

- GENERAL NOTES:**
1. ADD 5200 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 2. CONTOUR INTERVAL IS 1/2 (0.50) FOOT.
 3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5251.25 FEET ABOVE SEA LEVEL.
 4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.

**EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

NOTES:

1. MATCH GRADE AT THE EXISTING FLOW LINE
2. MATCH EXISTING GRADE AT THE PROPERTY LINE
3. 2' CURB OPENING FOR DRAINAGE
4. 3' CURB OPENING FOR DRAINAGE
5. 1' CURB OPENING FOR DRAINAGE
6. INSTALL LANDSCAPING TIMBER OR HEADER WALL (AS REQUIRED TO KEEP THE RUNOFF AWAY FROM THE PROPERTY LINE, SEE CROSS-SECTIONS A, B, & C FOR TYPICAL DETAIL)
7. 3-4" PVC PIPES - SEE THIS SHEET FOR DETAIL
8. 4-8" PVC PIPES - SEE THIS SHEET FOR DETAIL

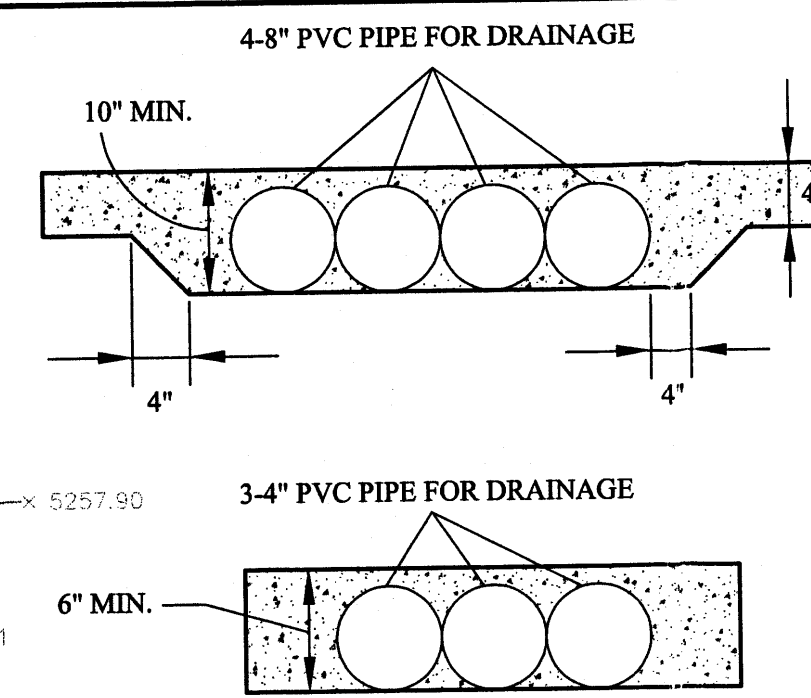
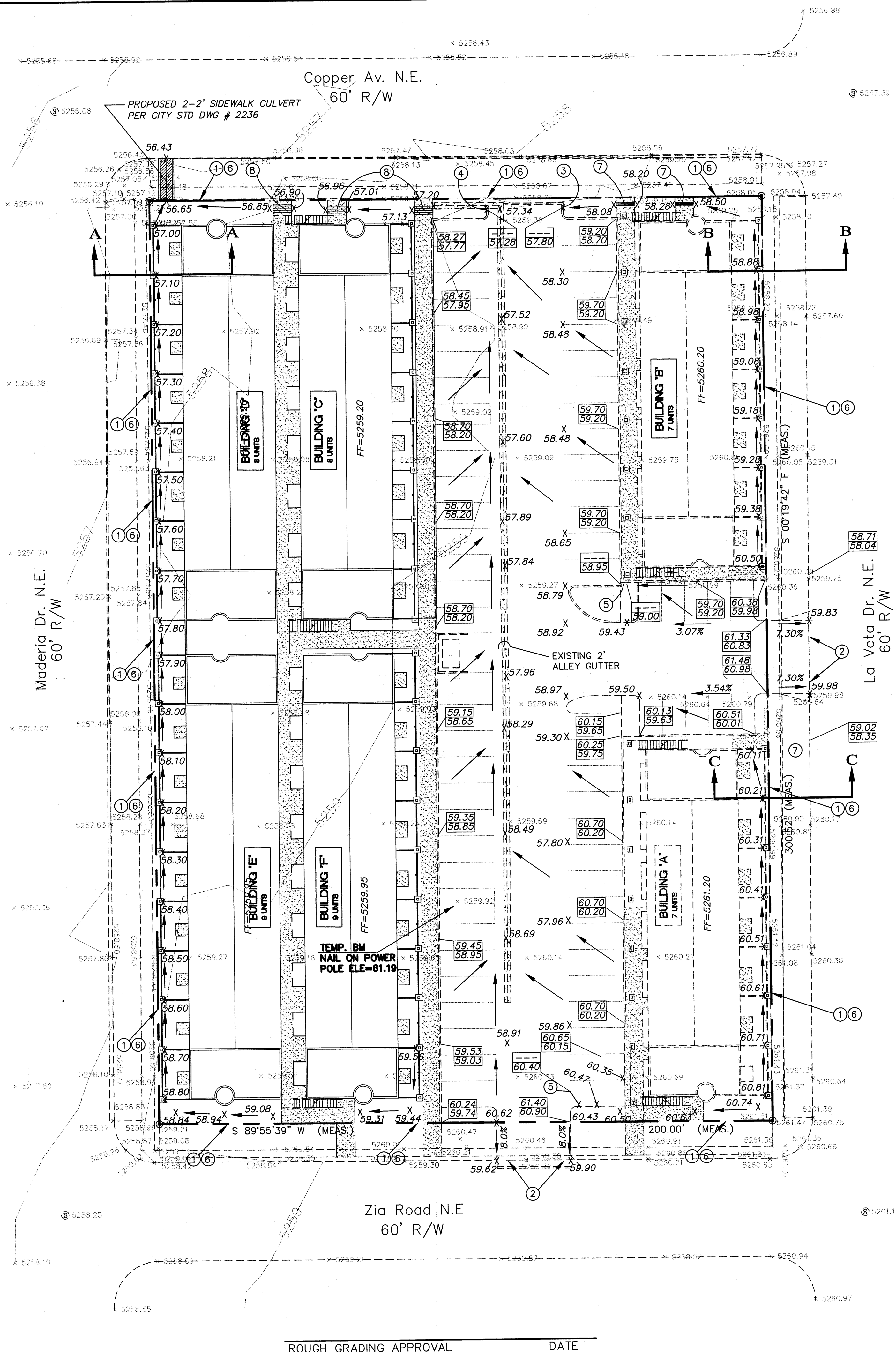
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

