

#### EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

#### CONSTRUCTION NOTES:

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OR SUB-SURFACE UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

#### LEGAL DESCRIPTION:

LOTS NUMBERED ONE (1) THROUGH EIGHT (8), INCLUSIVE, IN BLOCK NUMBERED FORTY-ONE (41), OF THE TIJERAS PLACE ADDITION, TO THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

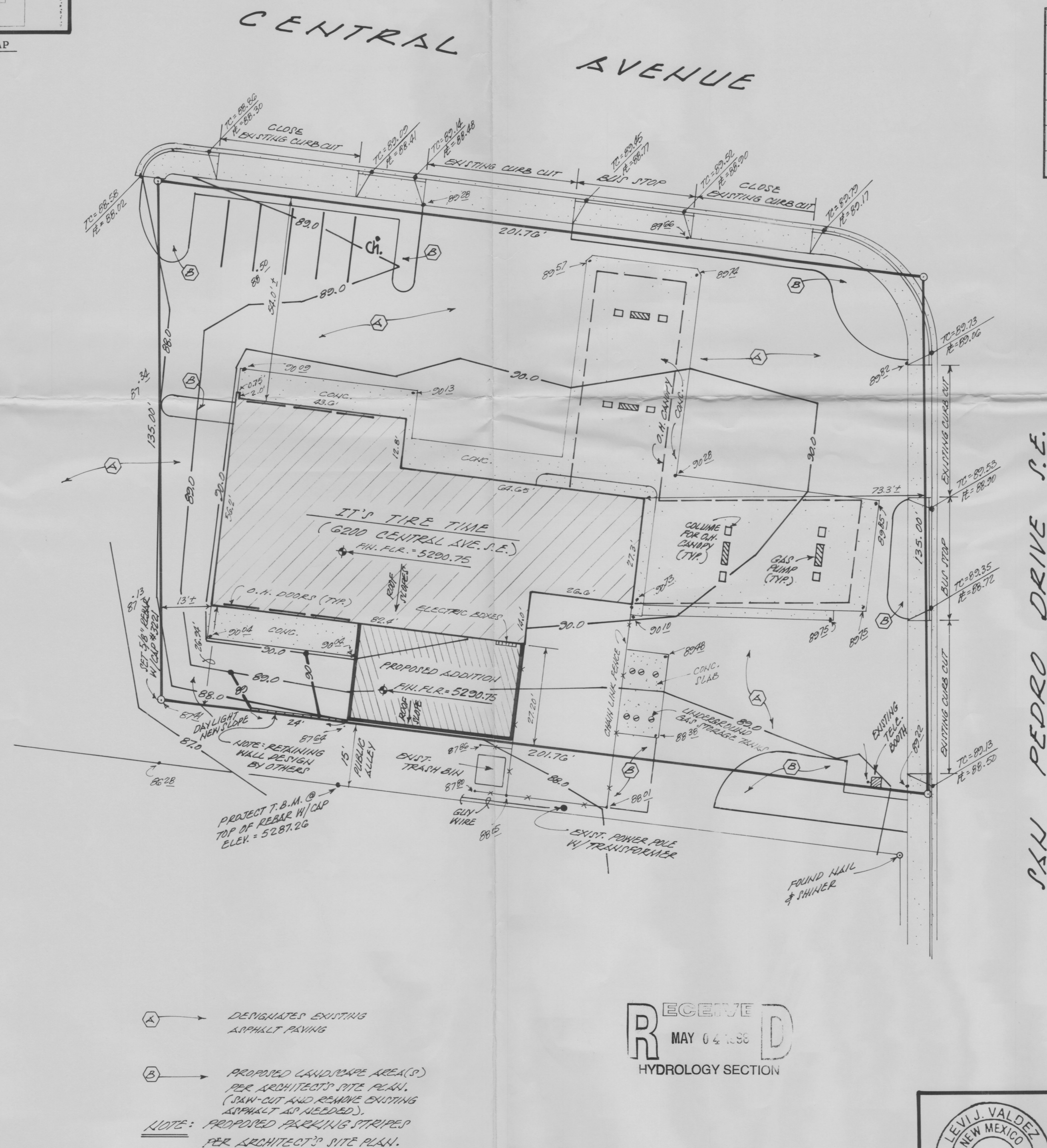
#### BENCH MARK REFERENCE:

ACS STATION "5-K18B", LOCATED ON THE NOSE OF THE WEST MEDIAN AT THE INTERSECTION OF CENTRAL AVENUE AND SAN PEDRO DRIVE; M.S.L.D. ELEVATION OF 5290.33, (PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON).

