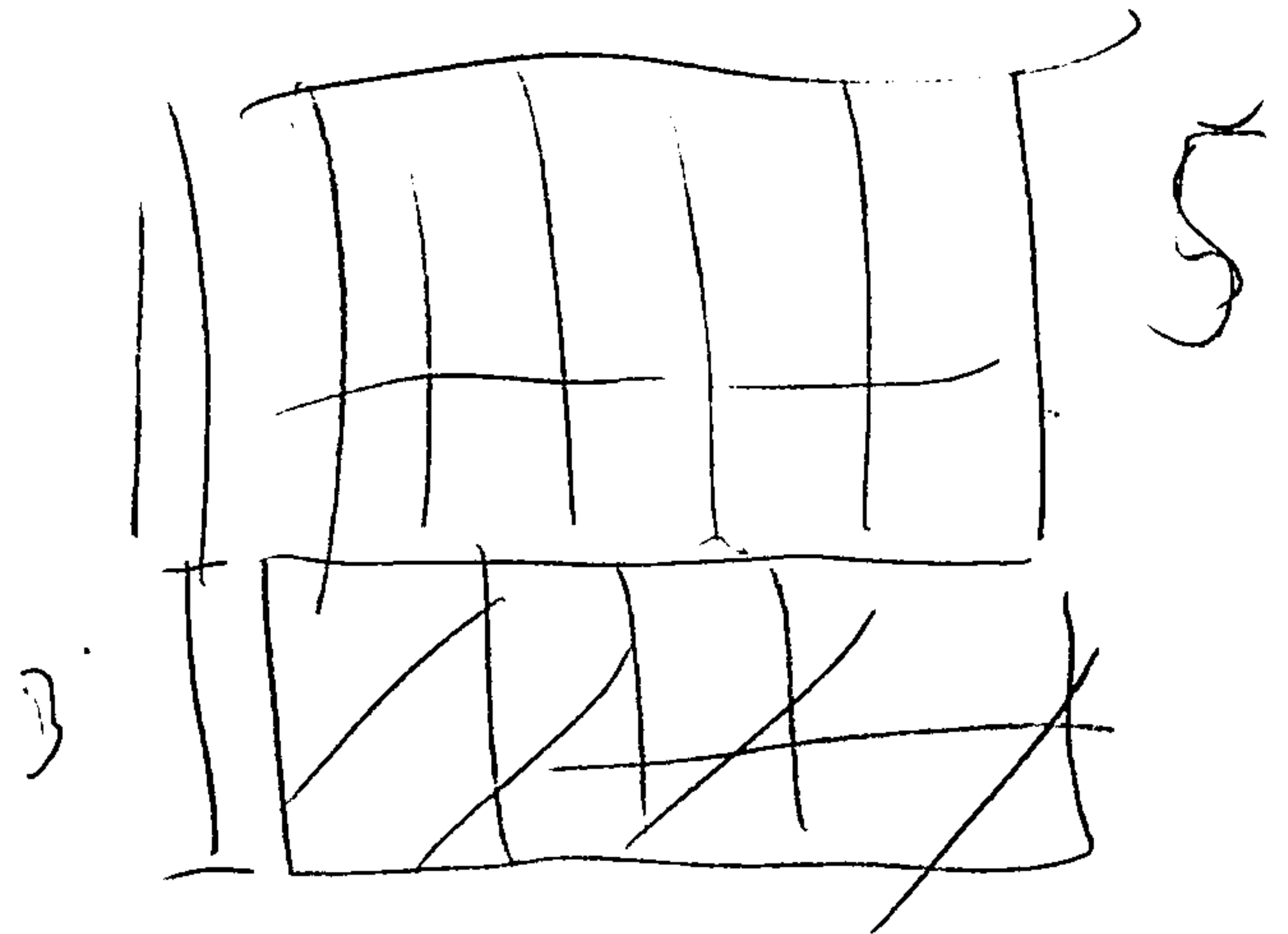
Albuquerque

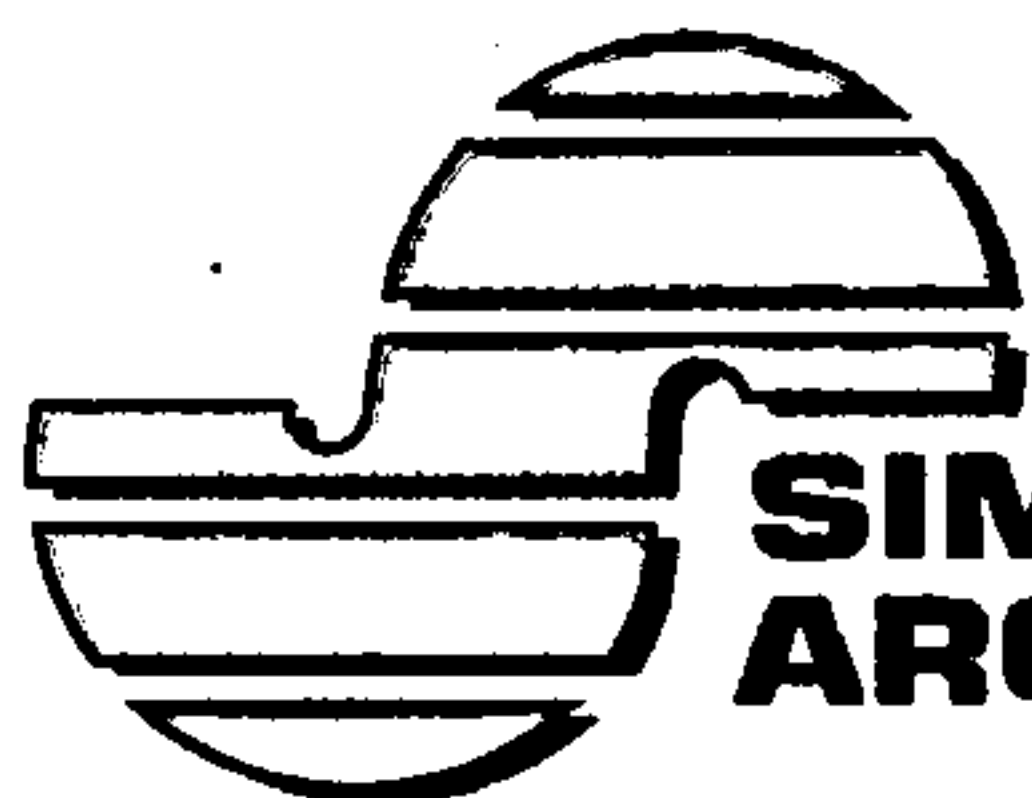
Mig E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