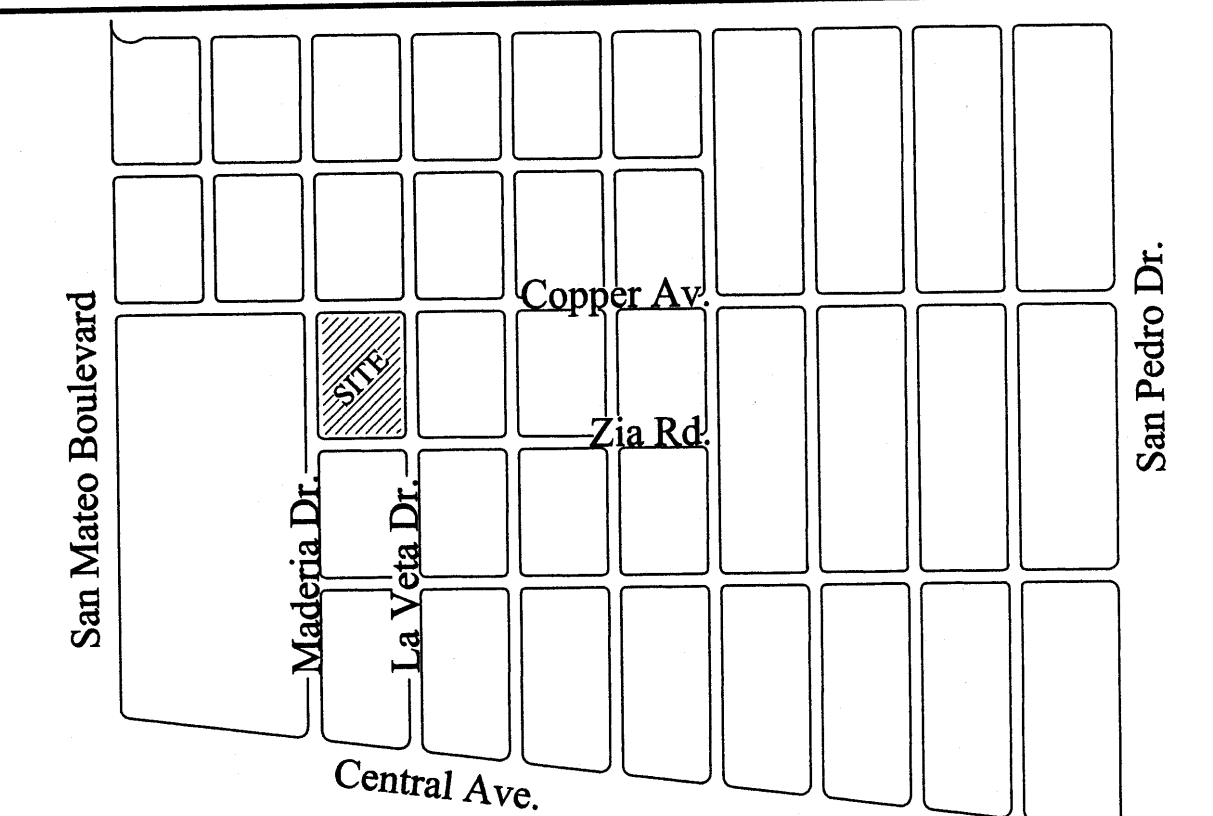
APPROVALS	NAME	DATE
INSPECTOR		

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE

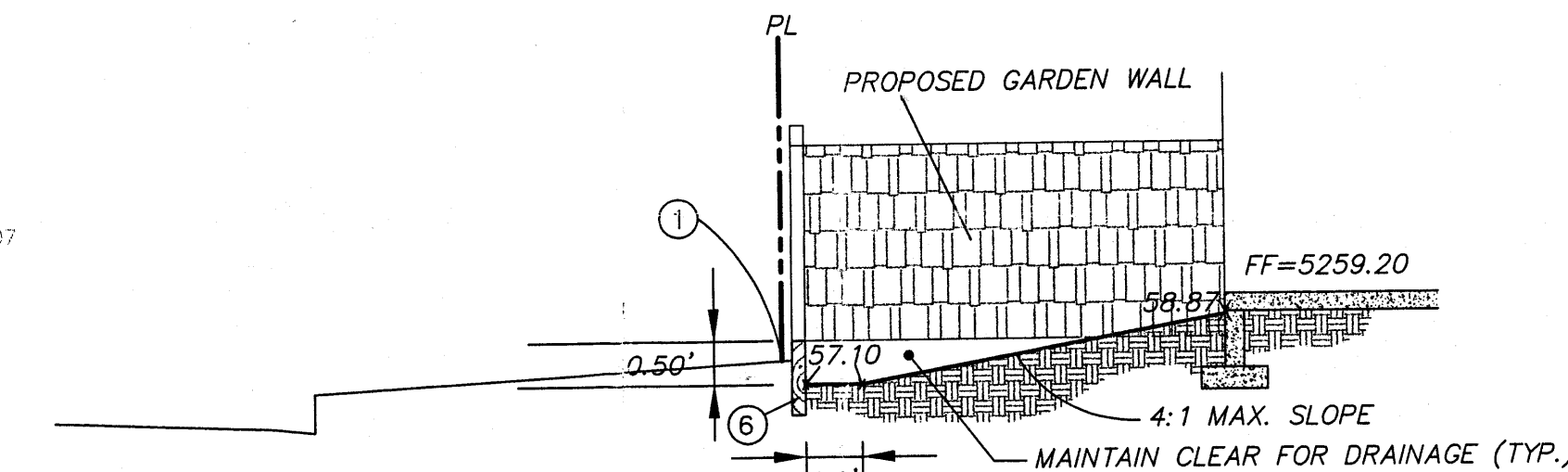


PIPE CROSSING DETAILS



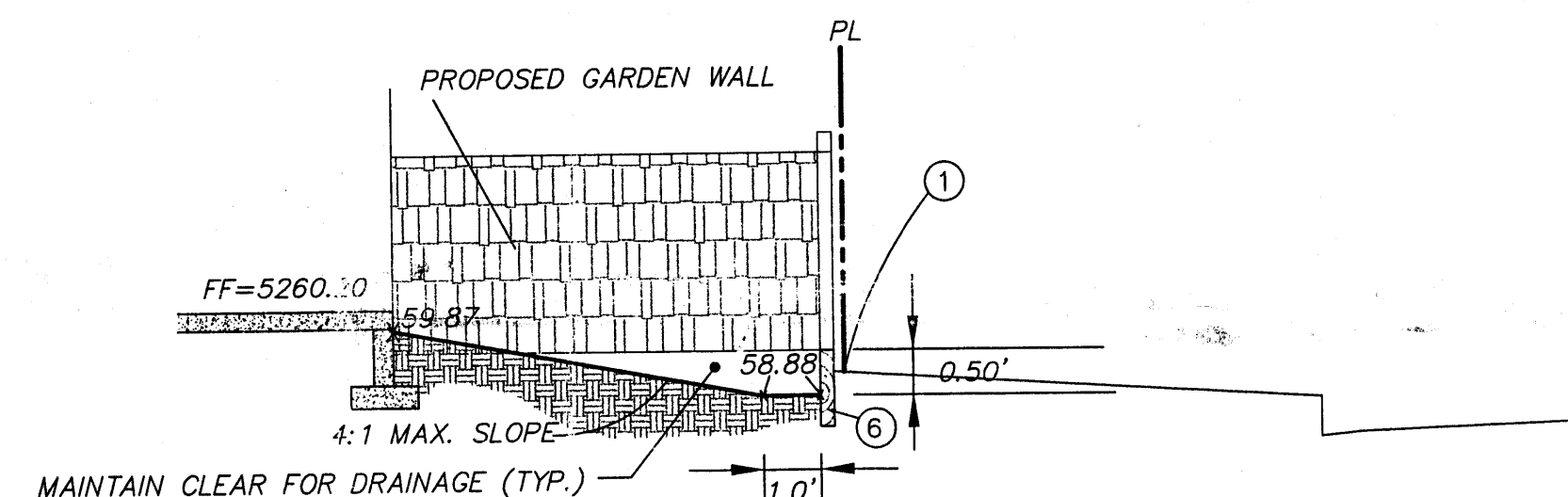
VICINITY MAP: K-18-Z

LEGAL DESCRIPTION:
LOTS 1 THROUGH 24, BLOCK 21, TIJERAS PLACE ADDITION



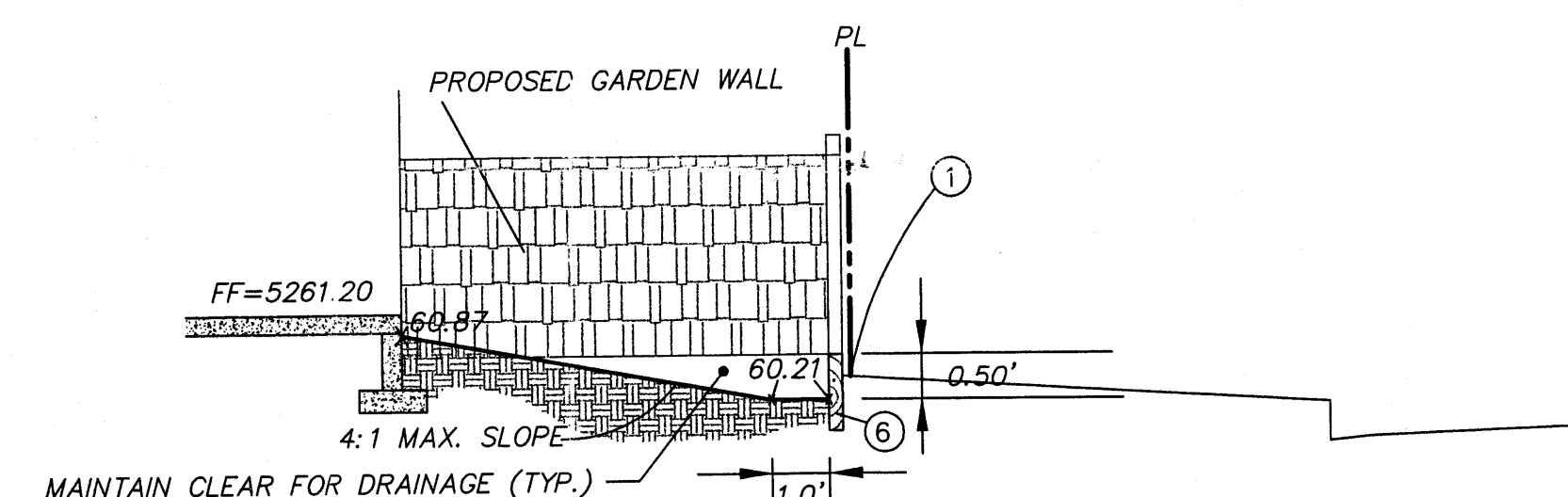
SECTION A-A

NTS



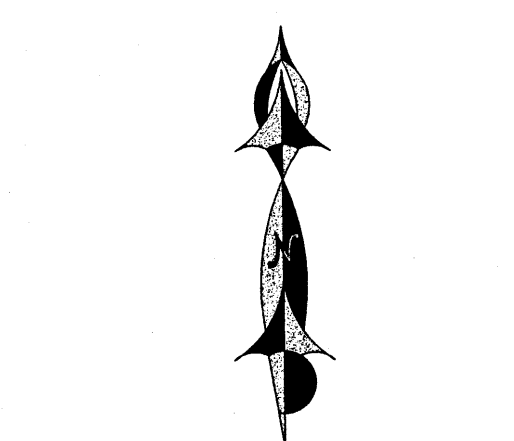
SECTION B-B

NTS



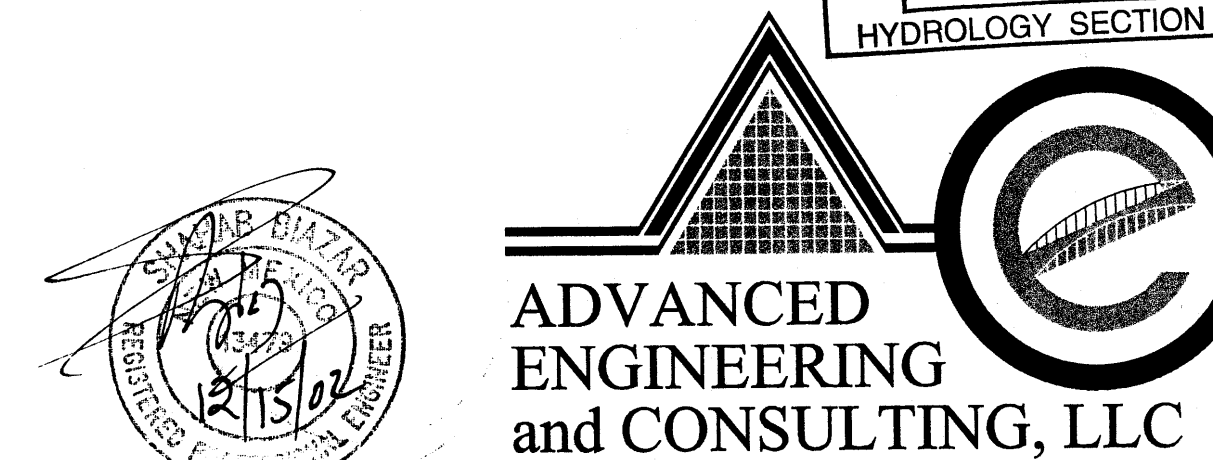
SECTION C-C

NTS



GRAPHIC SCALE

SCALE: 1"=20'

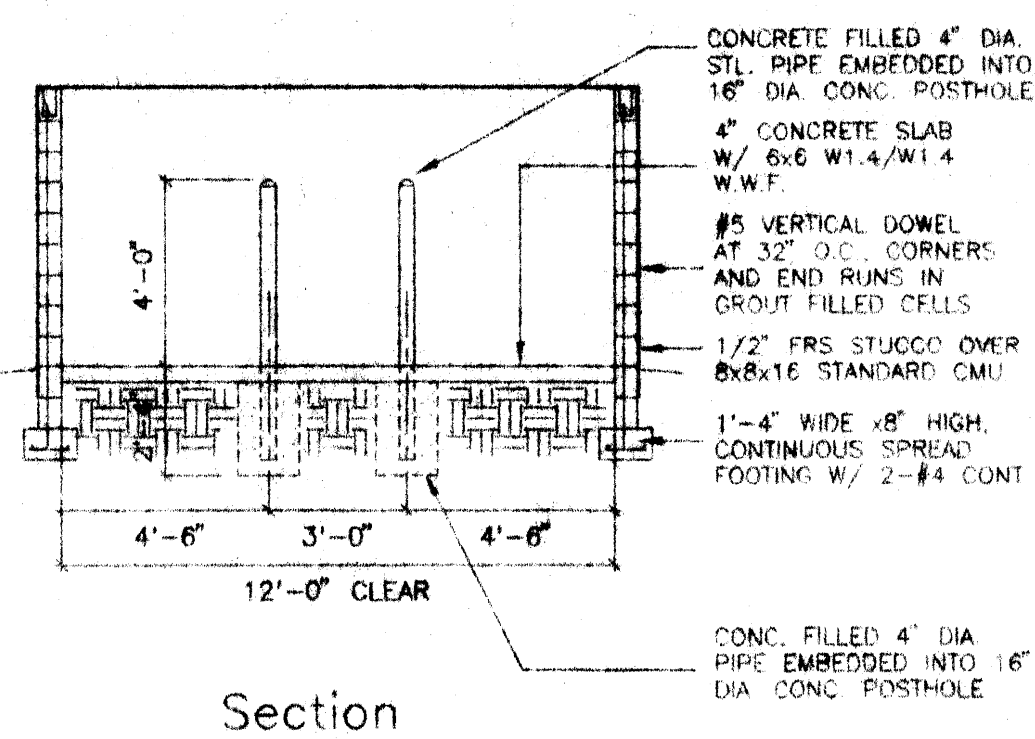


SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

**MHOON APARTMENTS
GRADING AND DRAINAGE PLAN**

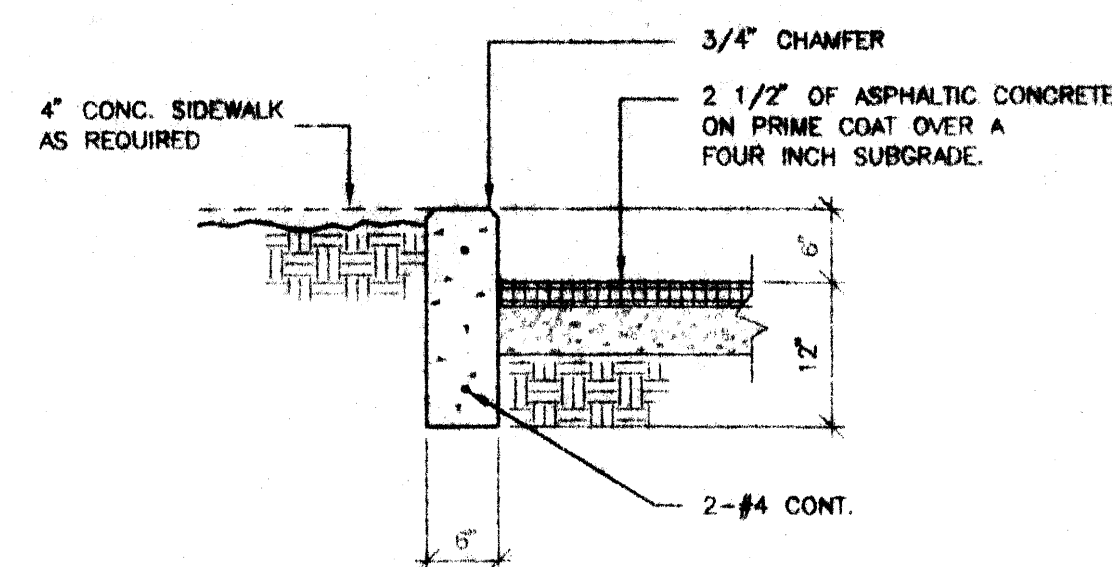
DRAWING:	DRAWN BY:	DATE:	SHEET #
200248-GR.DWG	SBB	12-15-2002	1 OF 1



1
C1

TYPICAL SLAB • DUMPSTER

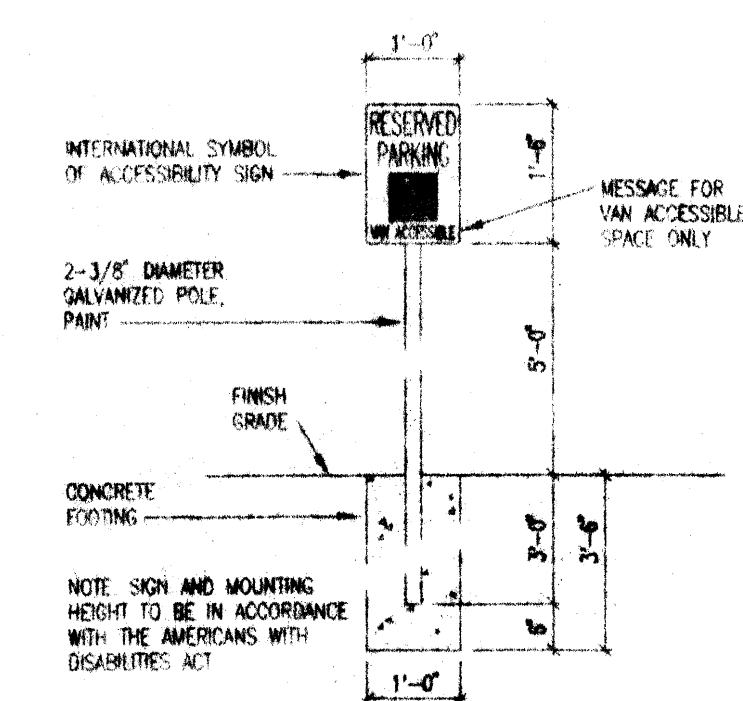
1/4" = 1'-0"



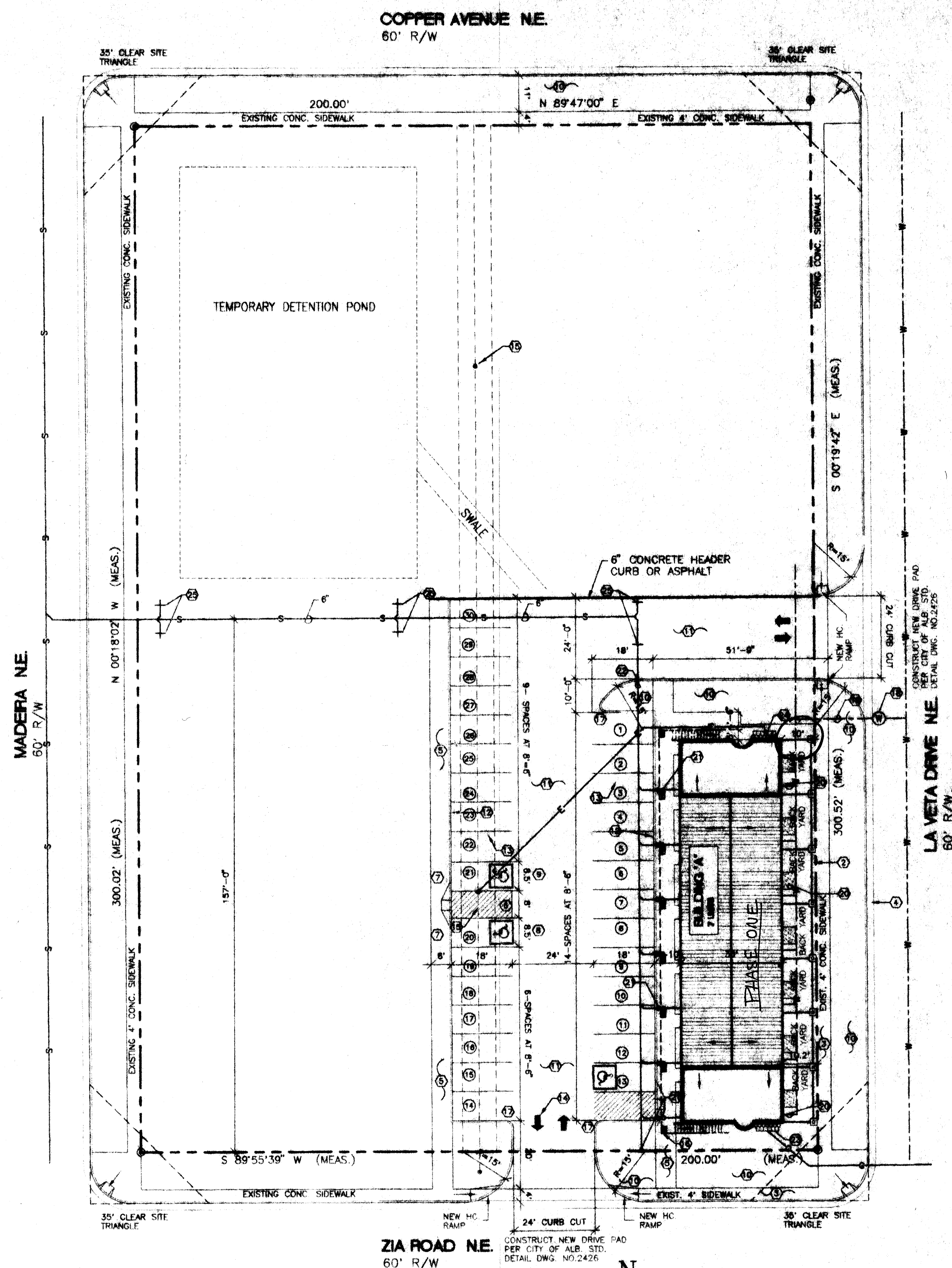
2
C1

TYPICAL
CONC. CURB DETAIL

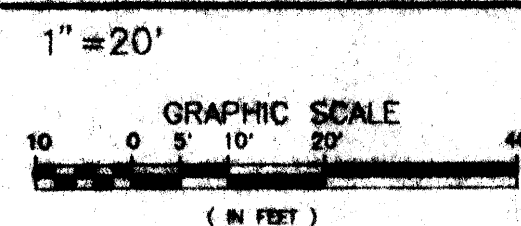
3/4" = 1'-0"



**ACCESSIBLE
PARKING SIGN**



SITE PLAN



LEGAL DESCRIPTION
LOT 24A,
BLOCK 21
TIJERAS PLACE ADDITION
ALBUQUERQUE, NEW MEXICO

UBC CODE DESIGN DATA

OCCUPANCY GROUP	= R-1, APARTMENT
TYPE OF CONSTRUCTION	= V-N
AREA OF BUILDING BLDG. "A" (W/ 7 UNITS)	= 3,376 S.F. (1ST), 2,093 S.F. (2ND) (858 EA. UNIT)
TOTAL HEATED AREA	= 6,088 S.F. (TOTAL 1ST AND 2ND FLOOR)
BUILDING FOOTPRINT AREA	= 3,376 S.F.

SEISMIC ZONE = 2B
SOIL BEARING CAPACITY = 1,500 PSI
CONCRETE STRENGTH = 3,000 PSI
STRESS VALUES = LUMBER: $F_b = 970$ MIN.
= STEEL: 80,000 PSI.
WIND DESIGN LOAD = SPEED = 75 MPH
ROOF DESIGN LOAD = 20 PSF LL, 15 PSF DL
FLOOR DESIGN LOAD = SLAB ON GRADE
CORRIDOR DESIGN LOAD = N/A

ZONING DESIGN DATA

MINIMUM REQUIREMENTS

ZONING	= R-1
LOT AREA	= 23,480 S.F., 1.38 AC.
BUILDING AREA	= 60,032 S.F. (B.L.D.G. FOOTPRINT)
NET LOT AREA	= 60,032 - 23,480 = 36,572 S.F.
LANDSCAPING REQUIRED	= 36,572 SF x 15% = 5,486 S.F.
LANDSCAPING PROVIDED	= 6,000 PLUS
<u>PARKING REQUIREMENTS</u>	
PARKING REQUIRED (1.5 PER UNIT)	= 75 UNITS x 1.5 = 112 SPACES
TOTAL PARKING PROVIDED	= 30 TOTAL SPACES.

GENERAL NOTES

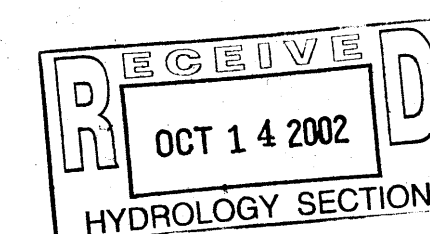
1. PRIME SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2 1/2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
2. LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. IRRIGATION: A. THE LANDSCAPE PLANTINGS SHOWN ON THIS PLAN SHALL BE IRRIGATED ON AUTOMATIC IRRIGATION SYSTEM. ALL LANDSCAPE PLANTINGS AND IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE OWNER AT NO COST TO THE CITY OF ALBUQUERQUE.
B. SHRUB PLANTINGS: DRIP IRRIGATION W/ 0- 1 GPM EMITTER PER TREE AND 2 EMITTERS PER SHRUB W/ AVS. PRESSURE REGULATOR, AND FILTER

KEYED NOTES

1. DUMPSTER LOCATION.
2. HIGH WOOD FENCE AT EACH BACKYARD AREA.
3. EXISTING 4' WIDE CONCRETE SIDEWALK.
4. EXISTING CONCRETE CURBS AND GUTTER.
5. 4' WIDE CONCRETE SIDEWALK.
6. HANDICAPPED ACCESSIBLE RAMP.
7. HANDICAPPED PARKING ONLY SIGNAGE.
8. HANDICAPPED PARKING SPACE.
9. HANDICAPPED PARKING SPACE TYPICAL.
10. LANDSCAPING AREA. SEE LANDSCAPE PLAN.
11. ASPHALT PAVING.
12. 4' CONCRETE CURB.
13. 4' CONCRETE STRIPES TYPICAL.
14. PAINTED DIRECTION ARROW.
15. EXISTING POWER POLE.
16. EDGE OF ASPHALT PAVING.
17. 2' RADIIUS (TYPICAL).
18. 1-1/2" WATER MAIN.
19. 2" WATER LINE.
20. 3/4" WATER LINE TO INDIVIDUAL APTS. (TYP.).
21. SLEAKOUT (TYP.)
22. 4' SEWER LINE.
23. GAS METERS.
24. ELECTRIC METERS.
25. TREE.

