

Public Works Department

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

April 10, 1997

Celia Tomlinson
Rhombus PA, Inc.
2620 San Mateo NE Suite B
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR VIETNAMESE BUDDHISTS CONGREGATION
(K18-D69) REVISION DATED 4/8/97

Dear Ms. Tomlinson:

Based on the information provided on your April 8, 1997 resubmittal, the above referenced site is approved for Grading/Paving.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, after construction is completed, Engineer Certification per the DPM checklist will be required.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
File

Sincerely

Bernie J. Montoya CE
Engineering Associate

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

PROJECT TITLE: VIETNAMESE BUDDHISTS ZONE ATLAS/DRNG. FILE #: K-18/D69
 DRB #: DRB-97-139 EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: LOT 10-A, BLOCK 13 FAIR-GROUNDS ADDITION
 CITY ADDRESS: 327 GEORGIA ST. S.E.
 ENGINEERING FIRM: RHOMBUS P.A., Inc. CONTACT: Celia Tomlinson
 ADDRESS: 2620 San Mateo NE Suite B PHONE: 881-6690
Albuquerque, NM 87110
 OWNER: VIETNAMESE BUDDHISTS CONGREGATION CONTACT: VINH NGUYEN
OF NEW MEXICO PHONE: 843-8771
 ADDRESS: 327 GEORGIA S.E. CONTACT: CELIA TOMLINSON
 ARCHITECT: RHOMBUS PHONE: 881-6690
 ADDRESS: 2620 SAN MATEO NE CONTACT: John Miers, PS
SUITE B PHONE: 881-6690
 SURVEYOR: RHOMBUS CONTACT: NA
 ADDRESS: 2620 San Mateo NE Suite B PHONE: NA
Albuquerque, NM 87110
 CONTRACTOR: NONE CONTACT: NA
 ADDRESS: NA PHONE: NA

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

CHECK TYPE OF APPROVAL SOUGHT:

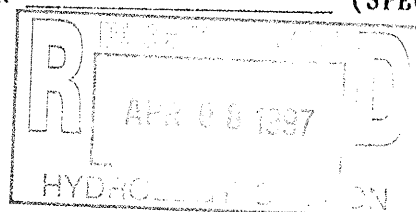
☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ SUBDIVISION CERTIFICATION
☐ OTHER _____ (SPECIFY)

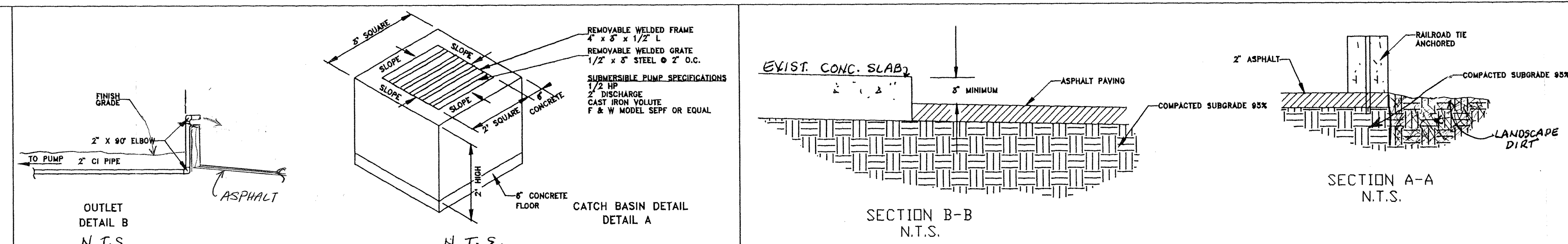
PRE-DESIGN MEETING:

☒ YES
☐ NO
☒ COPY PROVIDED
OF YOUR LETTER
DATED APRIL 4, 1997

DATE SUBMITTED: 4/08/97

BY: Celia Tomlinson





DRAINAGE AND GRADING PLAN FOR PROPOSED MEETING HALL

LEGAL DESCRIPTION: Lots 9 and 10 (both lots replatted as one lot, Lot 10-A), Block 13 Fairgrounds Addition

ADDRESS: 327 Georgia Street SE

FLOODPLAIN INFORMATION: The property is located on Zone X, areas of 100- to 500-year flooding, one to two feet depth, according to the Floodway Boundary and Floodway Map of Bernalillo County, New Mexico, Community Panel 35001C0354, effective September 20, 1996.