NM 87103

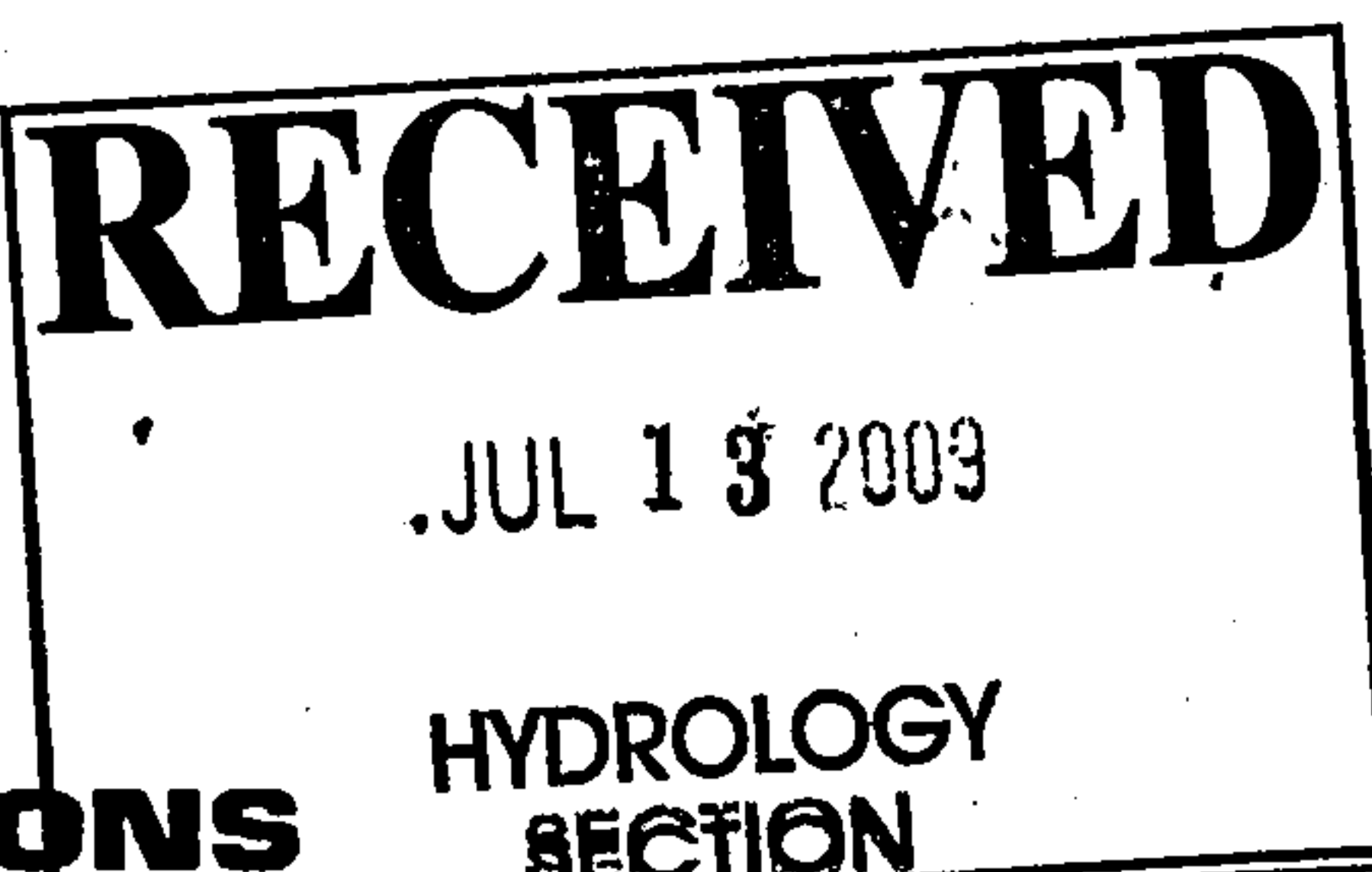
c: Engineer
Hydrology file
CO Clerk

www.cabq.gov





**SIMONS
ARCHITECTURE.COM**



PO Box 67408
ALBUQUERQUE, NM 87193-7408
JFS @ SIMONSARCHITECTURE.COM
505.771.8961 FAX

505.480.4796 VOICE

July 7, 2009

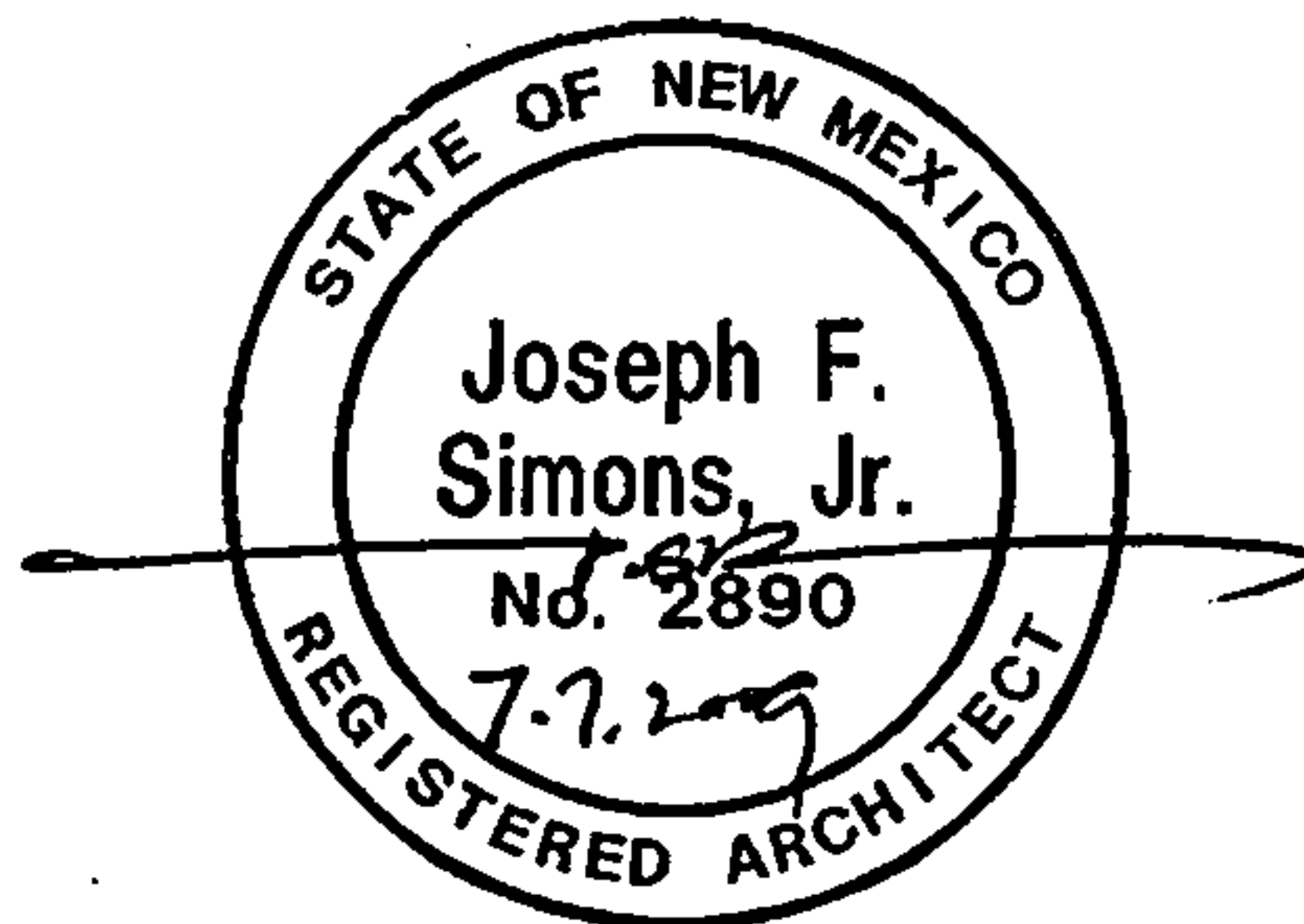
TRAFFIC CERTIFICATION

I, JOE SIMONS JR., NMRA 002890, OF THE FIRM SIMONS ARCHITECTURE PC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 12/3/07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOE SIMONS JR., OF THE FIRM SIMONS ARCHITECTURE. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/1/09 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (PERMANENT).

PLEASE NOTE ATTACHED DRAWING:

1. THE WEST PARKING LOT ADJACENT TO PAVED PARKING SPACES IS COMPACTED GRAVEL.
2. THERE WAS 2 ADDED PARKING STALLS AT EAST PARKING LOT. THIS INCREASED THE TOTAL PARKING SPACES ON THE SITE TO 18 AND REDUCED THE LANDSCAPE AREA FROM 14.66% TO 12.8%.
3. THE 20' WIDE REQUIRED DRIVE ON THE EAST IS EXISTING AND IS 20' WIDE.
4. THE GATE AT THE EAST PARKING LOT HAS BEEN MOVED TO LINE UP WITH THE DRIVE.
5. THE ALLEY ON THE NORTH HAS EXISTING PAVING.
6. THE DRAINAGE AT THE EAST PARKING LOT IS EXISTING.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.




Signature of Engineer or Architect

7.7.2009
Date

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Dihn Temple ZONE MAP: K-18-2
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 10A SP-97-77 ZONE ATLAS K-18-2
CITY ADDRESS: 327 GEORGIA AVE NM

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: SIMONS ARCHITECTURE, PC CONTACT: JOE SIMONS
ADDRESS: P.O. Box. 67408 PHONE: 480-4796
CITY, STATE: ABQ, ~~ST~~ NEW MEXICO ZIP CODE: 87193

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

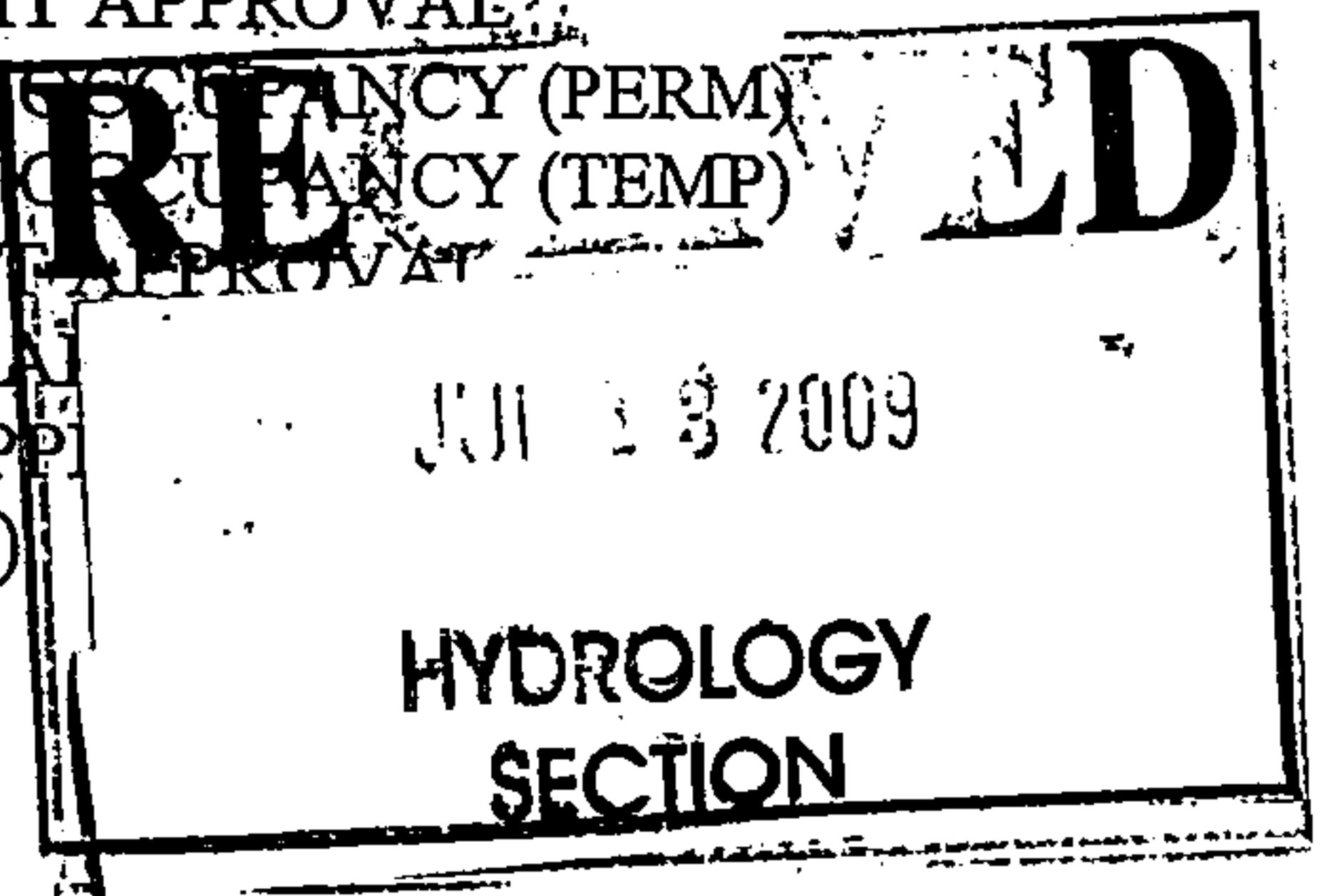
CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT
☐ WORK ORDER APP
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 7.7.09 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