LEGEND

— W —	WATER LINE
— G —	GAS LINE
— S —	SEWER LINE
— E —	ELECTRIC LINE

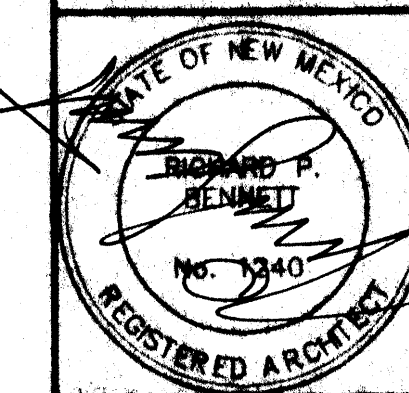


TRAFFIC CIRCULATION LAYOUT

APPROVED: J. Montano 9/3/99
SIGNED DATE

**MIHOON APARTMENTS
ALBUQUERQUE, NEW MEXICO
PROJECTS 58H**

REVISION DATE
9-3-99



 rick bennett
architect

11118 Park Avenue SW
Bellevue, New Mexico
87102
(505) 242-1859

DATE
8-2-99

SHEET NUMBER

C-1

TRUCK ROLLS
NEW BUILDING "A"

COPPER AVENUE N.E.
60' R/W

TRUCK ROLLS
NEW BUILDING "A"

UBC CODE DESIGN DATA

OCCUPANCY GROUP	= R-1, APARTMENT (7 NEW UNITS)
TYPE OF CONSTRUCTION	= V-N
AREA OF BUILDING	= 3,374 S.F. (1ST), 2,638 S.F. (2ND)
EXISTING BUILDING "A" (PHASE ONE)	7 EXISTING UNITS
NEW BUILDING "B" (PHASE TWO)	7 NEW UNITS
NEW BUILDING "B" HEATED AREA	= 482 S.F. EA. (1ST), 377 S.F. (2ND)
TOTAL BUILDING "B" HEATED AREA	= 8,613 S.F. (TOTAL 1ST AND 2ND FLOOR)
BUILDING FOOTPRINT AREA	= 3,374 S.F.
COVERED AREA	= 711 S.F. (1ST), 711 (2ND), 1,422 S.F. TOTAL

SEISMIC ZONE	= 2B
SOIL BEARING CAPACITY	= 1,500 PSI
CONCRETE STRENGTH	= 3,000 PSI
STRESS VALUES	= LUMBER: Fb = 970 MIN. = STEEL: 50,000 PSI.
WIND DESIGN LOAD	= SPEED = 75 MPH
ROOF DESIGN LOAD	= 20 PSF LL, 15 PSF DL
FLOOR DESIGN LOAD	= SLAB ON GRADE
CORRIDOR DESIGN LOAD	= N/A

ZONING DESIGN DATA

ZONING	= R-1
LOT AREA	= 60,032 SF, 1.38 AC.
BUILDING AREA	= 23,460 S.F. (BLDG. FOOTPRINT)
NET LOT AREA	= 60,032 - 23,460 = 36,572 SF.
LANDSCAPING REQUIRED	= 36,572 SF x 15% = 5,486 S.F.
LANDSCAPING PROVIDED	= 6,000 PLUS
PARKING REQUIREMENTS	
PARKING REQUIRED (1.5 PER UNIT)	= 14 UNITS x 1.5 = 21 SPACES
HC PARKING REQUIRED (51-100 = 4)	= 4 HC PARKING SPACES REQUIRED
REGULAR PARKING PROVIDED	= 66 TOTAL SPACES.
TOTAL HC PARKING PROVIDED	= 4 TOTAL SPACES.
TOTAL PARKING PROVIDED	= 70 TOTAL SPACES.
TOTAL BIKE SPACES REQUIRED	= 70/20 = 3 BIKE SPACES REQUIRED
TOTAL BIKE SPACES PROVIDED	= 3 BIKE SPACES REQUIRED

GENERAL NOTES

- PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
- LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 201 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- IRRIGATION: SEE LANDSCAPE PLAN.
- PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.

NOTE:

* CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TOL) BEFORE C.O. IS RELEASED.

* INSPECTION OF CONSTRUCTION FOR C.O. BY TRANSPORTATION WILL BE DONE FROM THIS SHEET.

* PATCH AND REPAIR CURBS AND SIDEWALKS AS REQUIRED

CONTRACTORS NOTE:

* ANY AGREEMENT WITH THE OWNER, STATING THAT ANY PORTIONS OF PERMIT CONSTRUCTION, CHOSEN TO BE COMPLETED BY THE OWNER, OR HIS SELECTED REPRESENTATIVE, OTHER THAN THAT CONTRACTOR, WILL MOST LIKELY RESULT IN DELAY. IN THIS CASE, CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.

KEYED NOTES

- DUMPSTER ENCLOSURE LOCATION
- 6" HIGH WOOD FENCE AT EACH BACKYARD AREA.
- EXISTING 4" WIDE CONCRETE SIDEWALK.
- EXISTING CONCRETE CURB AND GUTTER.
- 6" WIDE CONCRETE SIDEWALK.
- HANDICAPPED STRIPE RAMP.
- HANDICAPPED PARKING ONLY SIGNAGE.
- HANDICAPPED VAN PARKING SPACE.
- HANDICAPPED PARKING SPACE TYPICAL.
- LANDSCAPING AREA, SEE LANDSCAPE PLAN.
- ASPHALT PAVING.
- 6" CONCRETE CURB.
- PAINTED PARKING STRIPES TYPICAL.
- PAINTED DIRECTION ARROW.
- EXISTING POWER POLE.
- EDGE OF ASPHALT PAVING.
- 2" RADIUS (TYPICAL).
- 1-1/2" WATER MAIN.
- 2" WATER LINE.
- 3/4" WATER LINE TO INDIVIDUAL APTS. (TYP.).
- CLEANOUT (TYP.).
- 4" SEWER LINE.
- GAS METERS.
- ELECTRIC METERS.
- 6" TEE.
- 3- SPACE BIKE RAKE SEE DETAIL.
- EDGE OF ASPHALT PAVING.

LEGEND

---	W	WATER LINE
---	G	GAS LINE
---	S	SEWER LINE
---	E	ELECTRIC LINE

EXISTING FH.
200' FROM
FURTHEST POINT
OF BUILDING AS
TRUCK ROLLS
EXIST. BUILDING "A"

BUILDING & SAFETY
SEP 08 2002
U.B.C.
PLANNING
DESIGN

MHOON APARTMENTS - PHASE TWO
ALBUQUERQUE, NEW MEXICO
PROJECT # 9901

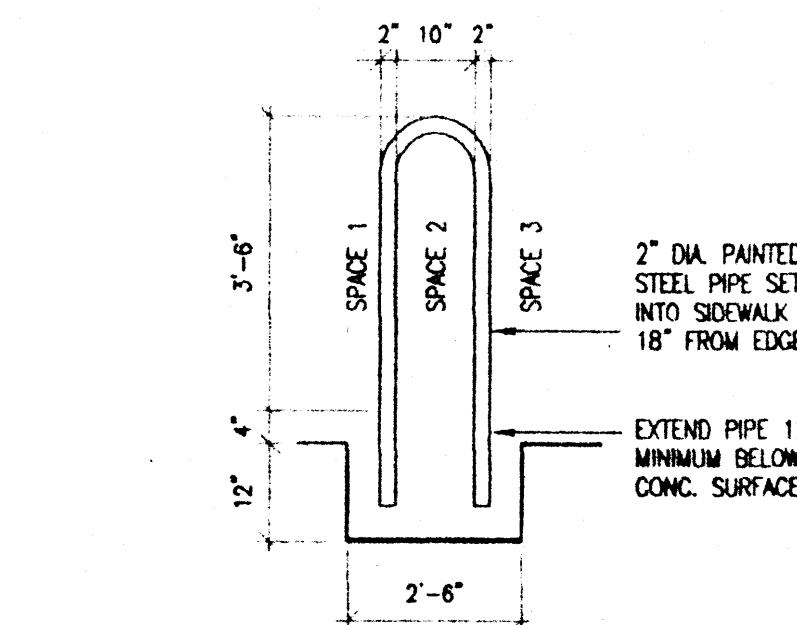
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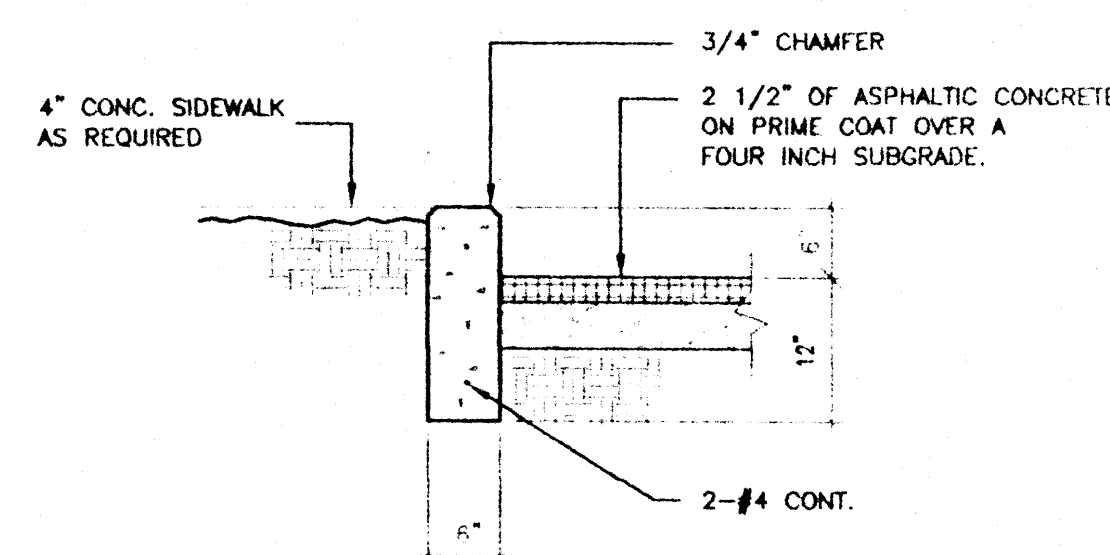
rick bennett
architect
1118 Park Avenue SW
Albuquerque, New Mexico
(505) 242-1859

DATE
7-27-99

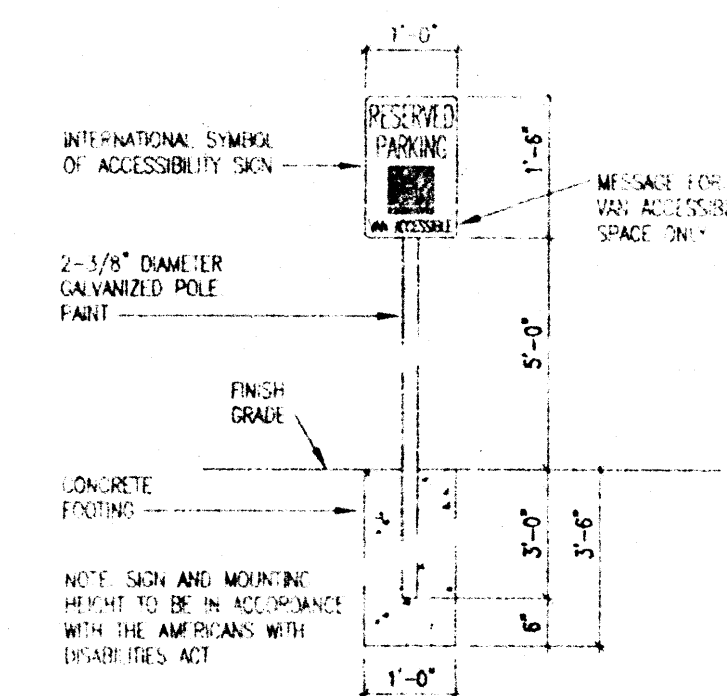
SHEET NUMBER
C-1



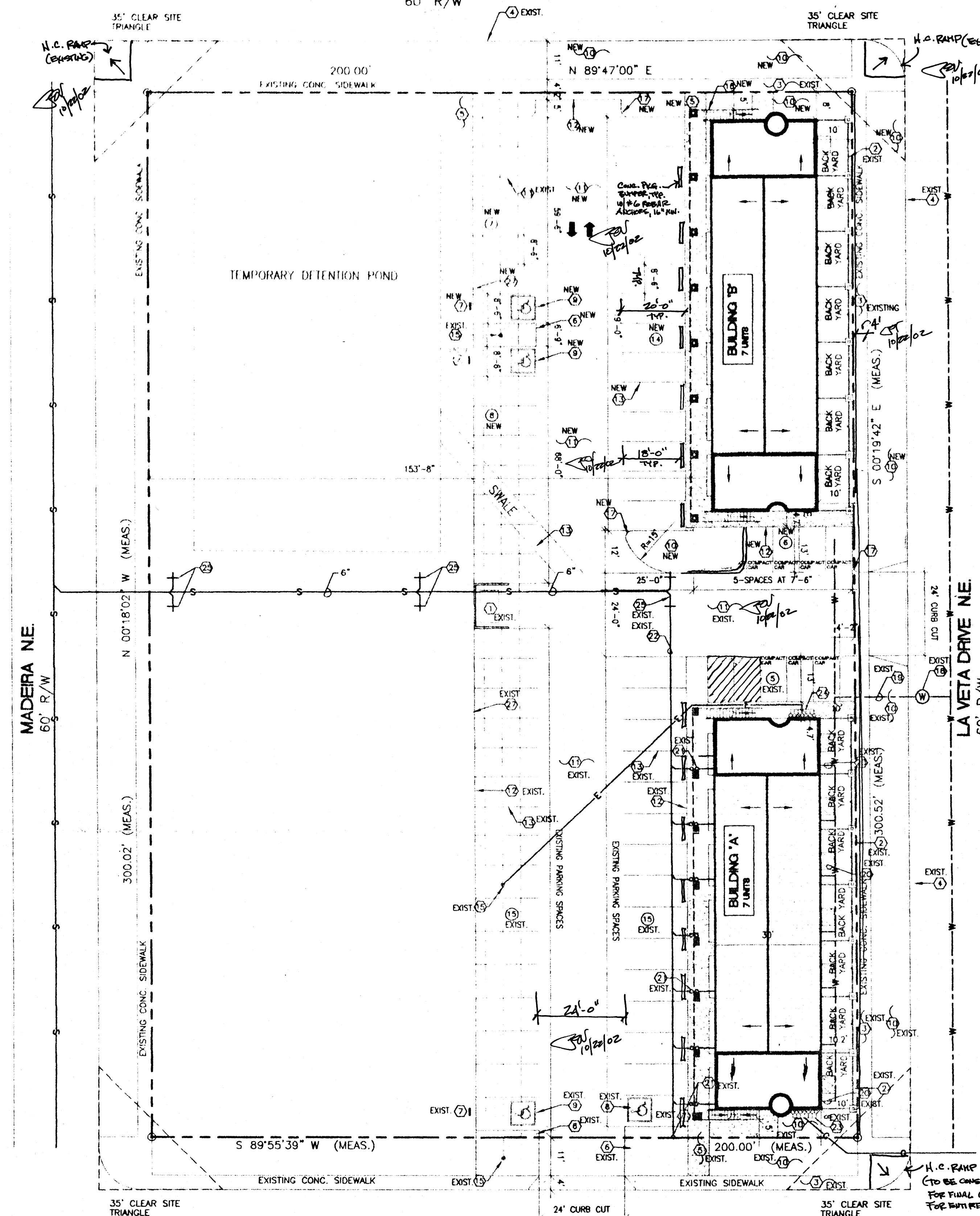
3 BIKE RACK DETAIL
3/4"=1'-0"



2 TYPICAL CONC. CURB DETAIL
3/4"=1'-0"



1 ACCESSIBLE PARKING SIGN
1/2"=1'-0"

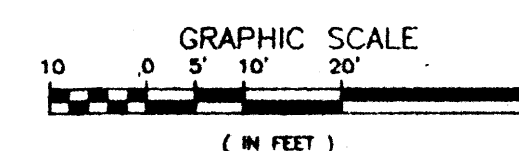


ZIA ROAD N.E.
60' R/W



SITE PLAN

1"=20'



LEGAL DESCRIPTION

LOT 24A,
BLOCK 21
TIERAS PLACE ADDITION
ALBUQUERQUE, NEW MEXICO

TRAFFIC CIRCULATION LAYOUT
APPROVED

[Signature]
Date 9/22/02

- 1: ADD 5200 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
- 2: CONTOUR INTERVAL IS 1/2 (0.50) FOOT.
- 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5251.25 FEET ABOVE SEA LEVEL.
- 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.