EXISTING CONDITIONS: The lot contains approximately one-third acre; the existing building roofs 2472 square feet; existing concrete pad 576 square feet. There is a small landscaped area on the north side of the property.

The subject tract of land is the site of an existing building currently being used as a meeting hall. A storage building is adjacent to it. The site is bounded by fully-improved Georgia Street on the east. To the north, west and south are lots with improvements. The subject site, which receives no offsite flows, has no existing drainage problems. The surface runoff drains northeast through the backyard of the adjoining lot and eventually to Florida St.

PROPOSED IMPROVEMENTS: All existing improvements will remain. The parking lot will be paved with asphalt. Areas at the rear and sides of the existing building will be surfaced with gravel. Landscaping will be provided. The existing elevations at the abutting properties and street improvements, as well as the overall existing drainage concept will be maintained. The property runoff will be directed to a catch basin for pumping toward Georgia Street.

CALCULATIONS:

Existing Conditions:
 Land Treatment A = 0
 Land Treatment B = 512 SF = 0.01 Acre
 Land Treatment C = 9,940 SF = 0.22 Acre
 Land Treatment D = 3,048 SF = 0.07 Acre
 Total 13,500 SF = 0.30 Acre

Proposed Improvement:
 Land Treatment A = 0
 Land Treatment B = 512 SF = 0.01 Acre
 Land Treatment C = 4,336 SF = 0.10 Acre
 Land Treatment D = 8,652 SF = 0.19 Acre
 Total 13,500 SF = 0.30 Acre

Zone 3 (From DPM 22.2, page A-1)

Existing Condition,
 Peak Discharge, 100-year: (from DPM 22.2 page A-9)
 A = 0 x 1.87 = 0
 B = 0.01 x 2.60 = 0.03 cfs
 C = 0.22 x 3.45 = 0.76 cfs
 D = 0.07 x 5.02 = 0.35 cfs
 Composite Q100 = 1.14 cfs

Volume of Runoff,
 Excess Precipitation 100-year: (from DPM 22.2, page A-7)
 A = 0 x 0.66 = 0
 B = 0.01 x 0.92 = 0.01 cf
 C = 0.22 x 1.29 = 0.28 cf
 D = 0.07 x 2.36 = 0.17 cf
 Composite V100 = 0.46 cf

Proposed Improvement:
 Peak Discharge, 100-year
 A = 0 x 1.87 = 0
 B = 0.01 x 2.60 = 0.03 cfs
 C = 0.10 x 3.45 = 0.34 cfs
 D = 0.19 x 5.02 = 0.95 cfs
 Composite Q100 = 1.32 cfs

Volume of Runoff,
 A = 0 x 0.66 = 0
 B = 0.01 x 0.92 = 0.01 cf
 C = 0.10 x 1.29 = 0.13 cf
 D = 0.19 x 2.36 = 0.45 cf
 Composite V100 = 0.59 cf

Increase in Discharge, Q100 = 1.32 - 1.14 = .18 cfs

Increase in Runoff Volume, V100 = 0.59 - 0.46 = 0.13 cf

EROSION CONTROL: Water, if any, from activities during construction and/or from rain will be temporarily ponded on site to prevent the spread of silt.

CONCLUSION:
 The proposed improvement on the property will not have any adverse impact on or will be adversely affected by the existing drainage from the surrounding areas.

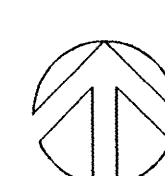
BENCHMARK: ACS 5-K18A ELEVATION 5277.51

NOTE:

- THIS IS NOT A BOUNDARY SURVEY. PROPERTY CORNERS, BEARINGS AND DISTANCES ARE SHOWN HEREON ARE FOR ORIENTATION PURPOSES ONLY.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS AND/OR EVIDENCES ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THIS DRAWING, PRIOR TO ANY EXCAVATIONS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING RUN-OFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.