*Planning Department
Transportation Development Services Section*

April 8, 2009

Joseph F. Simons, Jr., Registered Architect,
Simons Architecture
PO Box 67408
Albuquerque, NM 87193-7408

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Dihn Temple, [K-18 / D069]
327 Georgia
Architect's Stamp Dated 04/07/09

Dear Mr. Simons:

Based on the information provided on your submittal dated April 7, 2009, the above referenced project is approved for a 120-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding curb cut off the Alley (***your existing driveway will need to be located to service proposed asphalt parking and compacted gravel***), West parking area (***compacted gravel needs to be grade to accommodate a level parking surface***), and alley asphalt (***appears to be more of a dirt surface and less of an asphalt surface-clear this issue up to determine appropriate action***) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



PO Box 67408
ALBUQUERQUE, NM 87193-7408
JFS @ SIMONSARCHITECTURE.COM
505.771.8961 FAX

505.480.4796 VOICE

April 7, 2009

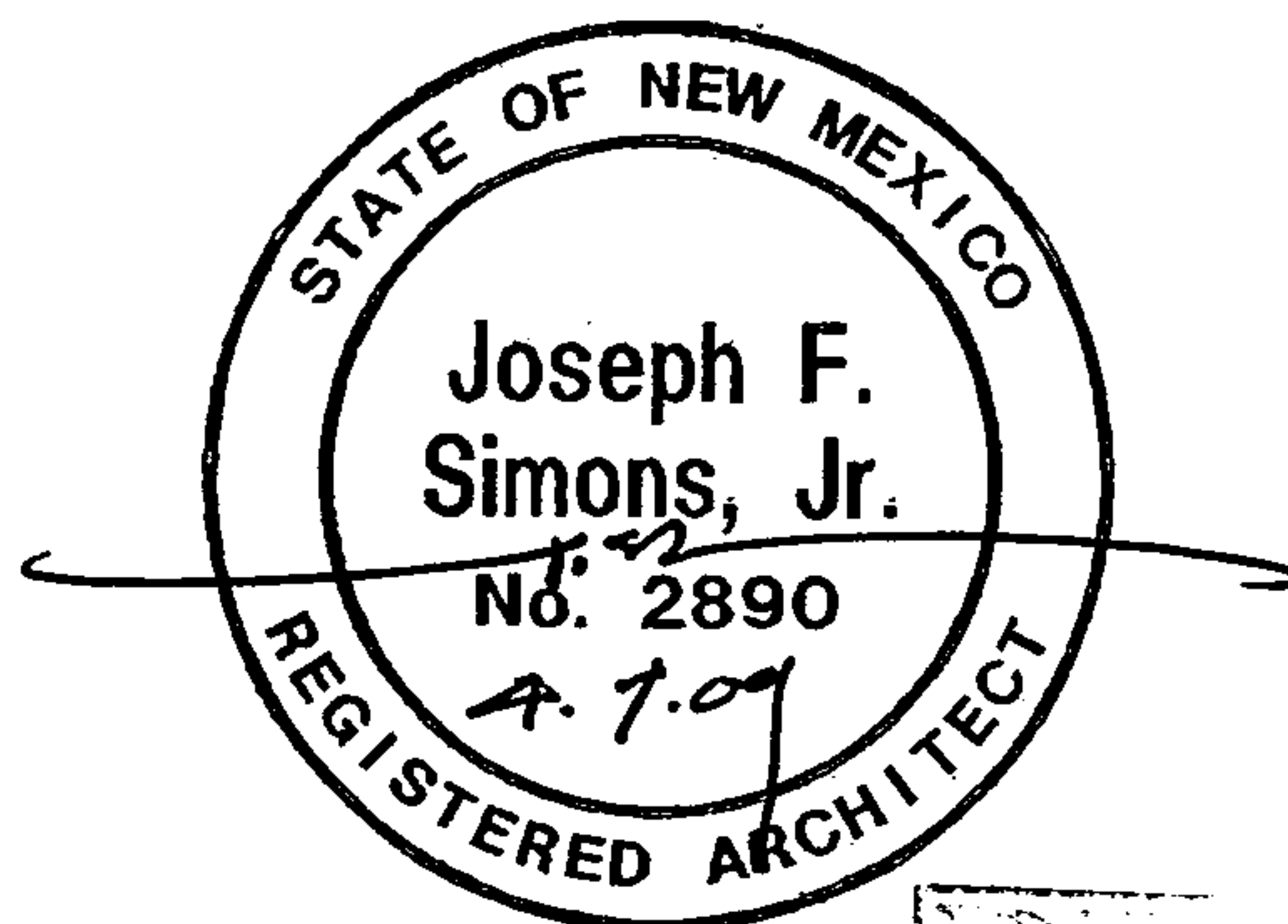
TRAFFIC CERTIFICATION

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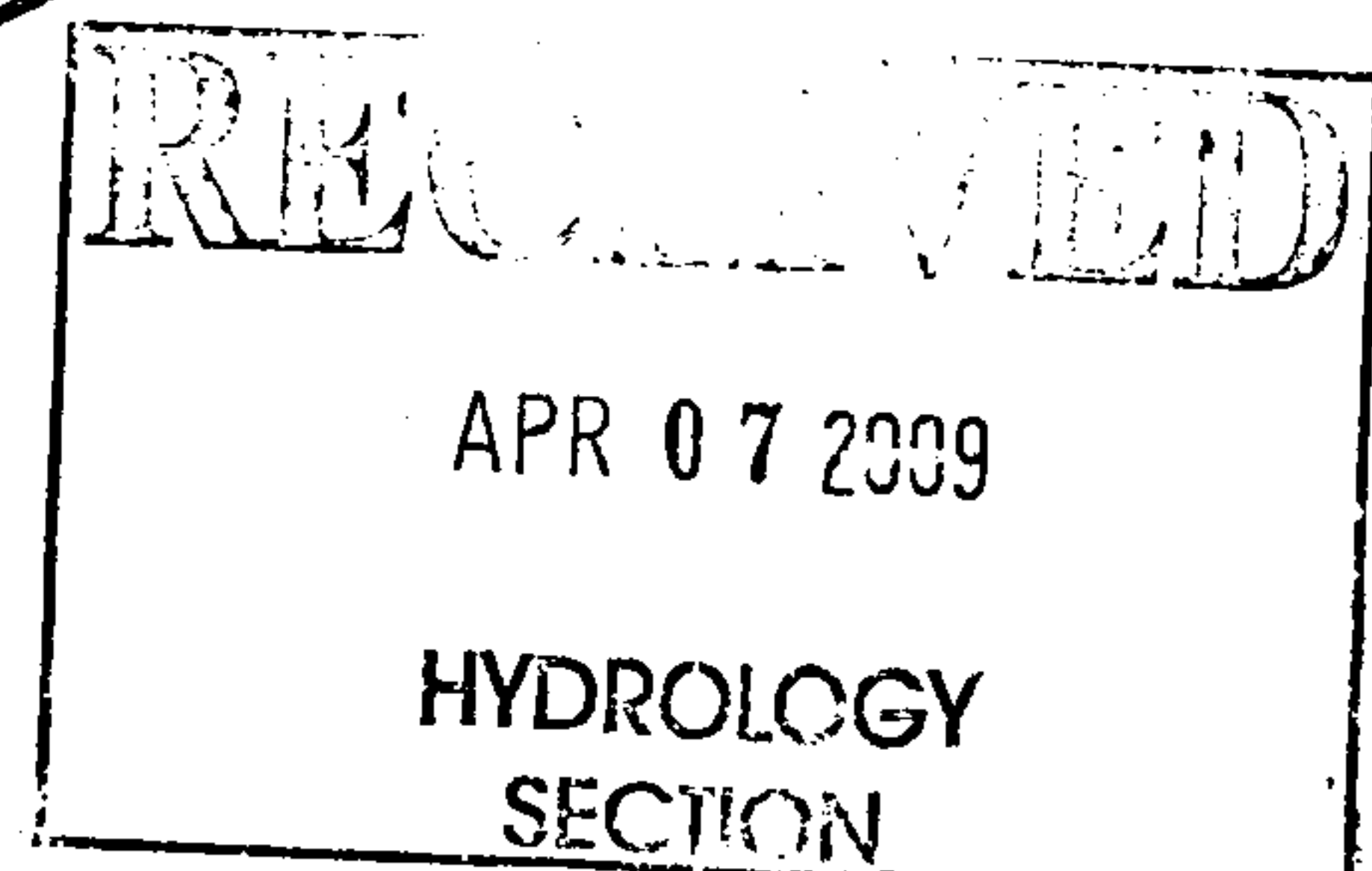
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Signature of Engineer or Architect

Date



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Dihn Temple ZONE MAP: K-18-2
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 10A SP-97-77 ZONE ATLAS K-18-2
CITY ADDRESS: 327 GEORGIA ABO NM

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: SIMONS ARCHITECTURE, PC CONTACT: JOE SIMONS
ADDRESS: P.O. Box. 67408 PHONE: 480-4796
CITY, STATE: ABQ. ~~ST~~ NEW MEXICO ZIP CODE: 87193