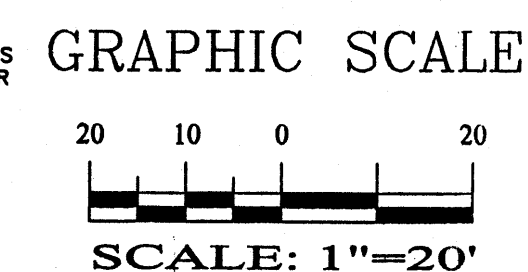
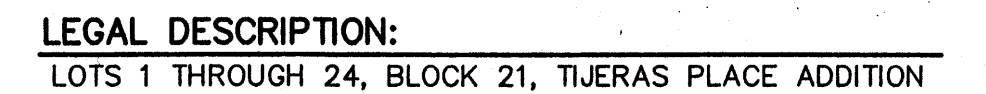
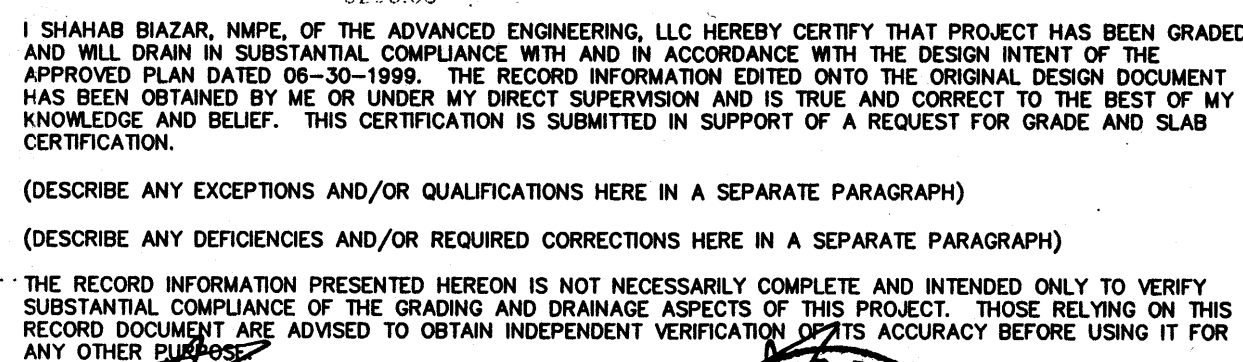
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2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

1. MATCH GRADE AT THE EXISTING FLOW LINE
2. MATCH EXISTING GRADE AT THE PROPERTY LINE
3. 2' CURB OPENING FOR DRAINAGE
4. 3' CURB OPENING FOR DRAINAGE
5. 1' CURB OPENING FOR DRAINAGE
6. INSTALL LANDSCAPING TIMBER OR HEADER WALL
(AS REQUIRED TO KEEP THE RUNOFF AWAY FROM
THE PROPERTY LINE, SEE CROSS-SECTIONS A, B,
& C FOR TYPICAL DETAIL)
7. 4-8" PVC PIPES - SEE THIS SHEET FOR DETAIL
8. 4-8" PVC PIPES - SEE THIS SHEET FOR DETAIL

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
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5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

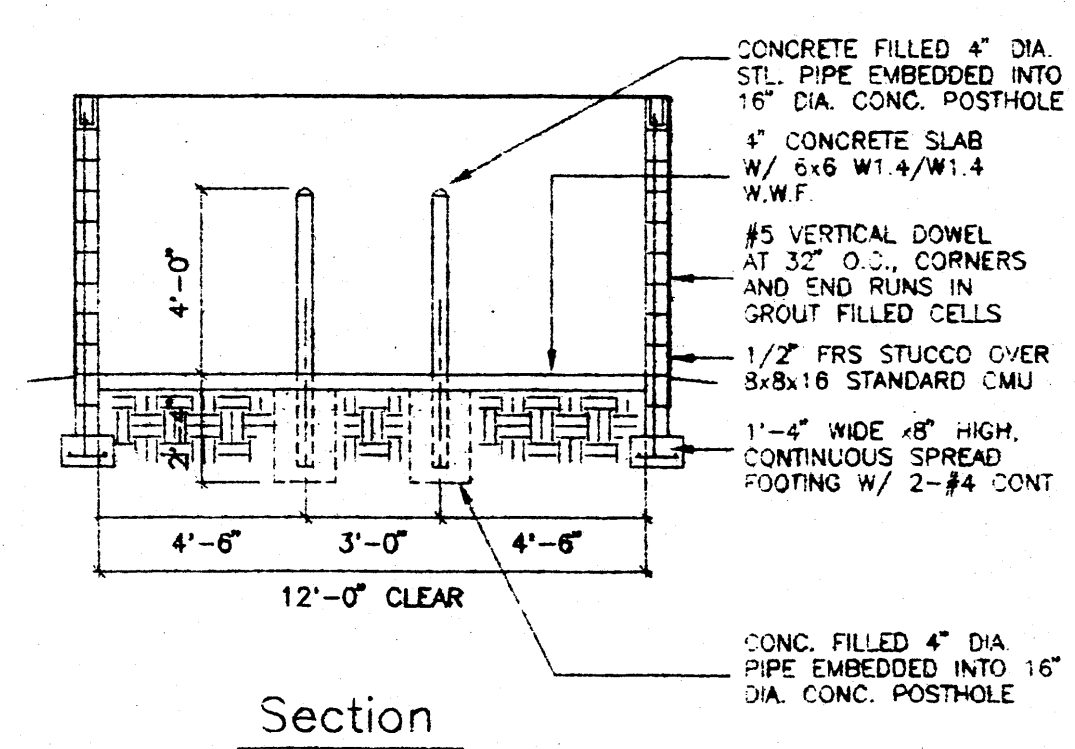
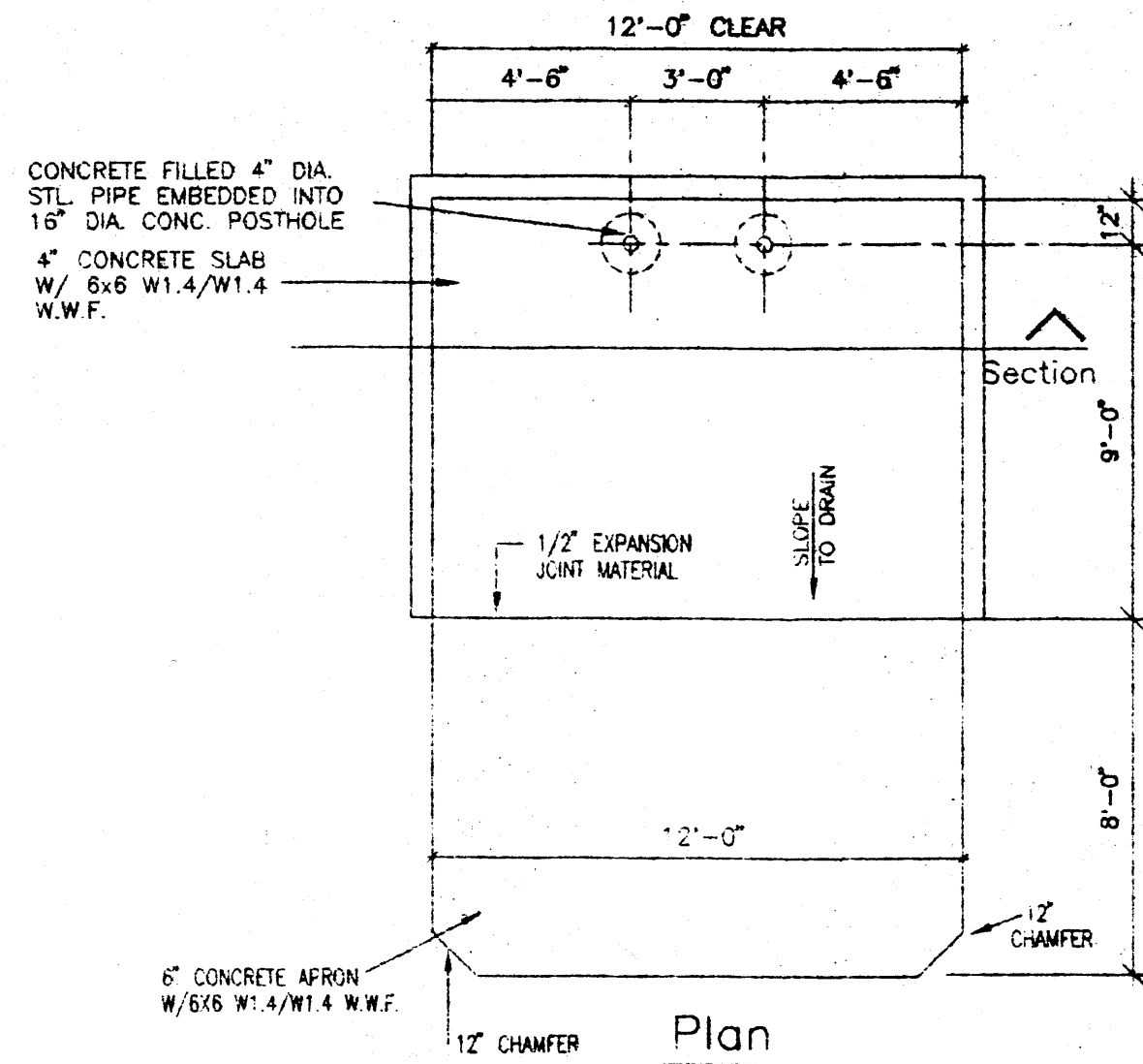
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70.55



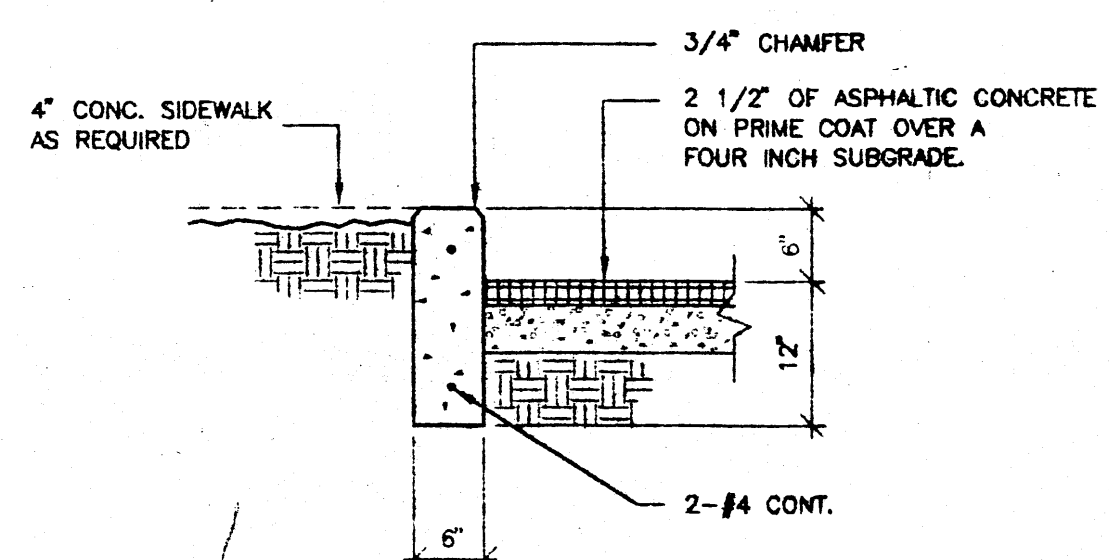
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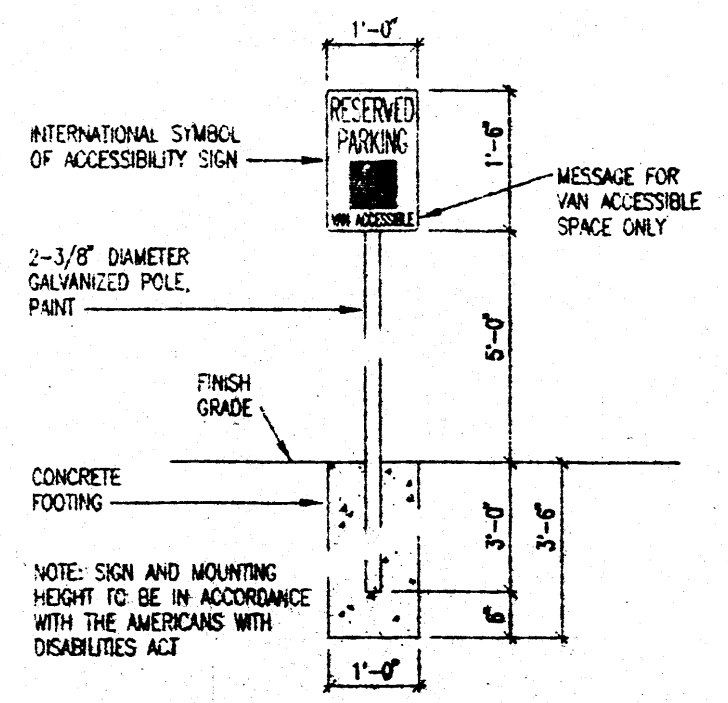
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1 TYPICAL SLAB - DUMPSTER
C1 1/4" = 1'-0"

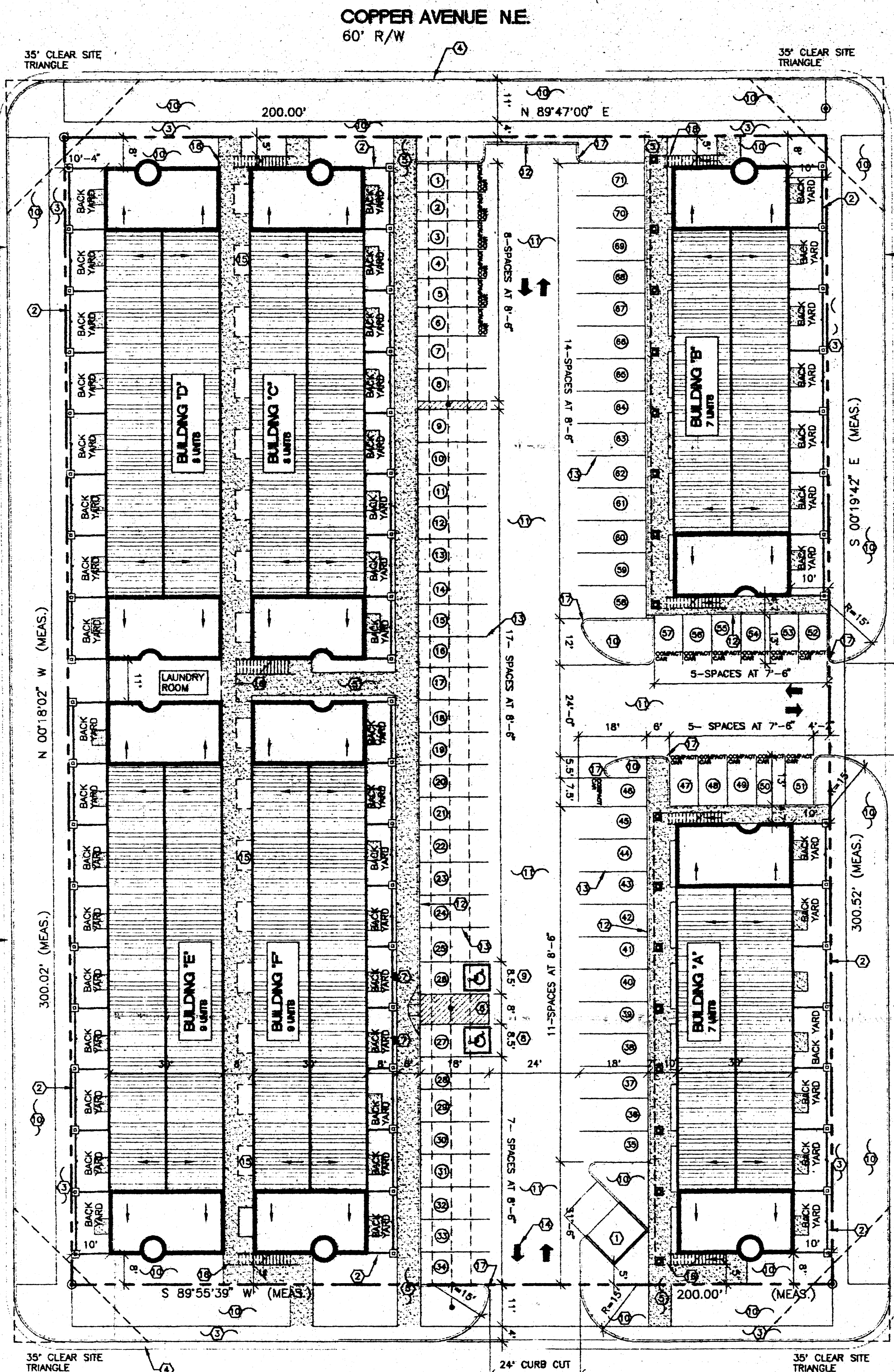


2 TYPICAL CONC. CURB DETAIL
C1 3/4" = 1'-0"



3 ACCESSIBLE PARKING SIGN
C1 1/2" = 1'-0"

MADERA NE.
60' R/W

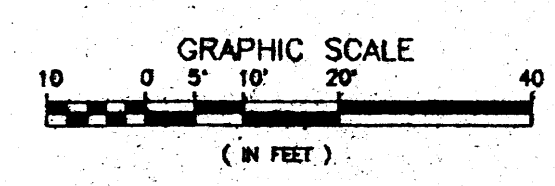


ZIA ROAD NE.
60' R/W



SITE PLAN

1" = 20'