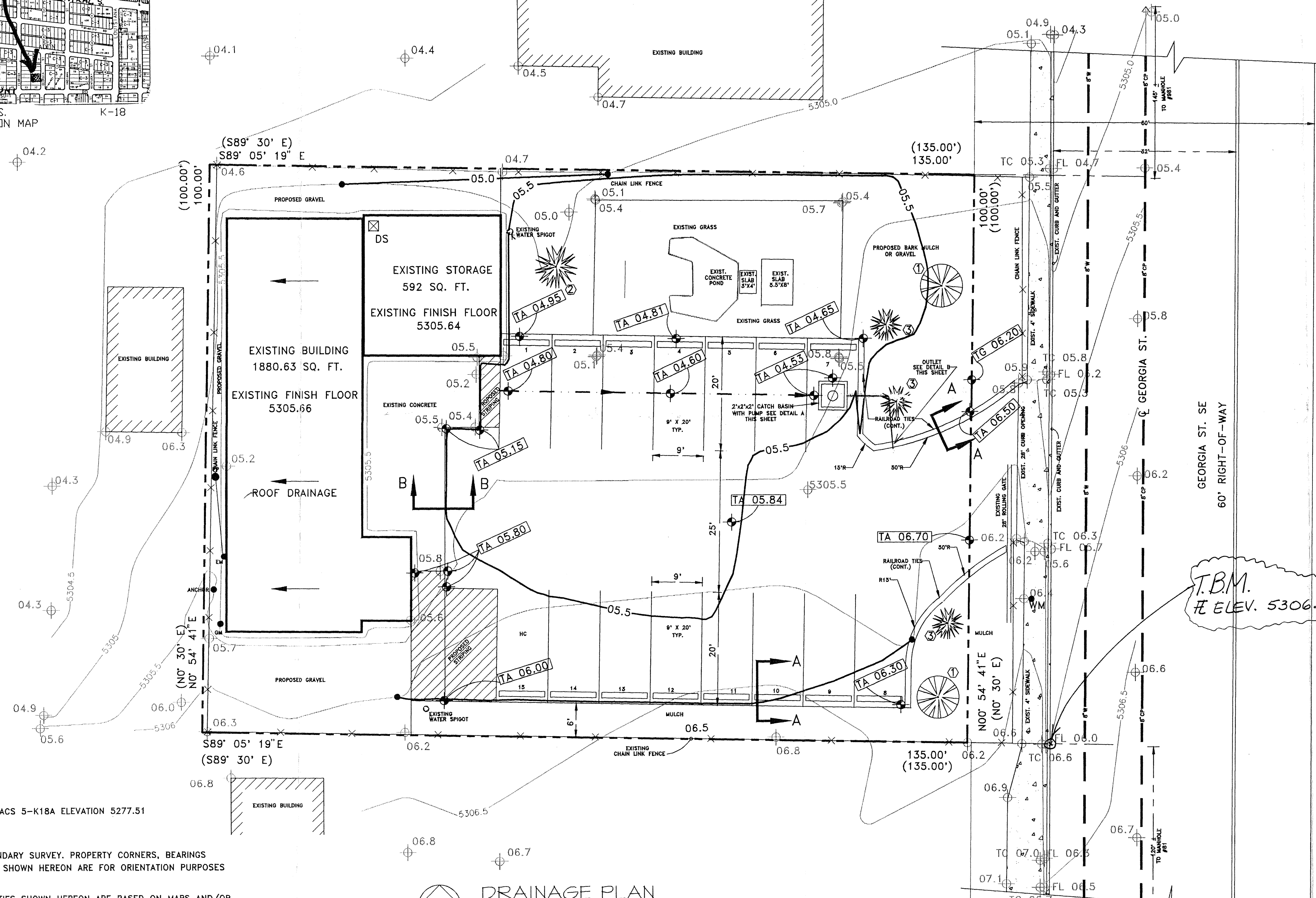
LEGEND

- TA 05.15 PROPOSED ELEVATION TOP OF ASPHALT
- TG 05.70 PROPOSED ELEVATION TOP OF GRAVEL
- 04.7 EXISTING SPOT ELEVATION
- 5306 EXISTING CONTOUR
- 06.5 PROPOSED CONTOUR



DRAINAGE PLAN

SCALE: 1" = 10'-0"



STATE OF NEW MEXICO
 REGISTERED PROFESSIONAL ENGINEER
 NO. 4895
 Celia S. Jordan 4/8/97

RHOMBUS P.A., INC.
 FACILITIES ENGINEERS ♦ ENVIRONMENTAL CONSULTANTS
 2620 San Mateo NE SUITE B
 Albuquerque, NM 87110
 TEL. (505) 881-6690 FAX (505) 881-6896