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

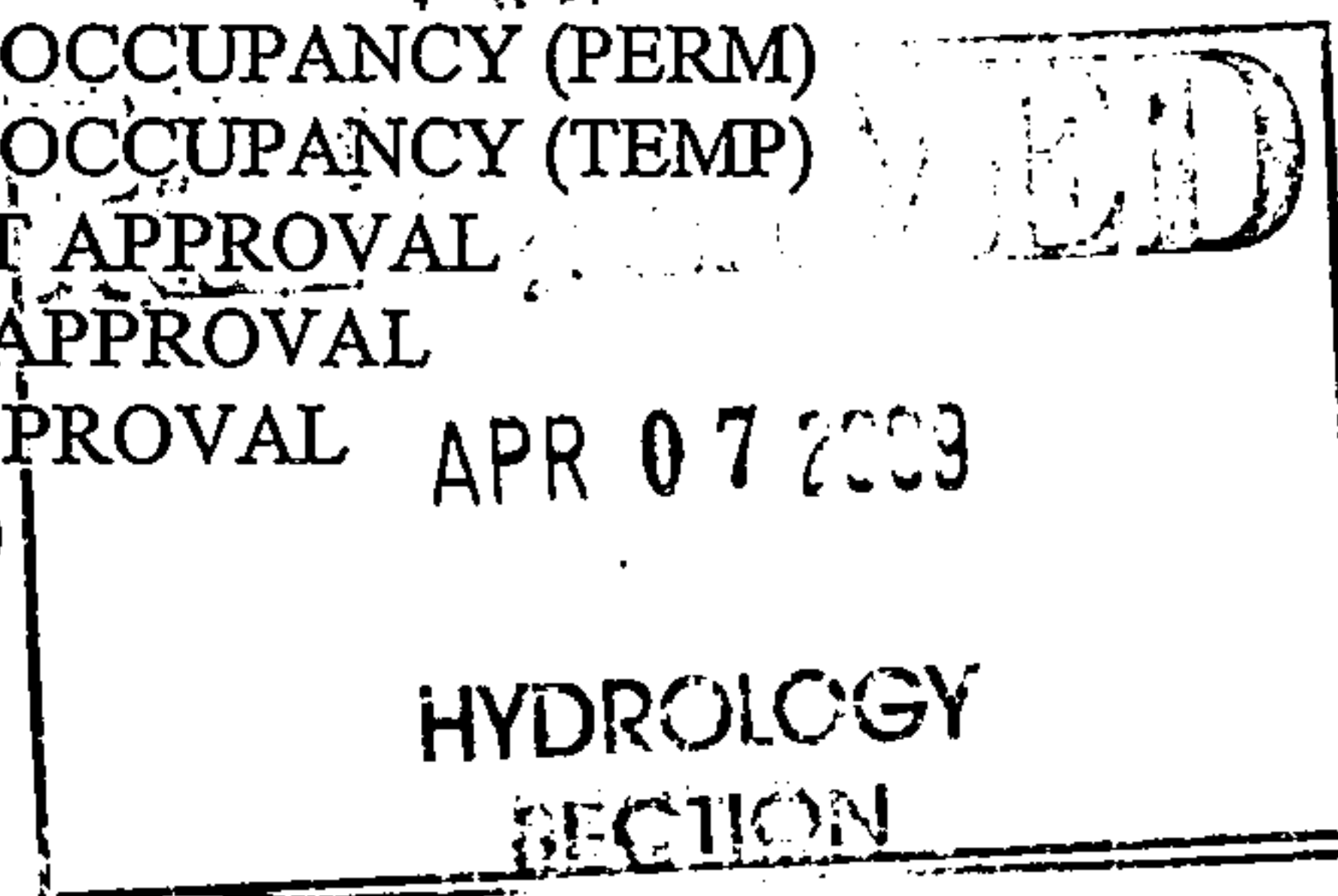
CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
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____ BUILDING PERMIT APPROVAL
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____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
____ NO
____ COPY PROVIDED

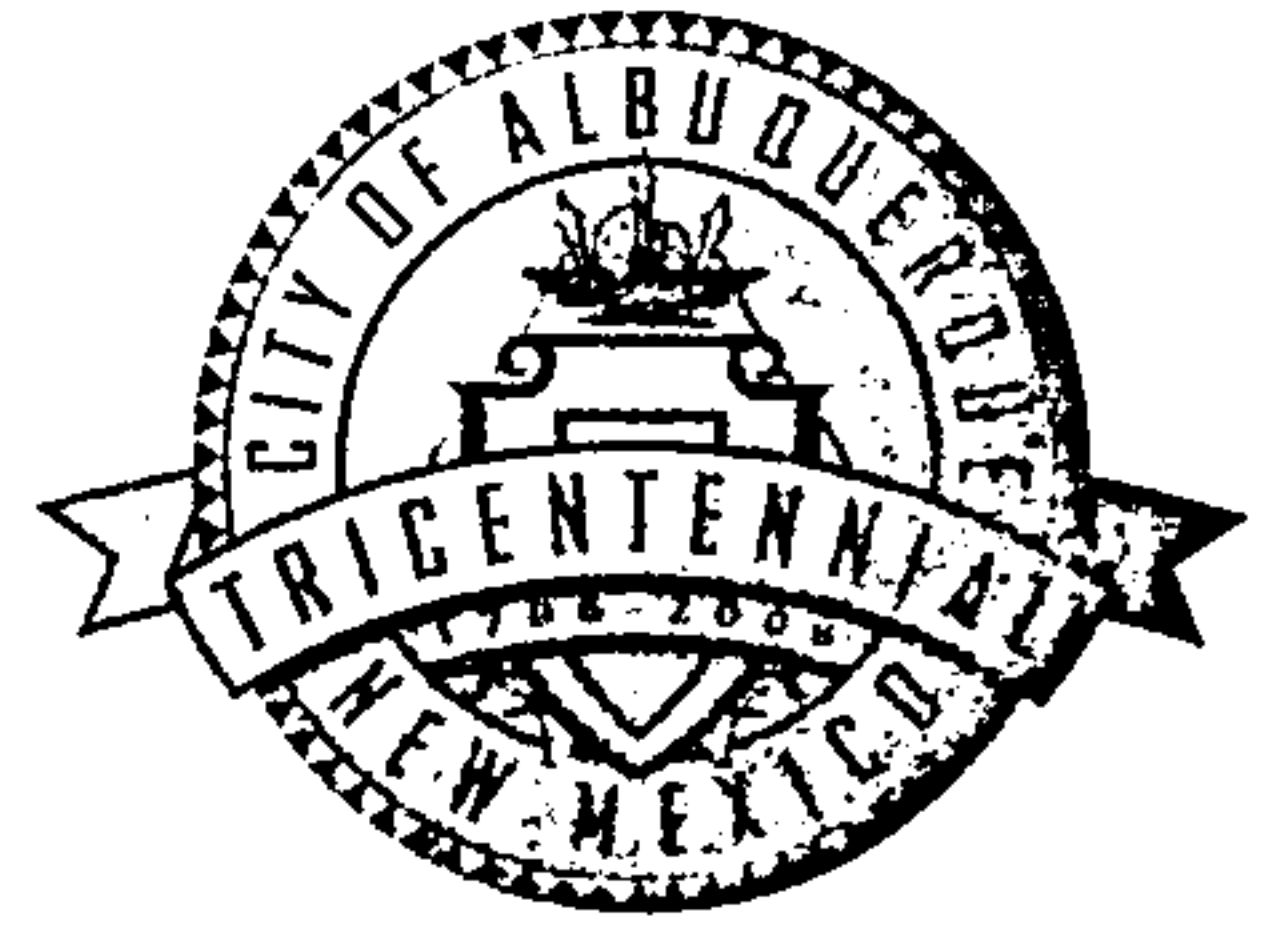
DATE SUBMITTED: 4.7.09 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



December 13, 2007

Joseph Simons, R.A.
Simons Architecture
P.O. Box 67408
Albuquerque, NM 87193-7408

Re: Dihn Temple, 327 Georgia St. SE, Traffic Circulation Layout
Architect's Stamp dated 12-13-07 (K18-D069)

Dear Mr. Simons,

The TCL submittal received 12-13-07 is approved for Building Permit, **contingent upon approval of the shared parking agreement**. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