LEGAL DESCRIPTION
LOTS 1 - 24, INCLUSIVE
BLOCK 21
TIERRA PLAZA ADDITION
ALBUQUERQUE, NEW MEXICO

UBC CODE DESIGN DATA

OCCUPANCY GROUP	= R-1, APARTMENT
TYPE OF CONSTRUCTION	= V-N
AREA OF BUILDING	
BLDG. "A" (W/ 7 UNITS)	= 3,375 S.F. (1ST), 2,639 S.F. (2ND) (859 EA. UNIT)
BLDG. "B" (W/ 7 UNITS)	= 3,375 S.F. (1ST), 2,639 S.F. (2ND) (859 EA. UNIT)
BLDG. "C" (W/ 8 UNITS)	= 3,855 S.F. (1ST), 3,016 S.F. (2ND) (859 EA. UNIT)
BLDG. "D" (W/ 8 UNITS)	= 3,855 S.F. (1ST), 3,016 S.F. (2ND) (859 EA. UNIT)
BLDG. "E" (W/ 8 UNITS)	= 4,335 S.F. (1ST), 3,393 S.F. (2ND) (859 EA. UNIT)
BLDG. "F" (W/ 8 UNITS)	= 4,335 S.F. (1ST), 3,393 S.F. (2ND) (859 EA. UNIT)
TOTAL HEATED AREA	= 41,228 S.F. (TOTAL 1ST AND 2ND FLOOR)
LAUNDRY AREA	= 300 S.F.
BUILDING FOOTPRINT AREA	= 23,480 S.F. (1ST AND LAUNDRY AREA)
SEISMIC ZONE	= 2B
SOIL BEARING CAPACITY	= 1,500 PSI
CONCRETE STRENGTH	= 3,000 PSI
STRESS VALUES	= LUMBER: F _b = 970 MIN. = STEEL: 50,000 PSI
WIND DESIGN LOAD	= SPEED = 75 MPH
ROOF DESIGN LOAD	= 20 PSF LL, 15 PSF DL
FLOOR DESIGN LOAD	= SLAB ON GRADE
CORRIDOR DESIGN LOAD	= N/A

ZONING DESIGN DATA

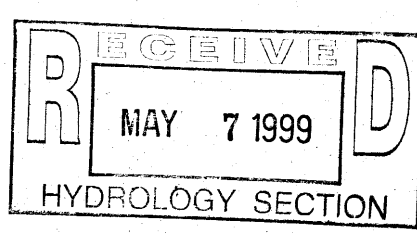
ZONING	= R-1
LOT AREA	= 60,032 SF., 1.38 AC.
BUILDING AREA	= 23,480 S.F. (BLDG. FOOTPRINT)
NET LOT AREA	= 60,032 - 23,480 = 36,552 SF.
LANDSCAPING REQUIRED	= 36,552 SF x 15% = 5,488 S.F.
LANDSCAPING PROVIDED	= 6,000 PLUS
PARKING REQUIREMENTS	
PARKING REQUIRED (1.5 PER UNIT)	= 48 UNITS x 1.5 = 72 SPACES
TOTAL PARKING PROVIDED	= 71 TOTAL SPACES.

GENERAL NOTES

- PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2 1/2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
- LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- IRRIGATION: A. THE LANDSCAPE PLANTINGS SHOWN ON THIS PLAN SHALL BE IRRIGATED ON AUTOMATIC IRRIGATION SYSTEM. ALL LANDSCAPE PLANTINGS AND IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE OWNER AT NO COST TO THE CITY OF ALBUQUERQUE.
B. SHRUB PLANTING: DE-10 IRRIGATION W/ 6-1 GPM EMITTER PER TREE AND 2 EMITTERS PER SHRUB W/ AVB, PRESSURE REGULATOR, AND FITTER.

KEYED NOTES

- DUMPSTER LOCATION.
- 6" HIGH WOOD FENCE AT EACH BACKYARD AREA.
- EXISTING 4" WIDE CONCRETE SIDEWALK.
- EXISTING CONCRETE CURB AND GUTTER.
- 6" WIDE CONCRETE SIDEWALK.
- HANDICAPPED ACCESSIBLE RAMP.
- HANDICAPPED PARKING ONLY SIGNAGE.
- HANDICAPPED VAN PARKING SPACE.
- HANDICAPPED PARKING SPACE TYPICAL.
- LANDSCAPING AREA, SEE LANDSCAPE PLAN.
- ASPHALT PAVING.
- 6" CONCRETE CURB.
- PAINTED PARKING STRIPE, TYPICAL.
- PAINTED DIRECTION ARROW.
- OPEN TO BELOW, TYPICAL.
- WALKWAY AT 2ND FLOOR OF APARTMENTS.
- 2' RADIUS, (TYPICAL).



MOON APARTMENTS
SITE PLAN FOR ZONE VARIANCE
ALBUQUERQUE, NEW MEXICO
PROJECT # 9911

REVISION DATE
rick bennett architect 1118 Park Avenue SW Albuquerque, New Mexico 87102 (505) 242-1859
DATE 3-24-99
SHEET NUMBER C-1

GENERAL NOTES:

1. ADD 5200 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS 1/2 (0.50) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5251.25 FEET ABOVE SEA LEVEL.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

NOTES:

1. MATCH GRADE AT THE EXISTING FLOW LINE
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7. 3-4" PVC PIPES - SEE THIS SHEET FOR DETAIL
8. 4-8" PVC PIPES - SEE THIS SHEET FOR DETAIL

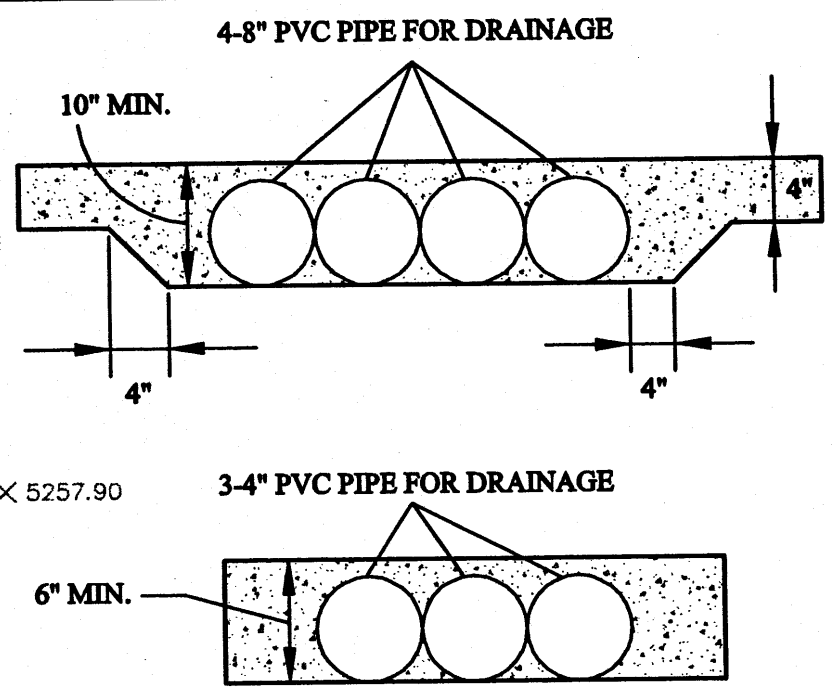
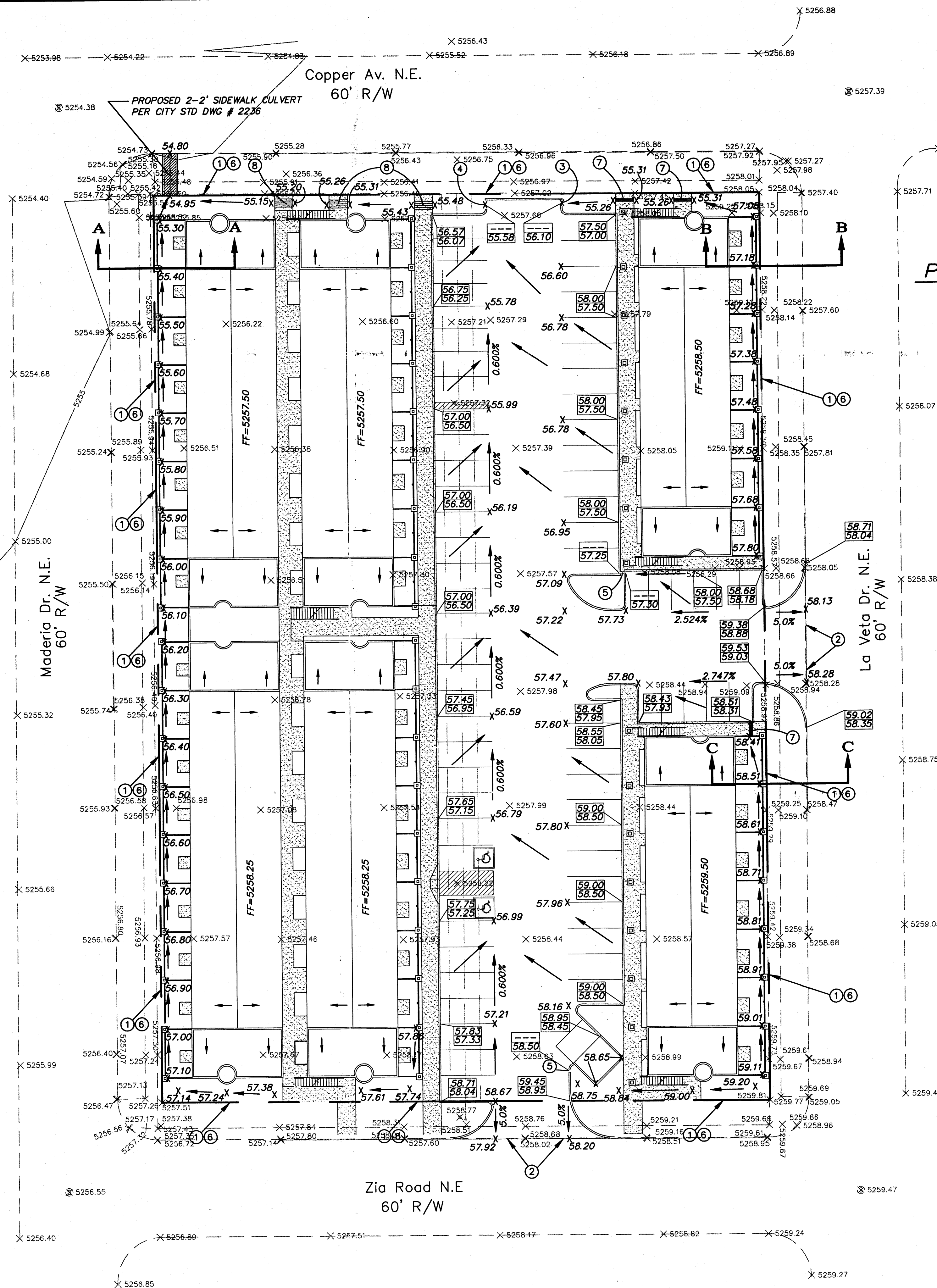
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5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

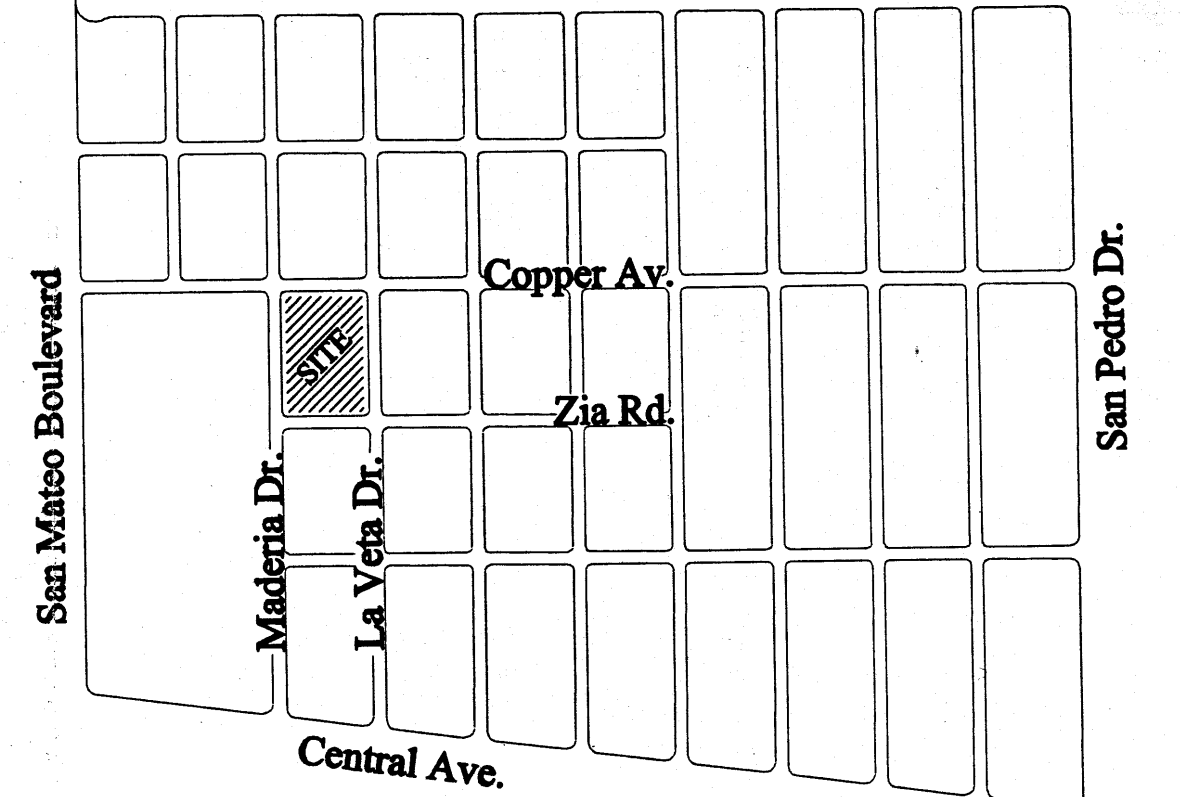
APPROVALS	NAME	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		
ROUGH GRADING		