**NOTE:** PROPOSED LANDSCAPED AREA(S) PER ARCHITECTS SITE PLAN.

#### LEGEND:

TOP OF CURB ELEVATION =  $TC = 88.82$   
CURB FLOWLINE ELEVATION =  $FL = 88.30$   
EXISTING SPOT ELEVATION =  $87.41$   
EXISTING CONTOUR ELEVATION =  $89.0$   
PROPOSED SPOT ELEVATION =  $88.50$   
PROPOSED CONTOUR ELEVATION =  $89$   
PROPOSED OR EXISTING CONCRETE SURFACE =   
EXISTING FENCE LINE =

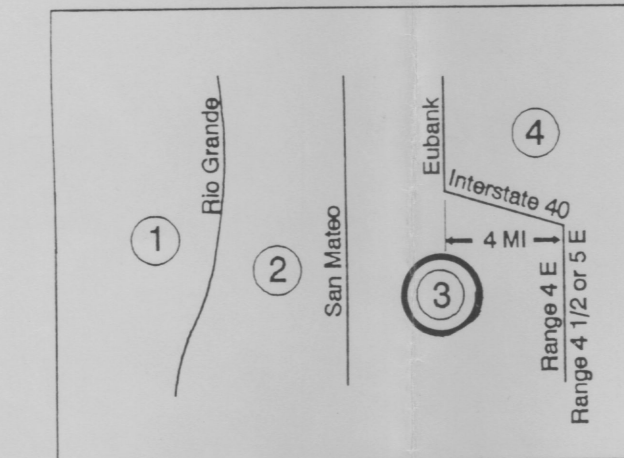


#### A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES	
Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

FIGURE A-1



Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

TABLE A-9. PEAK DISCHARGE (cfs/acre)				
Zone	Treatment			100-YR [2-YR, 10-YR]
	A	B	C	D
1	1.29 [0.00, 0.24]	2.03 [0.03, 0.76]	2.87 [0.47, 1.49]	4.37 [1.69, 2.89]
2	1.56 [0.00, 0.38]	2.28 [0.08, 0.95]	3.14 [0.60, 1.71]	4.70 [1.86, 3.14]
3	1.87 [0.00, 0.58]	2.60 [0.21, 1.19]	3.45 [0.78, 2.00]	5.02 [2.04, 3.39]
4	2.20 [0.05, 0.87]	2.92 [0.38, 1.45]	3.73 [1.00, 2.28]	5.25 [2.17, 3.67]

#### DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF CENTRAL AVENUE (EAST) AND SAN PEDRO AVENUE S.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (CITY ZONE ATLAS MAP "K-18-2").

THE SUBJECT SITE IS PRESENTLY A FULLY DEVELOPED COMMERCIAL IN-FILL PROPERTY THAT PROVIDES AUTO REPAIR AND ASSOCIATED SERVICES; THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATION OF A PROPOSED BUILDING ADDITION TO THE EXISTING FACILITIES.

THE SUBJECT SITE IS ENCLOSED BY A DESIGNATED AO-1.0' DEPTH FLOODPLAIN ALONG PORTION OF THE NORTHEAST CORNER OF SAID SUBJECT PROPERTY; THE PROPOSED ADDITION IS TO BE CONSTRUCTED OVER WHAT IS PRESENTLY EXISTING ASPHALT PAVING; THEREFORE, THERE WILL BE NO INCREASED OF DEVELOPED FLOWS WITHIN THE SUBJECT SITE.

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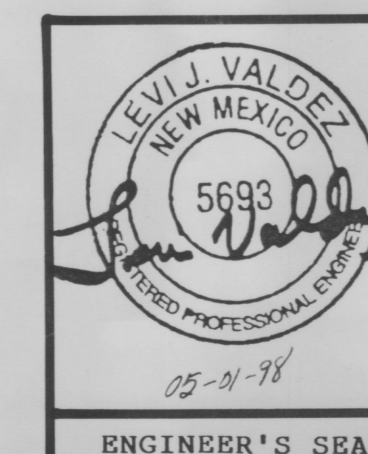
TABLE A-4. LAND TREATMENTS

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unlined arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

TABLE A-10. PEAK INTENSITY (INHR at $t_c = 0.2$ hour)		
Zone	Intensity [2-YR, 10-YR]	100-YR [2-YR, 10-YR]
1	4.70 [1.84, 3.14]	
2	5.05 [2.04, 3.41]	
3	5.38 [2.21, 3.65]	
4	5.61 [2.34, 3.83]	

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HYDROLOGY SECTION



A DRAINAGE PLAN FOR A  
A PROPOSED ADDITION TO  
IT'S TIRE TIME  
(6200 CENTRAL AVE. S.E.)  
ALBUQUERQUE, NEW MEXICO  
APRIL, 1998