*Received Copy
- Reid
11/21/08*

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

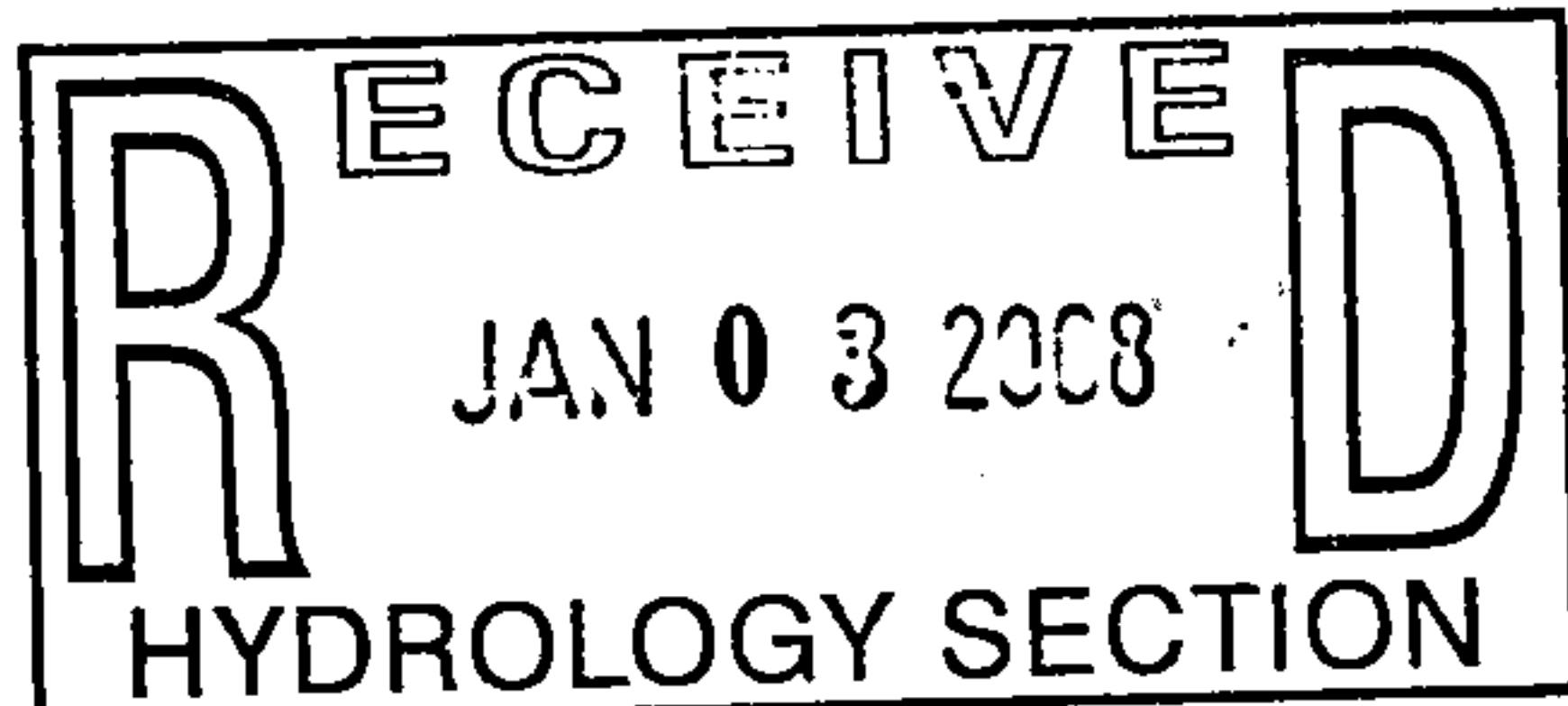
Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

APPENDIX J

SAMPLE OF SHARED PARKING AGREEMENT

Agreement No. 2Date of Agreement: 12/19/07

SHARED PARKING AGREEMENT

In conjunction with the development of VAN HANH TEMPLE, located at 327 GEORGIA (the "Property") for which the legal description is attached as *Exhibit A*, the City of Albuquerque has allowed. ~~THE VIETNAMESE BUDDHIST CONGREGATION OF~~ and NEW MEXICO ("Owner") has elected, to reduce off-street parking requirements based upon Section 14-16-3-1-D-6 of the Zoning Ordinance of the City of Albuquerque and currently known proposed tenant uses. The approved site plan, as shown on *Exhibit B*, includes parking and the reduced parking calculations, as shown on *Exhibit C* attached hereto. Under this site plan and using the proposed tenant uses, 24 spaces are required and 36 spaces are provided.

The Owner, and its successors and assigns, agrees that it will not change the tenant uses at the Property in a manner that increases the number of required parking spaces unless additional spaces are provided. In the event that there are changes to the tenant uses, which would increase the number of required parking spaces at the Property, the parking calculations shall be updated by the Owner to reflect such change and presented to the City.

Furthermore, the Owner agrees that the Property shall operate an open/shared parking arrangement, whereby, the Owner shall not segregate property access/parking rights or significantly impair access to parking on the Property by users of any portion of the Property.

The foregoing shall not, however, impair the right of the Owner or its successors to declare exclusive parking areas for such items as employee parking, handicap spaces, loading, designated timed areas such as "15 minute" temporary parking areas, or any other areas set forth on any site plan of the Property approved by the City, or to take commercially reasonable actions to prevent parking in areas which are not designated parking spaces on the site plan.

No sale or transfer of all or any portion of the Property shall be deemed to void or violate this Agreement. The terms of this Agreement shall bind the Owners, successors, and assigns. This Agreement can be

amended by the mutual consent of the Owner and the City of Albuquerque. THIS AGREEMENT SHALL BE RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE PROPERTY.

PARKING AGREEMENT

IN WITNESS WHEREOF, the parties have executed this Agreement on the date noted below.

Tri Dinh
Owner (applicant)

09/28/07
Date

The VIETNAMESE BUDDHIST CONGREGATION
Owner (off-site parking area) of NEW MEXICO

09/28/07
Date

Richard Dineen
City of Albuquerque,
Planning Director

12/19/07
Date

V. Carran
Approved as to Form - City Attorney

12/13/07
Date

STATE OF NEW MEXICO)

) ss.

County of Bernalillo)

The foregoing instrument was acknowledged before me this 27th day of September, 2007 by Tri Dinh, on behalf of the Owner.

My Commission Expires

8-24-2010

Brenda Haskeew

Notary Public

OFFICIAL SEAL

BRENDA HASKEW

NOTARY PUBLIC - STATE OF NEW MEXICO

My commission expires: 8-24-2010

STATE OF NEW MEXICO)

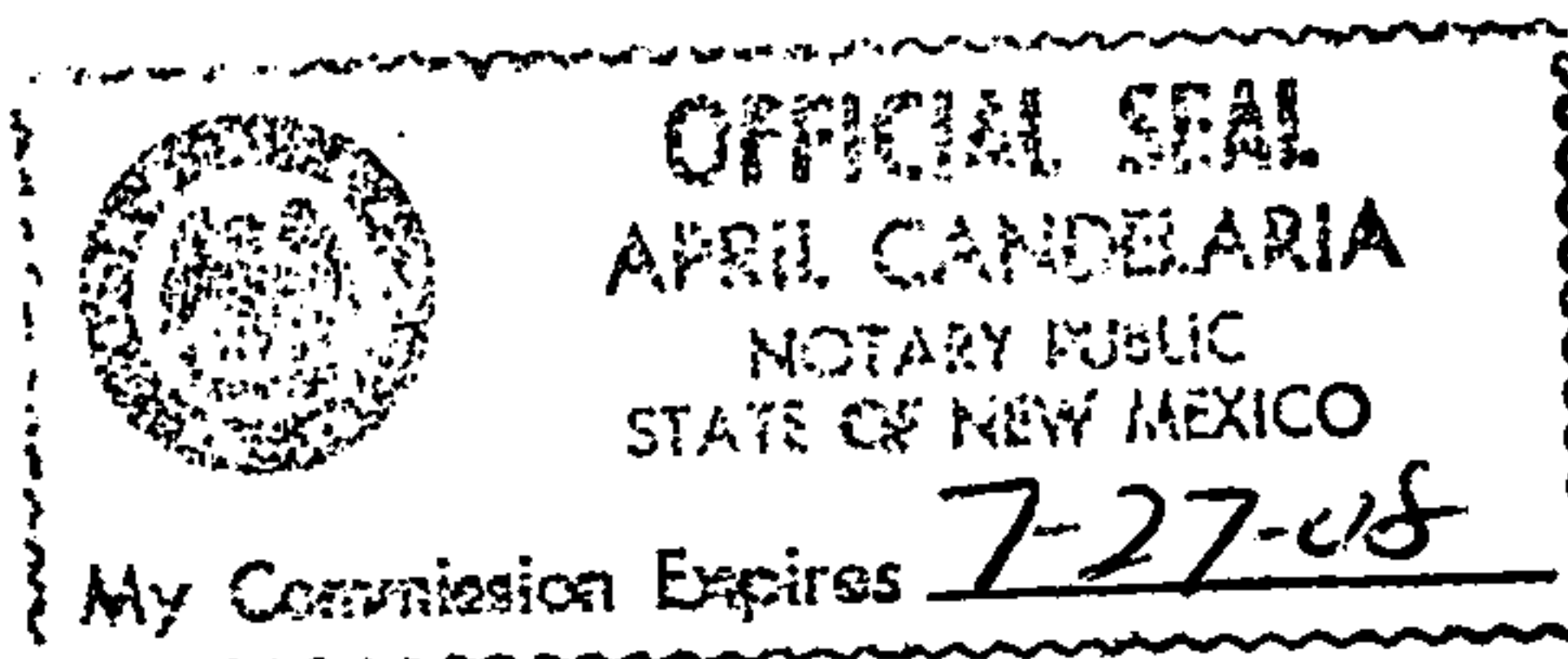
) ss.

County of Bernalillo)

The foregoing instrument was acknowledged before me this 14th day of December, 2007 by Richard Dineen of the City of Albuquerque on behalf of the City.