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE



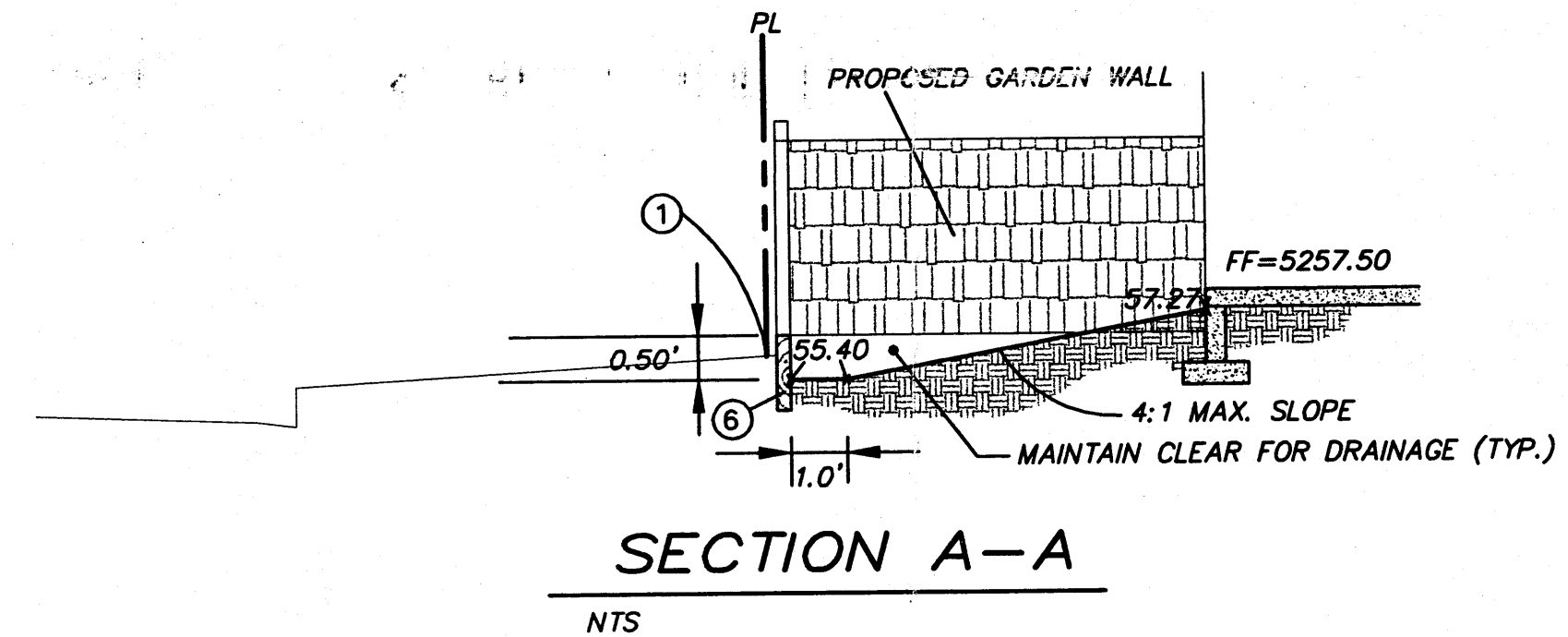
PIPE CROSSING DETAILS



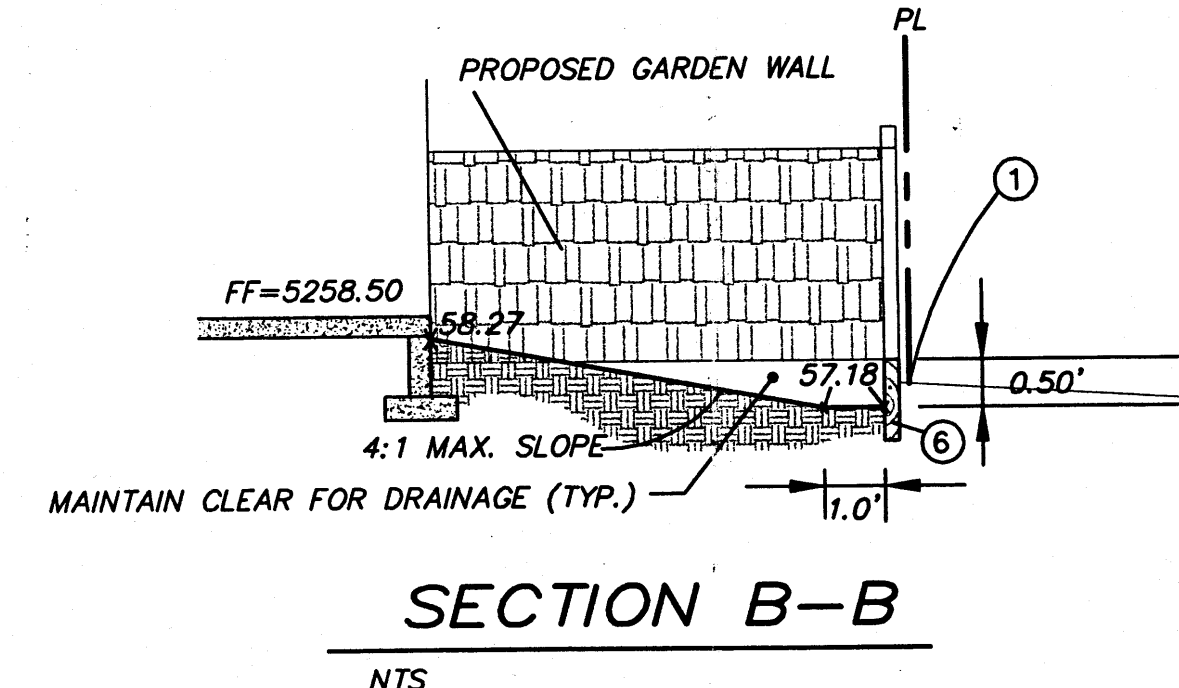
LEGAL DESCRIPTION:

LOTS 1 THROUGH 24, BLOCK 21, TIJERAS PLACE ADDITION

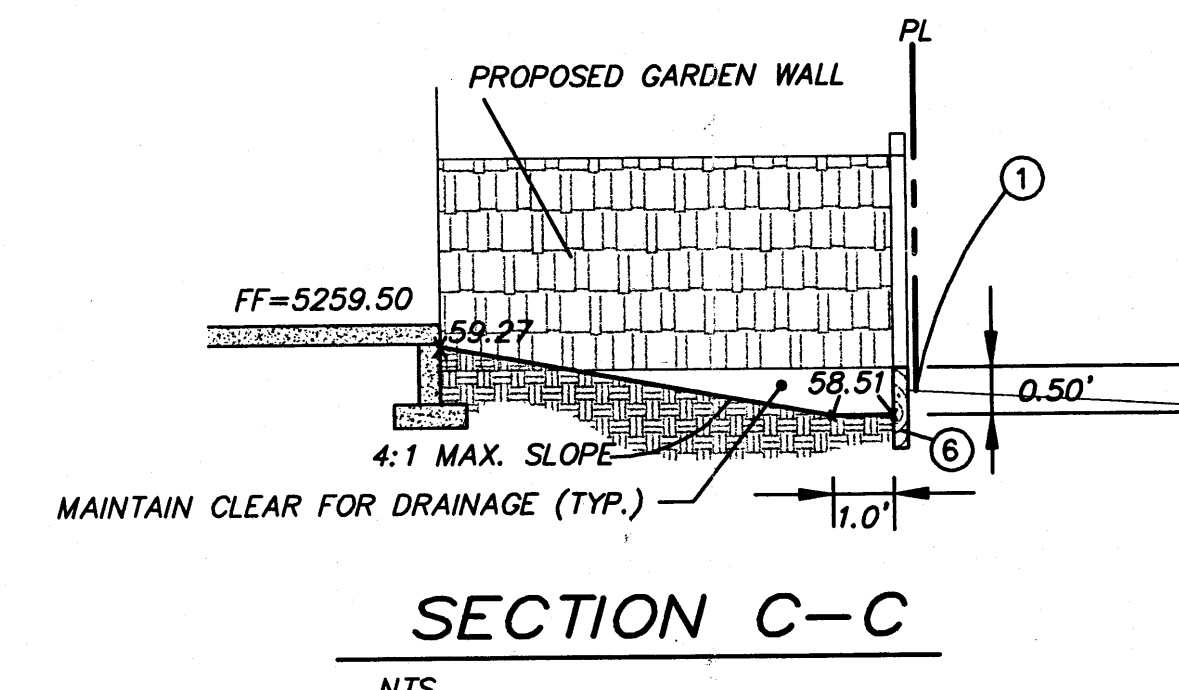
SECTION A-A



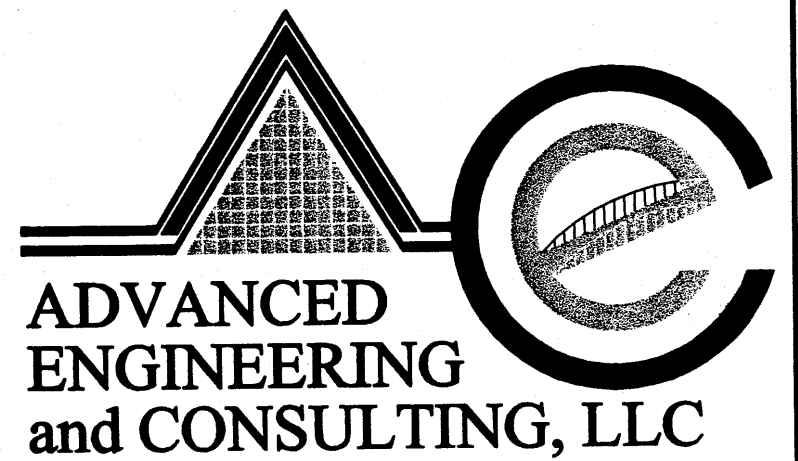
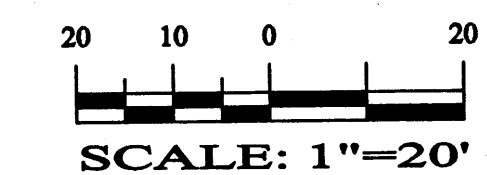
SECTION B-B



SECTION C-C



GRAPHIC SCALE



**ADVANCED
ENGINEERING
and CONSULTING, LLC**

SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505) 899-5570

MHOON APARTMENTS GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
9920-GRD.DWG	SBB	05-04-99	1 OF 1

LAST REVISION: 05-04-99

- GENERAL NOTES:
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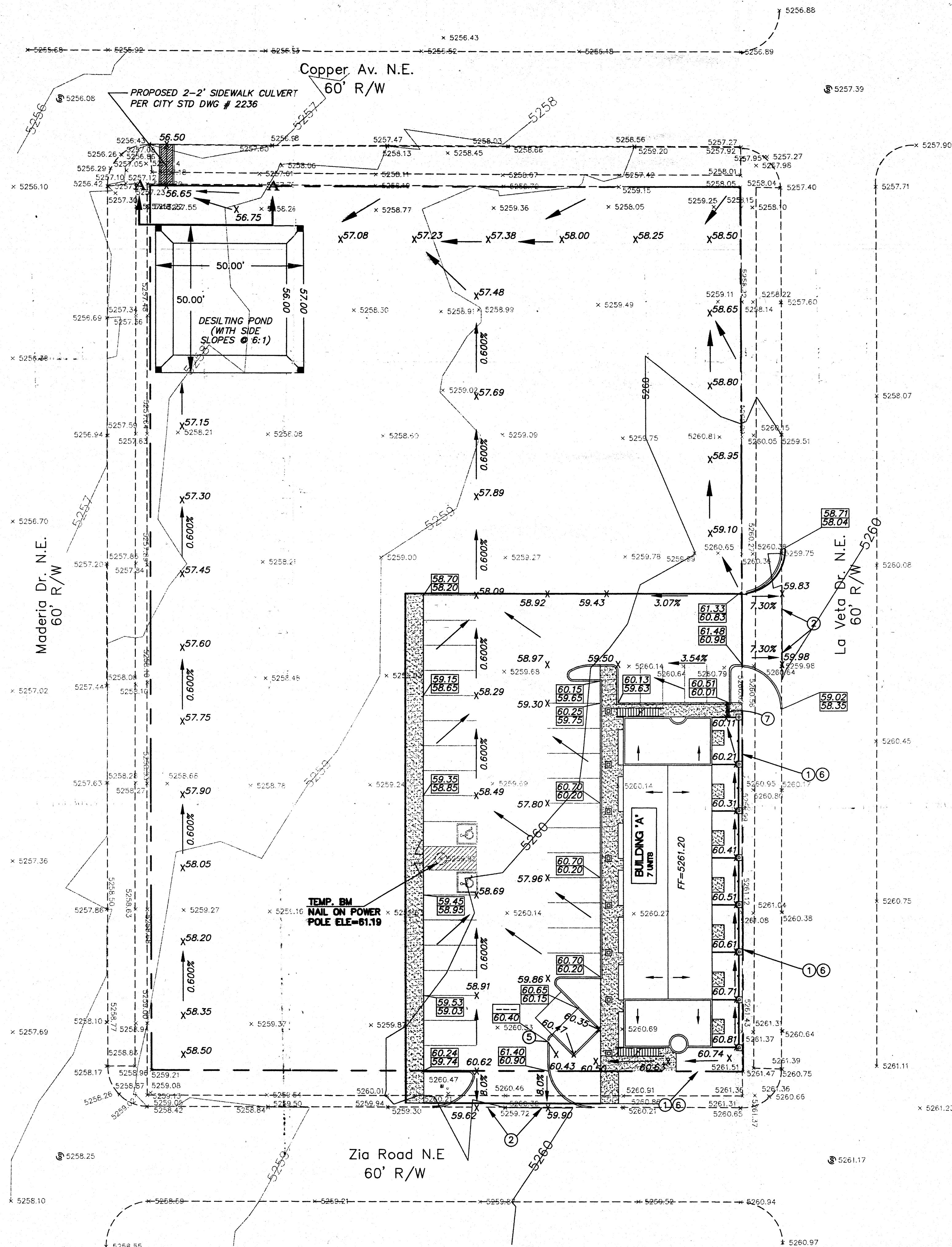
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APPROVALS	NAME	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		
ROUGH GRADING		

LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE
	EXISTING POWER LINES
	EXISTING FENCE

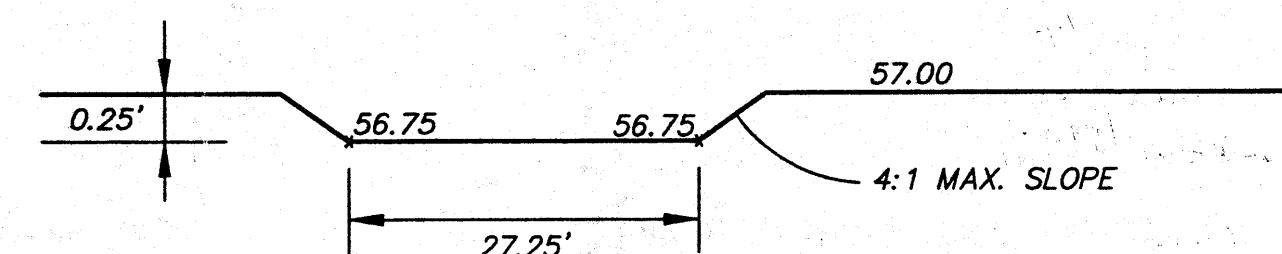


VICINITY MAP:

K-18-Z

LEGAL DESCRIPTION:

LOTS 1 THROUGH 24, BLOCK 21, TIJERAS PLACE ADDITION



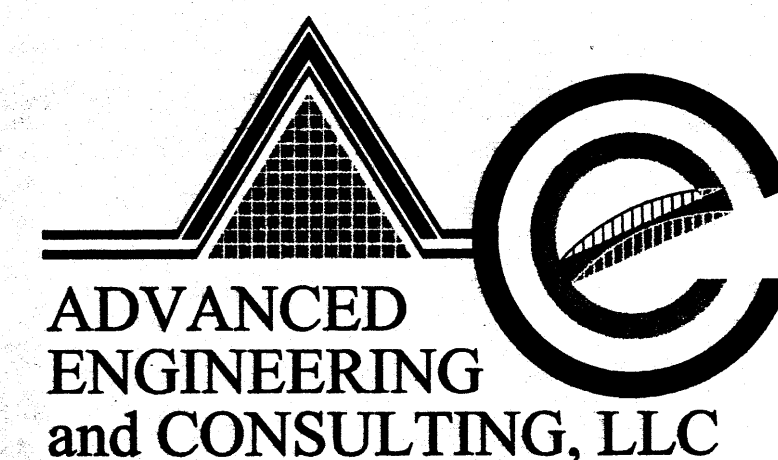
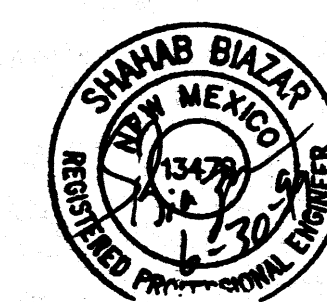
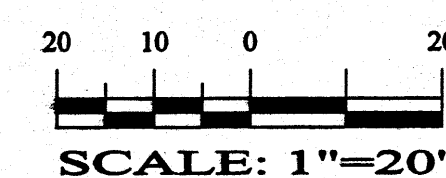
SECTION A-A

NTS (DESILTING SPILLWAY DETAIL)

DESILTING SPILLWAY CALCULATIONS

$$\begin{aligned} Q &= CLH^{3/2} \\ L &= Q / (CH^{3/2}) \\ L &= 6.61 / (1.95 * 0.25^{3/2}) \\ L &= 27.12' \\ \text{USE } L &= 27.25' \end{aligned}$$

GRAPHIC SCALE



ADVANCED
ENGINEERING
and CONSULTING, LLC

SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

MHOON APARTMENTS (PHASE I)
GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
9920-GR-PH1.DWG	SBB	06-15-99	2 OF 2

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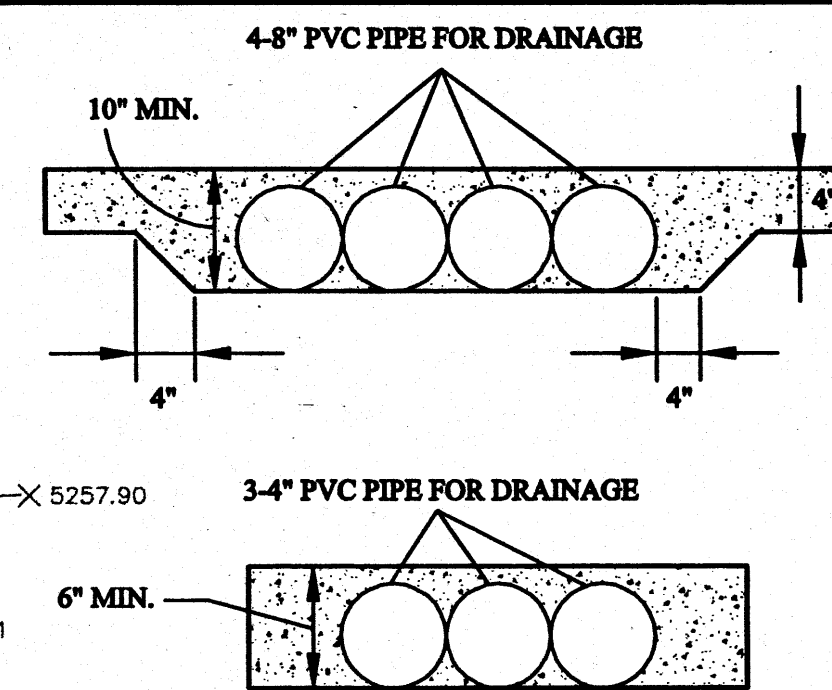
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(AS REQUIRED TO KEEP THE RUNOFF AWAY FROM
THE PROPERTY LINE, SEE CROSS-SECTIONS A, B,
& C FOR TYPICAL DETAIL)
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8. 4-8" PVC PIPES - SEE THIS SHEET FOR DETAIL

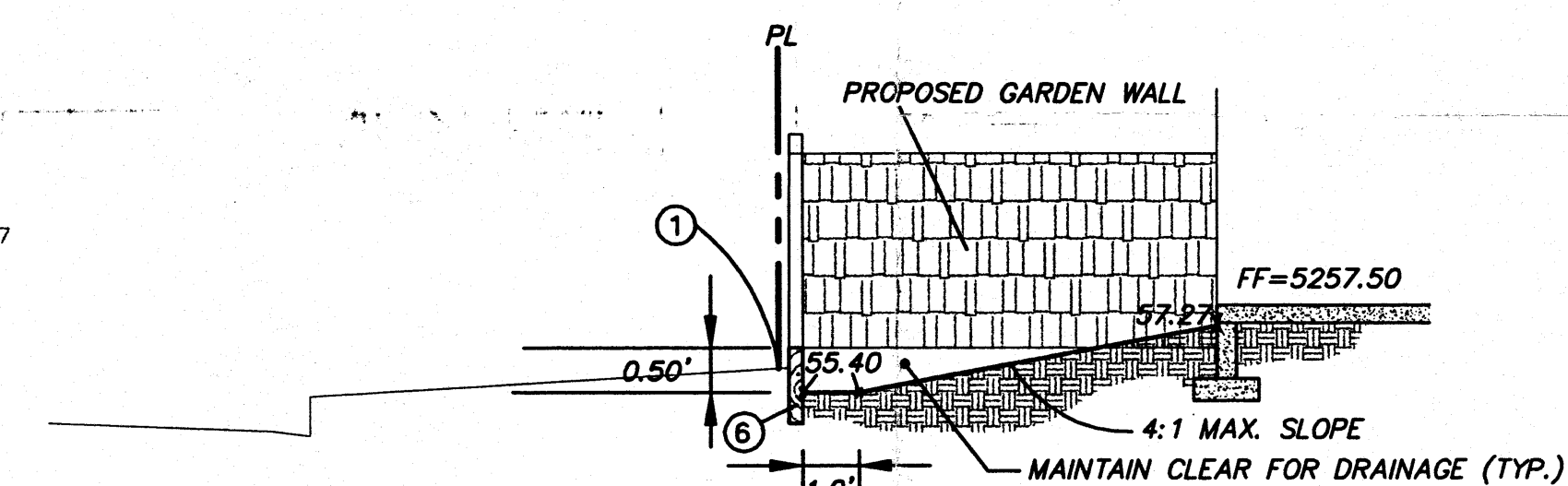
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LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
--- EX. 8" SAS ---	EXISTING SANITARY SEWER LINE
--- EX. 16" WL ---	EXISTING WATER LINE
--- EX. 36" WL ---	EXISTING CURB & GUTTER
--- 5005 ---	EXISTING CONTOUR (MAJOR)
--- 5004 ---	EXISTING CONTOUR (MINOR)
=====	BOUNDARY LINE
----	EASEMENT
=====	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
TC <u>60.86</u> FL <u>60.36</u>	PROPOSED GRADE
x 70.28	PROPOSED SPOT ELEVATION
x 4960.25	EXISTING GRADE
	EXISTING POWER LINES
	EXISTING FENCE

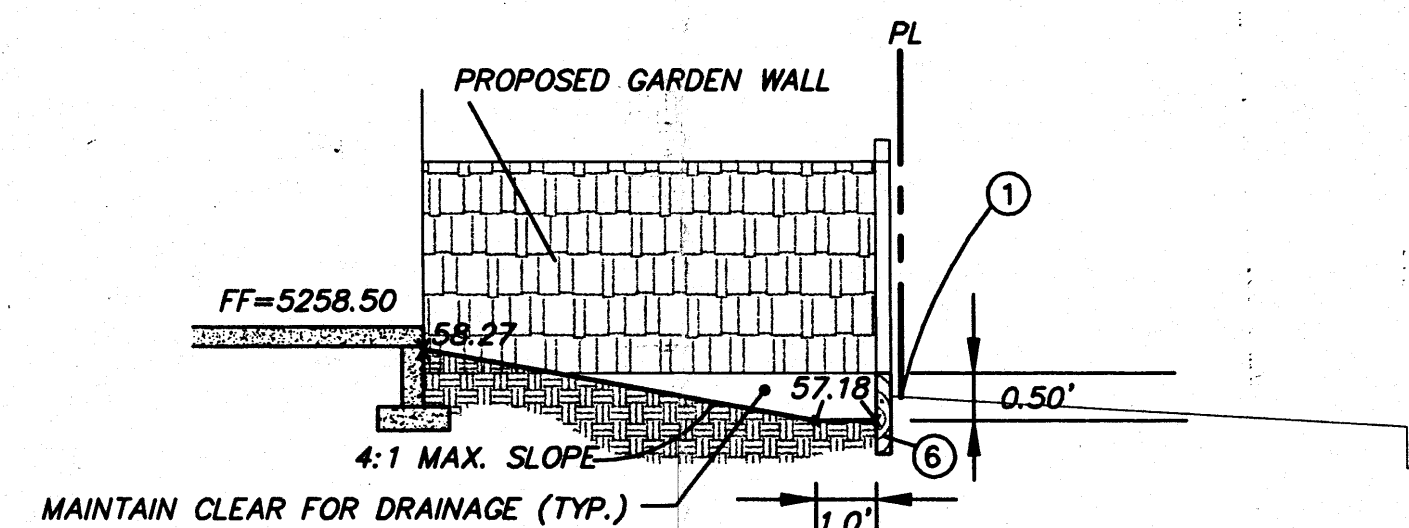


PIPE CROSSING DETAILS



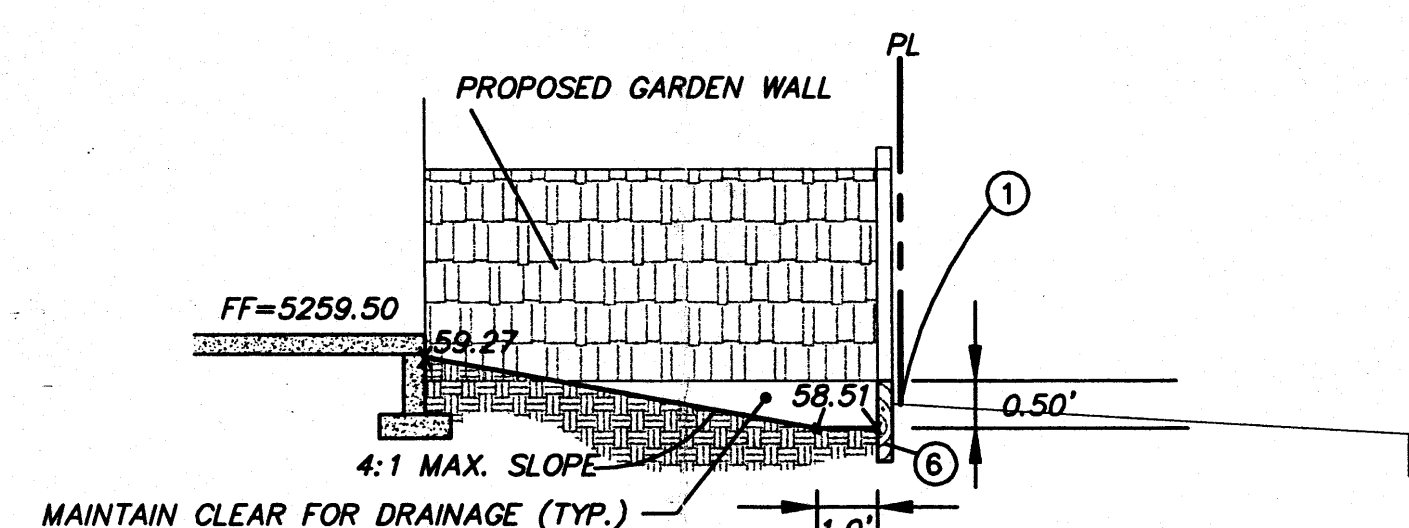
SECTION A-A

NTS



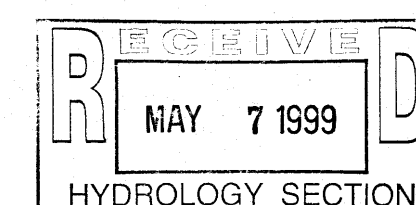
SECTION B-B

NTS

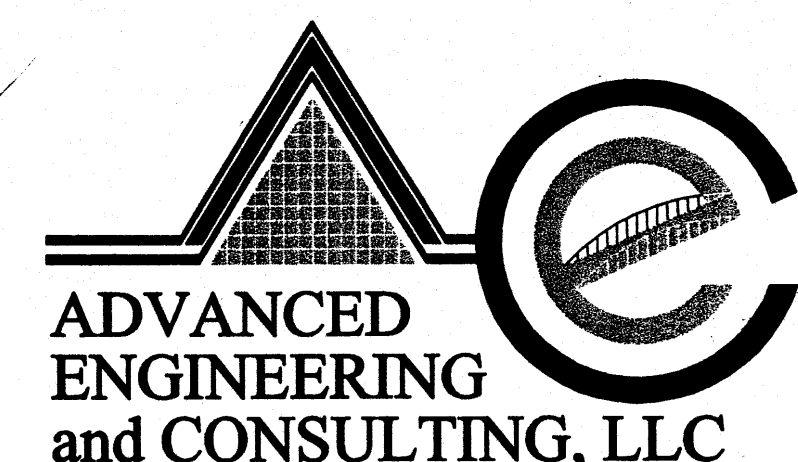
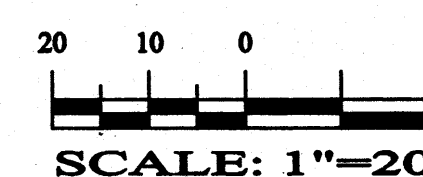


SECTION C-C

NTS



GRAPHIC SCALE



SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

MHOON APARTMENTS GRADING AND DRAINAGE PLAN

DRAWING: 9920-GRD.DWG	DRAWN BY: SBB	DATE: 05-04-99	SHEET # 1 OF 1
---------------------------------	-------------------------	--------------------------	--------------------------

1 OF 1

GENERAL NOTES:
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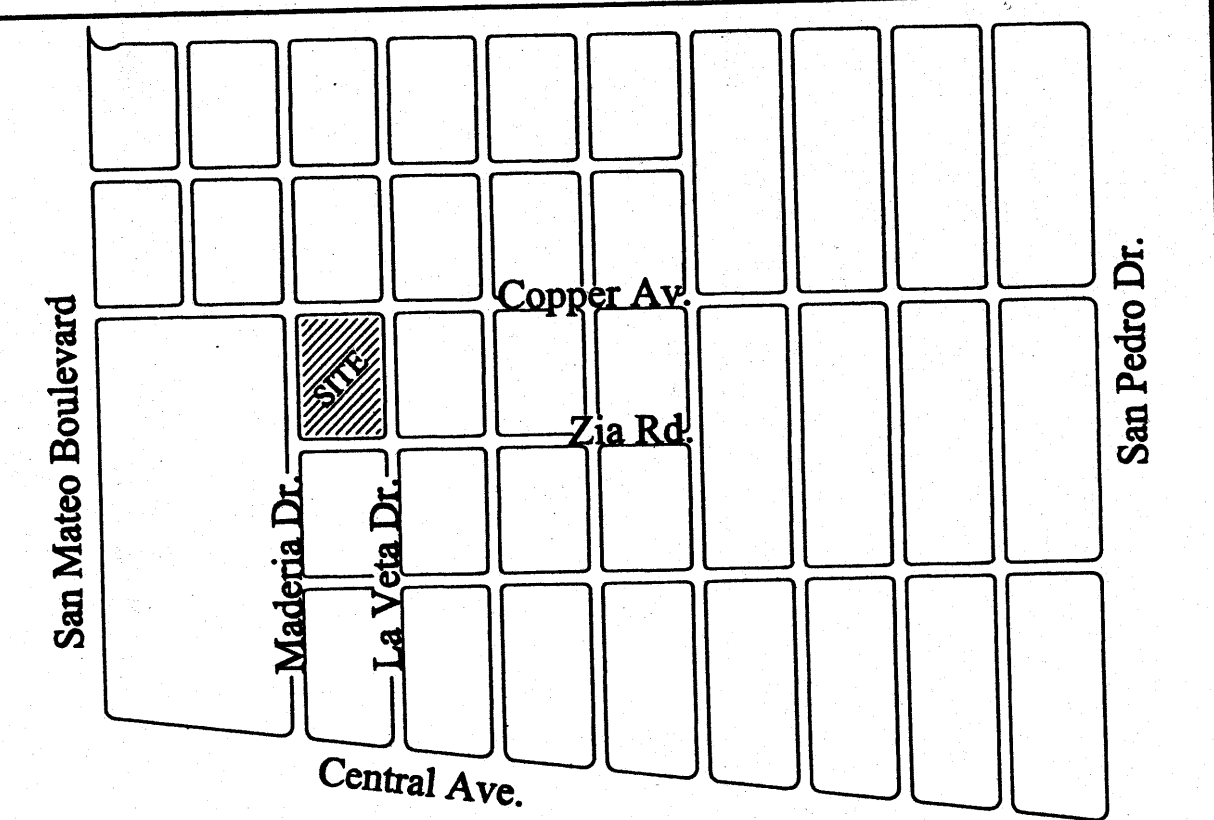
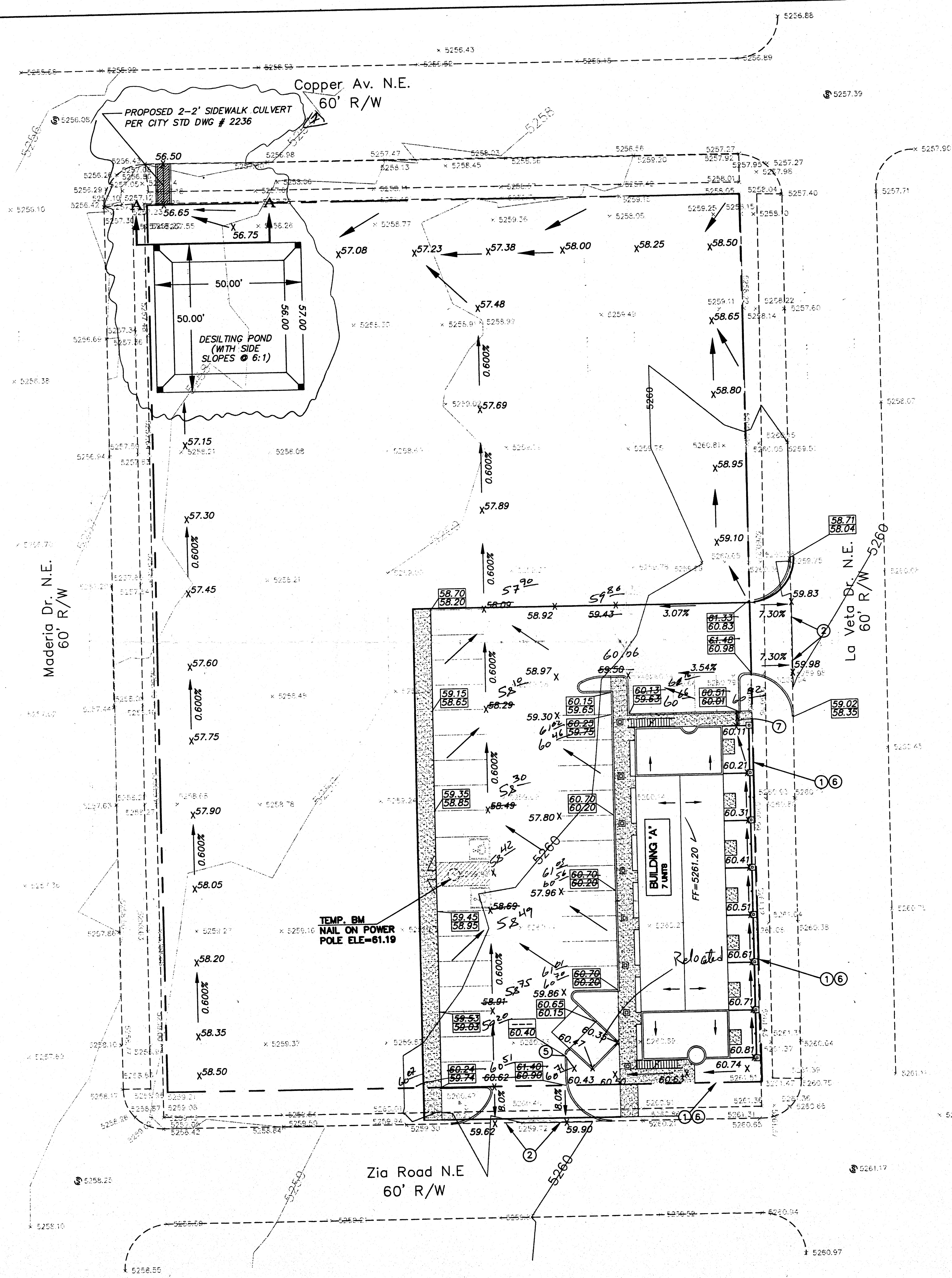
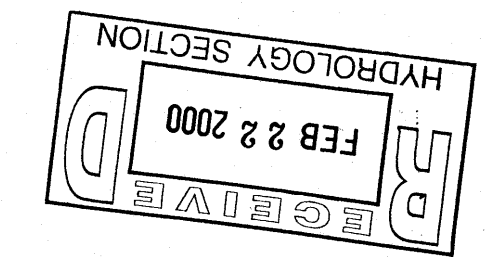
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 8. 4-8" PVC PIPES - SEE THIS SHEET FOR DETAIL