My Commission Expires:

7-27-08



April Candelaria
Notary Public

PARKING AGREEMENT

EXHIBIT B

SITE PLAN:

SEE ATTACHED DRAWING OF SITE PLAN

PARKING AGREEMENT

EXHIBIT A

Legal Description:**Project:**

327 Georgia SE
Albuquerque, NM

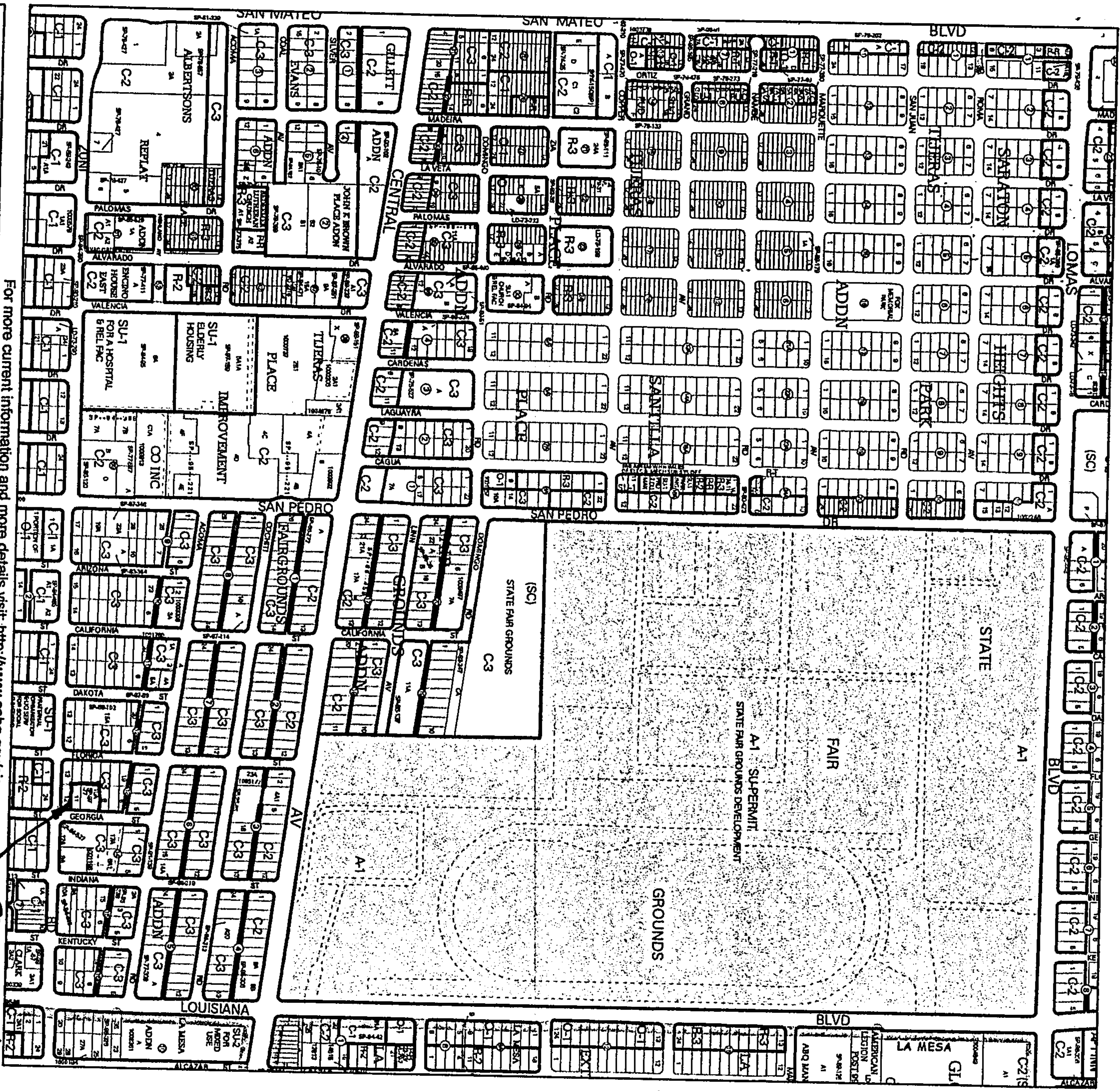
Lot 10A, BLK 13, FAIR GROUNDS ADDN,
Sp-97-77
Zone Map K-18-Z

Adjacent Lot Owner:

317 Georgia SE
Albuquerque, NM

Lot 11, BLK 13, FAIR GROUNDS ADDN
Zone Map K-18-Z

See Attached Zone Map



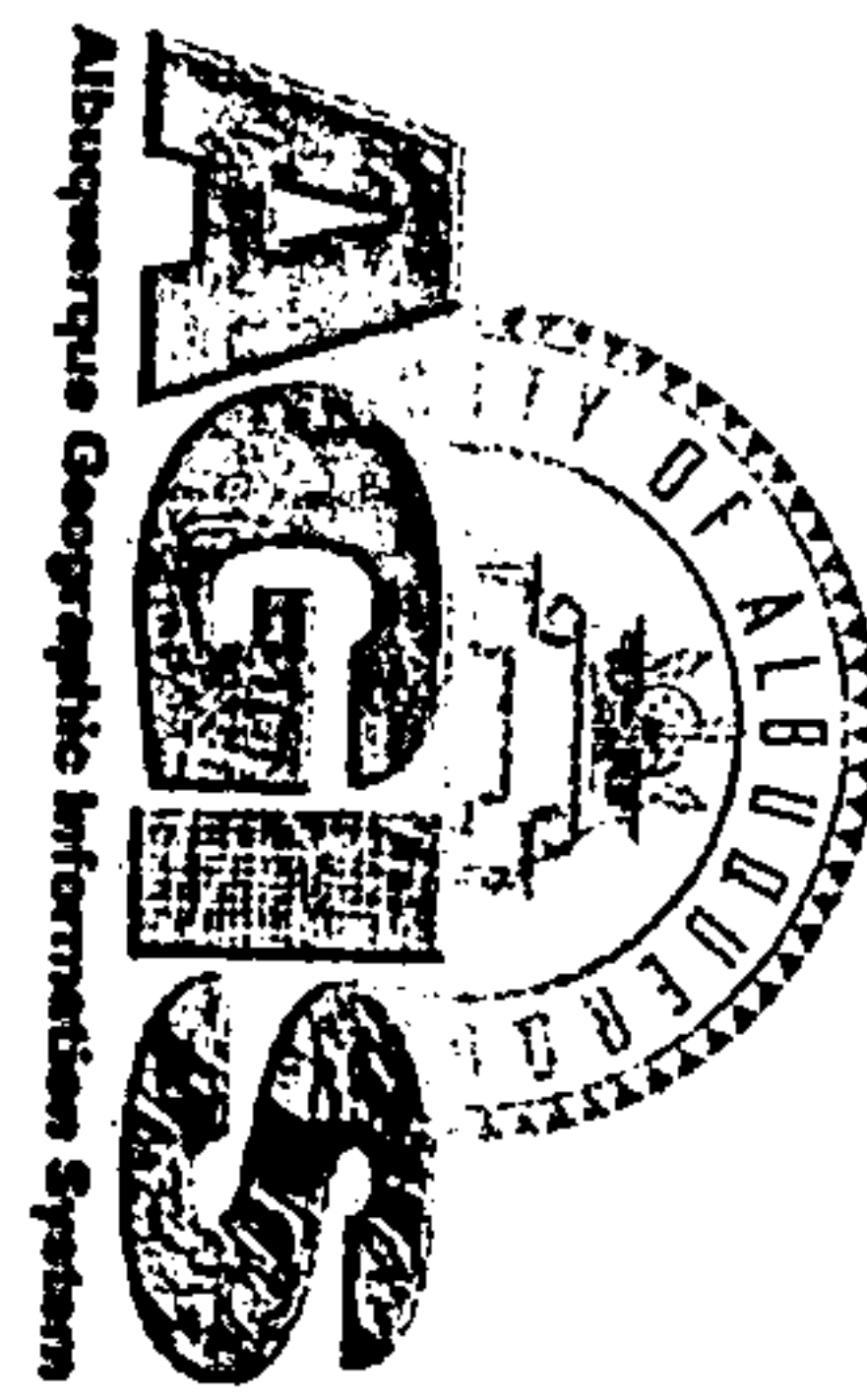
For more current information and more details visit: <http://www.cabq.gov/gis>

PROJECT 1 ADU.

Zone Atlas Page:
K-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Map amended through: 9/6/2007

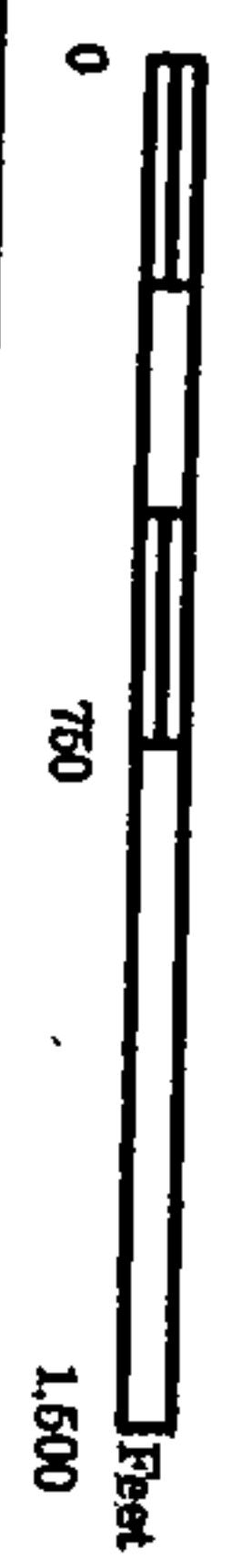
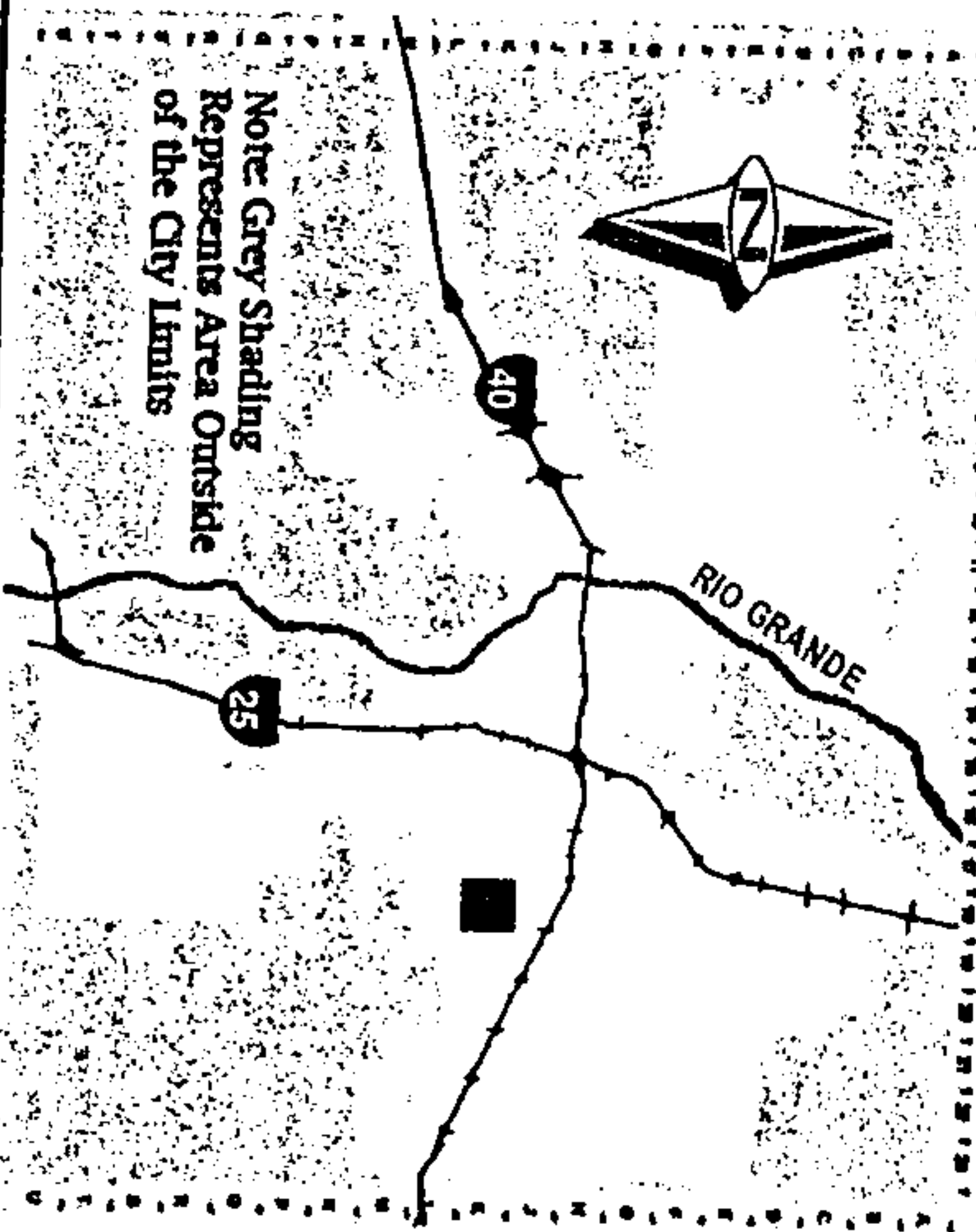


EXHIBIT "A" ATTACHMENT

OWNER
LOCATION

SHARED PARKING CALCULATIONS

EXHIBIT C

The Planning Director or designee may authorize a reduction in the total number of required parking spaces for two or more uses jointly providing on-site parking subject to the following:

The respective hours of operation of the uses do not overlap, as demonstrated by the application of table a below. If one or all of the land uses proposing to use joint parking facilities do not conform to one of the general land use classifications in table a, the applicant shall submit sufficient data to indicate that there is not substantial conflict in the principal operating hours of the uses. Such data may include information from a professional publication such as those published by the Institute of Transportation Engineers (ITE) or the Urban Land Institute (ULI), or by a professionally prepared parking study.

Table A. Schedule of Shared Parking Calculations

General Land Use Classification	Weekdays			Weekends		
	midnight to 7 a.m.	7 a.m. to 6 p.m.	6 p.m. to mid.	midnight to 7 a.m.	7 a.m. to 6 p.m.	6 p.m. to mid.
Office and Industrial	5%	100%	5%	0%	60%	10%
Retail	0%	100%	80%	0%	100%	60%
Restaurant	50%	70%	100%	45%	70%	100%
Hotel	100%	65%	90%	100%	65%	80%
Cinema/theater	0%	70%	100%	5%	70%	100%

How to use the schedule of shared parking.

1. Calculate the number of spaces required for each use.
2. Applying the applicable general land use category to each proposed use, use the percentages to calculate the number of spaces required for each time period (six time periods per use).
3. Add the number of spaces required for all applicable land uses to obtain a total parking requirement for each time period.
4. Select the time period with the highest total parking requirement and use that total as your shared parking requirement.

Exhibit C - Parking Calculations

Introduction:

The remodel of the building for the project includes the new worship space. This will replace the worship space in the existing building on the adjacent property. Both buildings are owned by *The Vietnamese Buddhist Congregation of New Mexico*. Presently the owner owns both lots but they are platted as two different lots. The existing building will be used as a kitchen and accessory use to the remodeled building.

Parking Calculations

Remodeled Building: A3 Occupancy classifications, parking calculated for church use:

1 parking space for 4 seats: $103 \text{ seats} / 4 = 26 \text{ spaces}$
10% reduction for bus route: $26 \text{ spaces} - 10\% = 24 \text{ spaces}$

Shared Use Existing Building: Kitchen and Accessory Use

1 per 200 s.f. of building: $1500 \text{ s.f.} / 200 = 8 \text{ spaces}$

Shared Parking Calculations – calculated closest to actual use

	Mid. To 7 am (5%)	<u>Weekdays</u> 7am to 6 p.m. (75%)	6 p.m. to Mid. (100%)	Mid. To 7 a.m. (0%)	<u>Weekends</u> 7 a.m. to 6 p.m. (75%)	6 p.m. to Mid. (100%)
Remodeled Building	2	18	24	0	18	24
Shared Use Existing	1	6	8	0	6	8
Totals	3	24	32	0	24	32

Time Period with the highest parking requirement:

Weekdays 6 p.m. to midnight: 32 spaces
Weekends 6 p.m. to midnight: 32 spaces

CITY OF ALBUQUERQUE



November 27, 2007

Joseph Simons, R.A.
Simons Architecture
P.O. Box 67408
Albuquerque, NM 87193-7408

Re: Dihn Temple, 327 Georgia St. SE, Traffic Circulation Layout
Architect's Stamp dated 11-01-07 (K-18/D069)

Dear Mr. Simons,

Based upon the information provided in your submittal received 11-19-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Remove all drainage references from the Traffic Circulation Layout.
2. Resubmit a completed and recorded shared parking agreement. The one that was submitted was incomplete (missing pages and exhibits) and was not recorded.
3. Does this site have an approved on-street parking credit? If so, please provide a copy of the approved document; however, if there is not a current document, one will be required.
4. Please show the location of the nearest driveway on the adjacent lot.
5. Show a vicinity map on the plan.
6. What is the existing status of the alley? Is it paved?
7. Is there existing sidewalk along Georgia Street? If so, please define the width.
8. The handicapped spaces must be a minimum of 8.5 feet in width.
9. The handicapped spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width.
10. Please include two copies of the traffic circulation layout at the next submittal.
11. Please refer to all applicable city standards.
12. Please ensure all ramps are ADA compliant.
13. Clarify all existing verses proposed work.
14. Are the driveways existing or proposed? If proposed, the driveways will need to be a minimum of 25 feet in width.
15. A north arrow and legal description must be shown on the plan.
16. The plan shows the pedestrian path to be flush with the parking lot; if this is to remain, parking bumpers will be required at the parking stalls adjacent to this pathway.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: DIHN TEMPLEK-18/DOUG
K-18-418
ZONE MAP/DRG. FILE #

DRB#: _____ EPC#: _____

WORK ORDER#: _____

LEGAL DESCRIPTION:

CITY ADDRESS: 327 GEORGIA ST. SE, ALB. NM 87108

ENGINEERING FIRM:

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

OWNER:

VAN HAHN TEMPLE
ADDRESS: 327 GEORGIA ST SECITY, STATE: ALB. NM 87108

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT:

SIMONS ARCHITECTURE
ADDRESS: P.O. BOX 67908CITY, STATE: ALB. NM 87193CONTACT: JOE SIMONSPHONE: 480-4796ZIP CODE: 87193

SURVEYOR:

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR:

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

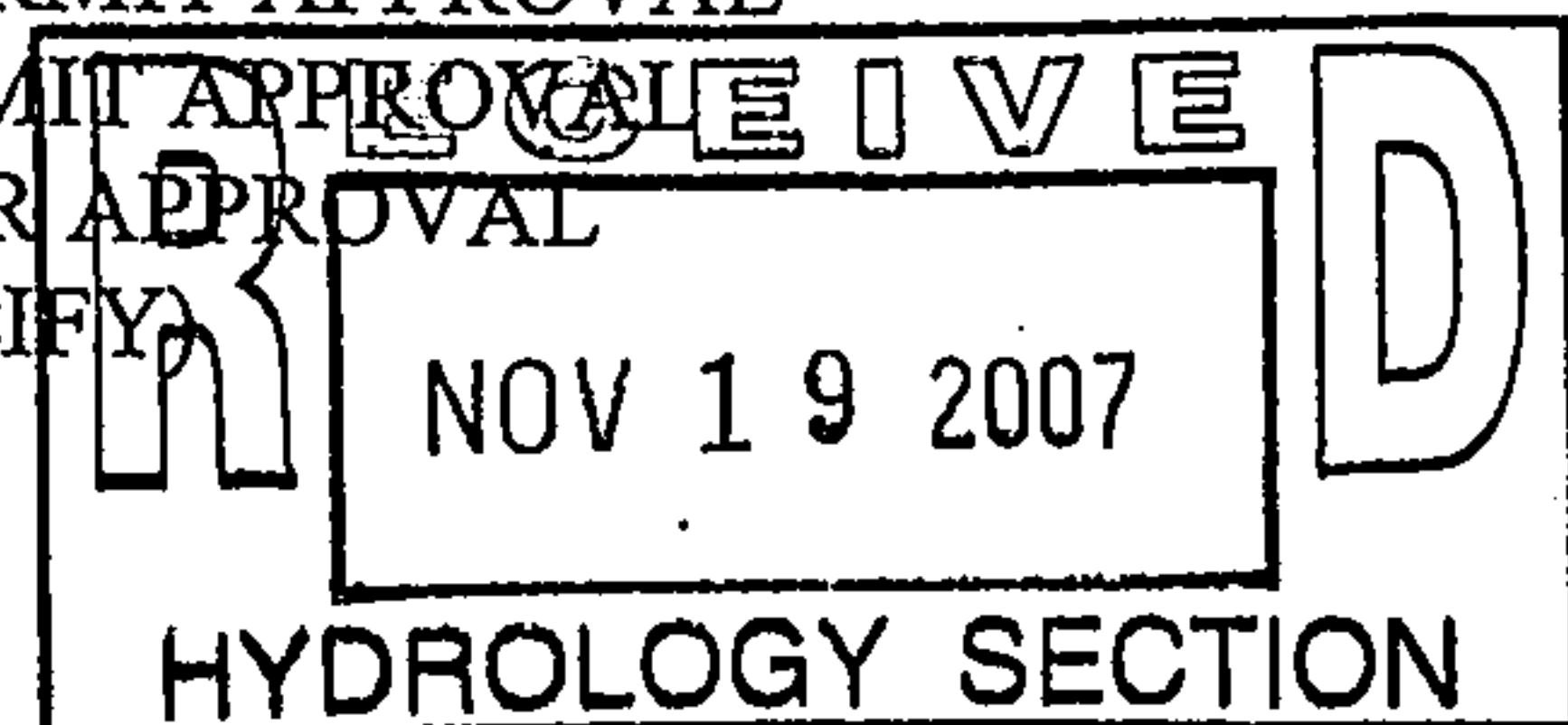
TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES☐ NO☐ COPY PROVIDEDSUBMITTED BY: JOE SIMONS, AIADATE: 11.15.07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

✓ Shared Parking Agreement -
not complete - missing a page,
no exhibit,
not recorded ~~at City Hall~~
~~10/18/2011~~

✓ On-Street Parking Credit
approved?

Remove drainage references

Status of alley? paved?

~~Remove references to driveway~~

✓ Driveways - exist or proposed?

too narrow

of sw flush w/ curbs at HC space, need
bumpers

✓ Exist SW on Georgia St?

✓ Need N Arrow

✓ Need legal desc.

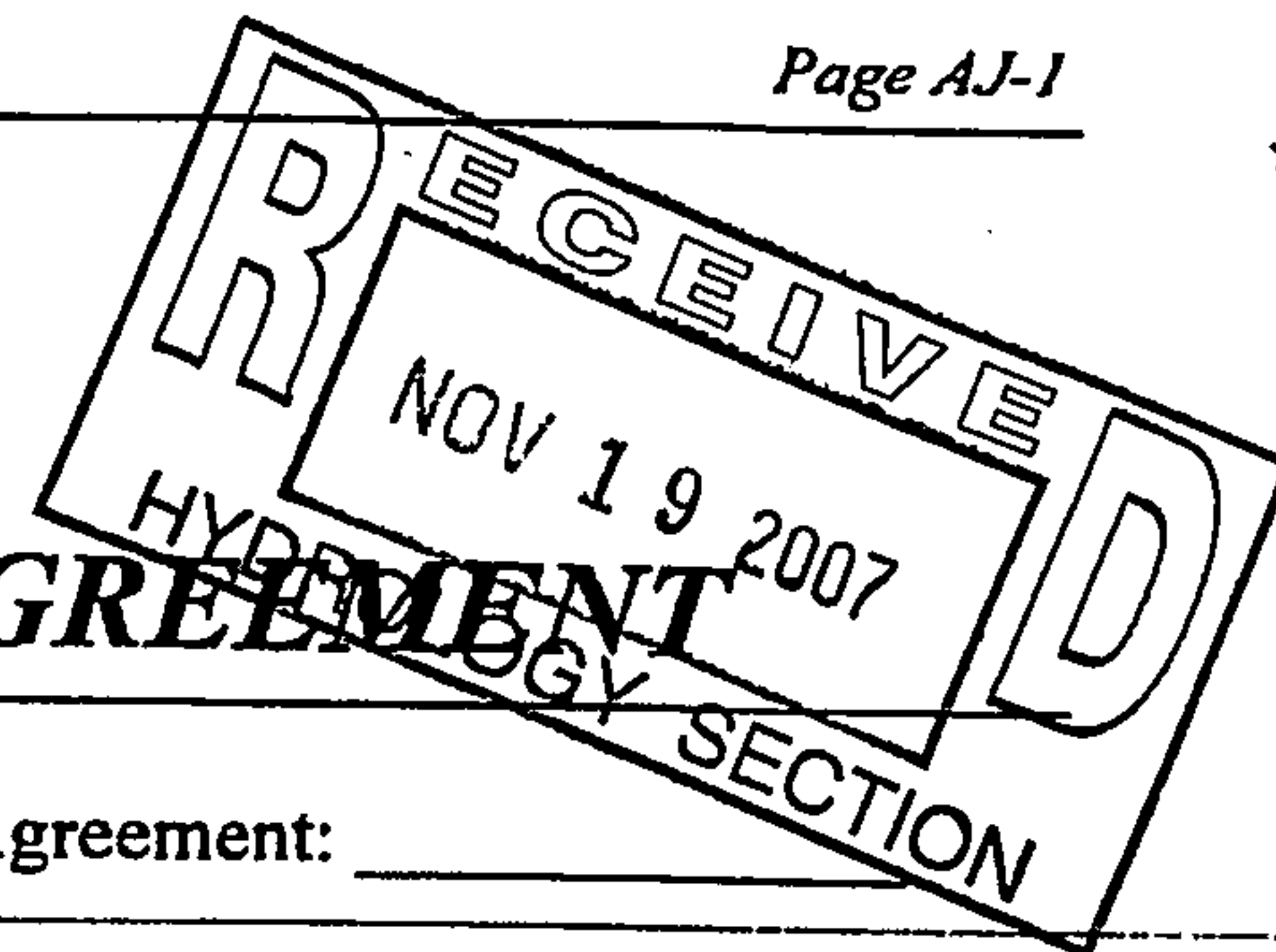
SHOW ADJACENT DRIVEPADS, LOCATIONS,
VICINITY MAP

APPENDIX J

SAMPLE OF SHARED PARKING AGREEMENT

Agreement No. _____

Date of Agreement: _____



SHARED PARKING AGREEMENT

In conjunction with the development of VAN HANH TEMPLE, located at 327 GEORGIA (the "Property") for which the legal description is attached as *Exhibit A*, the City of Albuquerque has allowed, and VAN HANH TEMPLE ("Owner") has elected, to reduce off-street parking requirements based upon Section 14-16-3-1-D-6 of the Zoning Ordinance of the City of Albuquerque and currently known proposed tenant uses. The approved site plan, as shown on *Exhibit B*, includes parking and the reduced parking calculations, as shown on *Exhibit C* attached hereto. Under this site plan and using the proposed tenant uses, 23 spaces are required and 16 spaces are provided.

The Owner, and its successors and assigns, agrees that it will not change the tenant uses at the Property in a manner that increases the number of required parking spaces unless additional spaces are provided. In the event that there are changes to the tenant uses, which would increase the number of required parking spaces at the Property, the parking calculations shall be updated by the Owner to reflect such change and presented to the City.

Furthermore, the Owner agrees that the Property shall operate an open/shared parking arrangement, whereby, the Owner shall not segregate property access/parking rights or significantly impair access to parking on the Property by users of any portion of the Property.

The foregoing shall not, however, impair the right of the Owner or its successors to declare exclusive parking areas for such items as employee parking, handicap spaces, loading, designated timed areas such as "15 minute" temporary parking areas, or any other areas set forth on any site plan of the Property approved by the City, or to take commercially reasonable actions to prevent parking in areas which are not designated parking spaces on the site plan.

No sale or transfer of all or any portion of the Property shall be deemed to void or violate this Agreement. The terms of this Agreement shall bind the Owners, successors, and assigns. This Agreement can be

PARKING AGREEMENT

IN WITNESS WHEREOF, the parties have executed this Agreement on the date noted below.

Tri Dinh
Owner (applicant)

09/28/07
Date

The VIETNAMESE BUDDHIST CONGREGATION
Owner (off-site parking area) of NEW MEXICO

09/28/07
Date

City of Albuquerque,
Planning Director

Date

Approved as to Form – City Attorney

Date

STATE OF NEW MEXICO)
) ss.
County of Bernalillo)

The foregoing instrument was acknowledged before me this 27th day of September, 2007, by
Tri Dinh, on behalf of the Owner.

My Commission Expires

8-24-2010

STATE OF NEW MEXICO)
) ss.
County of Bernalillo)

The foregoing instrument was acknowledged before me this _____ day of _____, 20____ by
_____ of the City of Albuquerque on behalf of the City.

My Commission Expires:

Brenda Haskeew
Notary Public



OFFICIAL SEAL
BRENDA HASKEEW
NOTARY PUBLIC - STATE OF NEW MEXICO
My commission expires: 8-24-2010

Notary Public



2009/06/19



2009/06/19



2009/06/19



2009/04/30



009/04/30



2009/04/30



2009/04/30







2009/04/30