- NOTICE TO CONTRACTORS
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 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

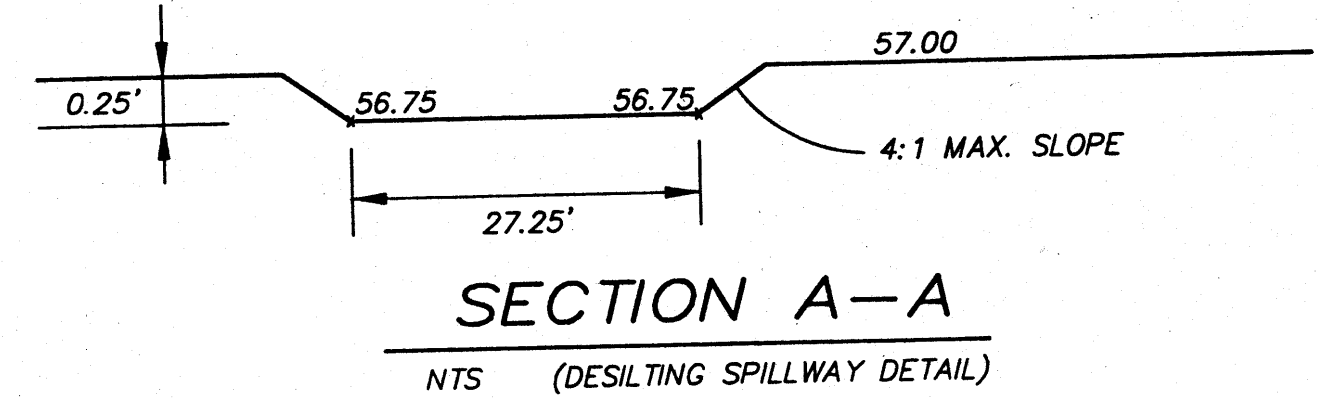
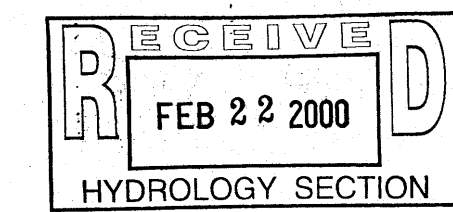
APPROVALS	NAME	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		
ROUGH GRADING		

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE



VICINITY MAP:
LEGAL DESCRIPTION:
LOTS 1 THROUGH 24, BLOCK 21, TIJERAS PLACE ADDITION

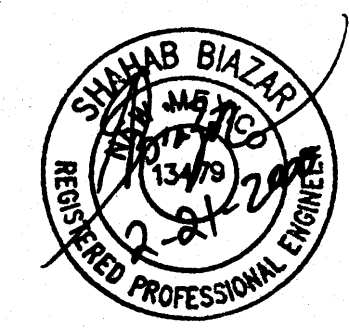


DESILTING SPILLWAY CALCULATIONS

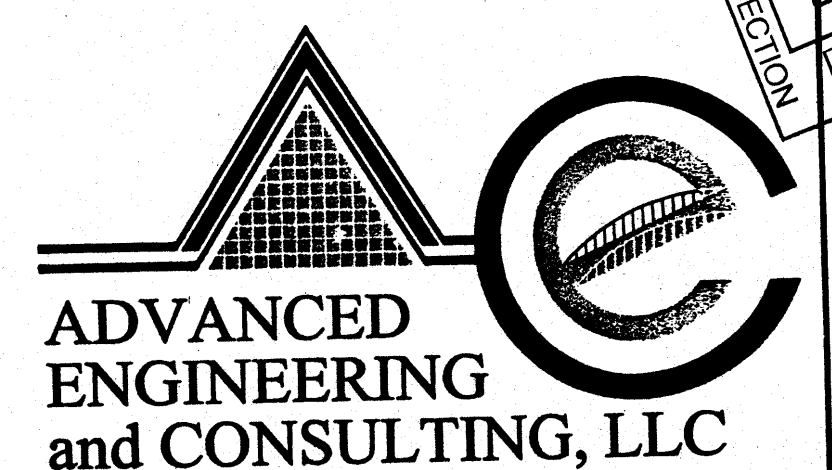
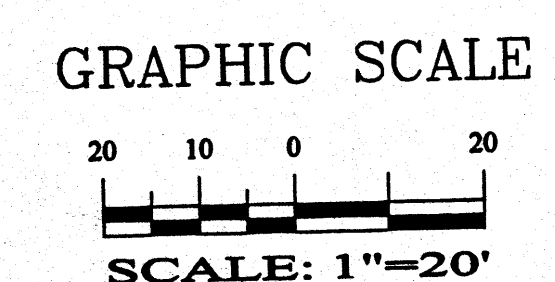
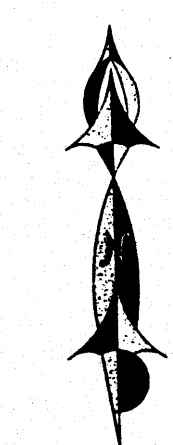
$$Q = CLH^{3/2}$$
$$L = Q / (CH^{3/2})$$
$$L = 6.61 / (1.95 * 0.25^{3/2})$$
$$L = 27.12'$$

USE L=27.25'

I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 6-30-99. Survey information was supplied by Advanced Engineering and Consulting, LLC in accordance with normal surveying practice.



Shahab Biazar PE # 13479



SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

MHOON APARTMENTS (PHASE I)
GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
9920-GR-PHI.DWG	SBB	06-15-99	2 OF 2

As-Built Grade
The Pond's Sidewalk Culvert will be Built/Finished Prior To Final C.O.

ROUGH GRADING APPROVAL DATE

RECEIVED
FEB 22 2000
HYDROLOGY SECTION

RECEIVED
FEB 22 2000
HYDROLOGY SECTION

- GENERAL NOTES:**
1. ADD 5200 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 2. CONTOUR INTERVAL IS 1/2 (0.50) FOOT.
 3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5251.25 FEET ABOVE SEA LEVEL.
 4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.

**EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

NOTES:

1. MATCH GRADE AT THE EXISTING FLOW LINE
2. MATCH EXISTING GRADE AT THE PROPERTY LINE
3. 2' CURB OPENING FOR DRAINAGE
4. 3' CURB OPENING FOR DRAINAGE
5. 1' CURB OPENING FOR DRAINAGE
6. INSTALL LANDSCAPING TIMBER OR HEADER WALL (AS REQUIRED TO KEEP THE RUNOFF AWAY FROM THE PROPERTY LINE, SEE CROSS-SECTIONS A, B, & C FOR TYPICAL DETAIL)
7. 3-4" PVC PIPES - SEE THIS SHEET FOR DETAIL
8. 4-8" PVC PIPES - SEE THIS SHEET FOR DETAIL

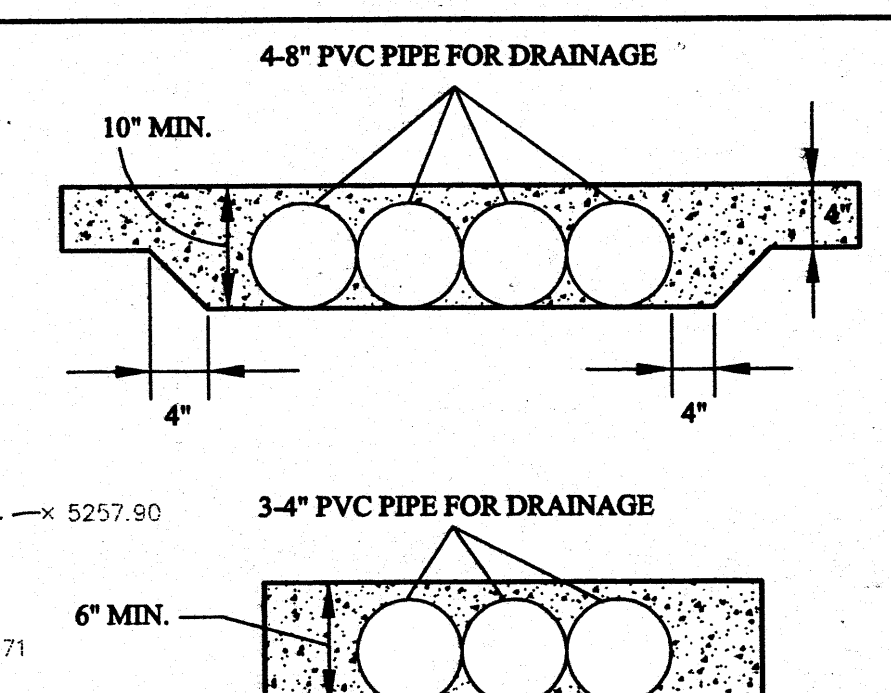
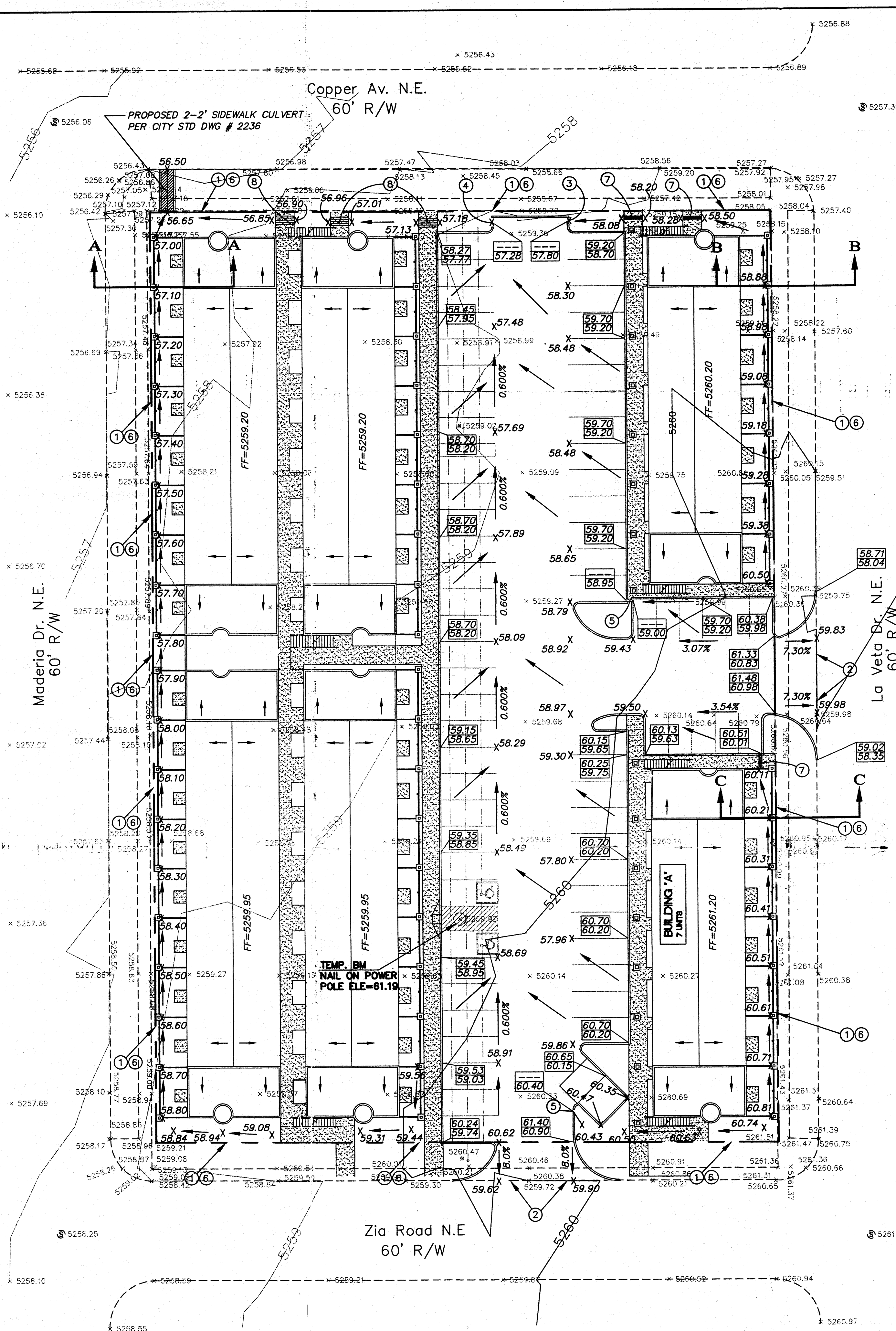
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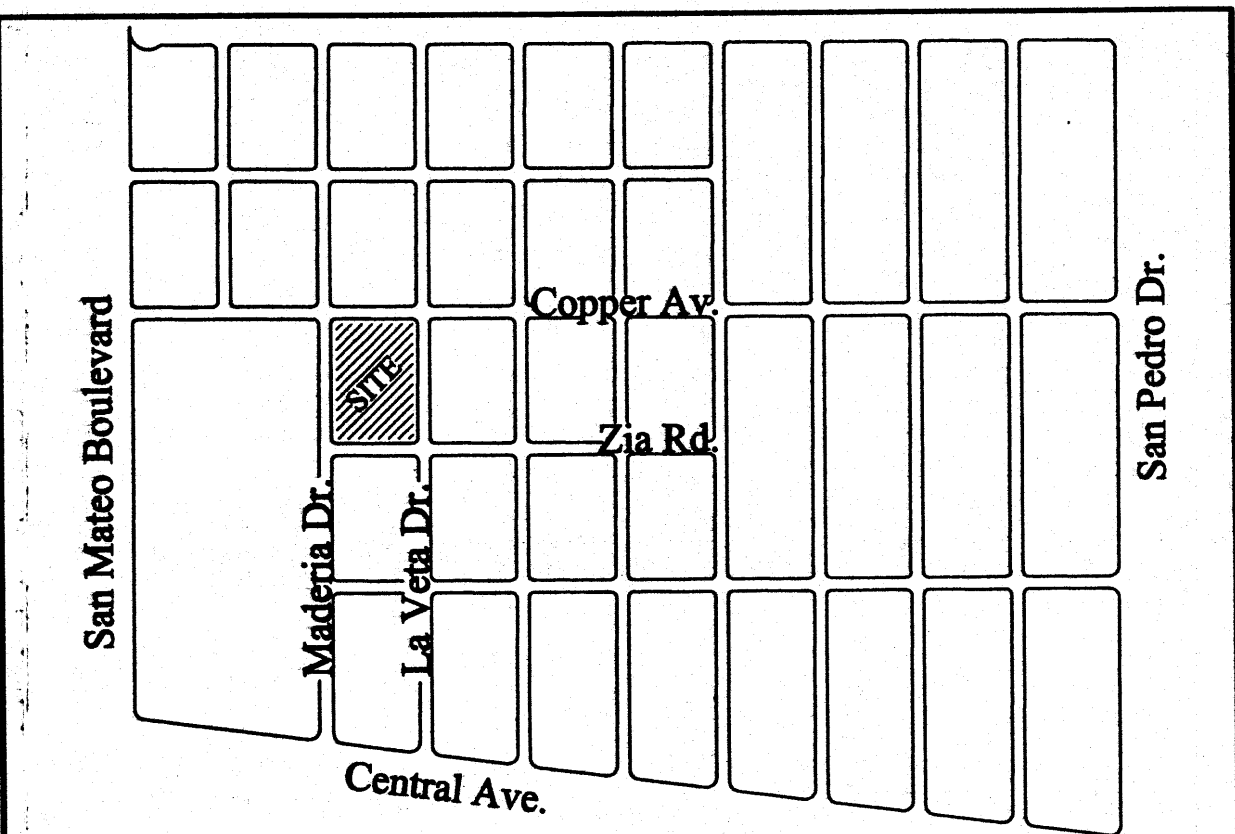
APPROVALS	NAME	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		
ROUGH GRADING		

LEGEND

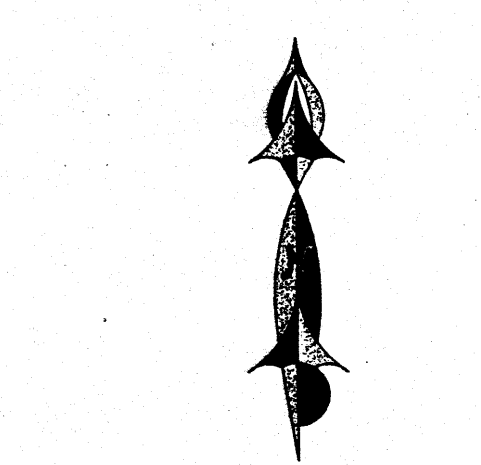
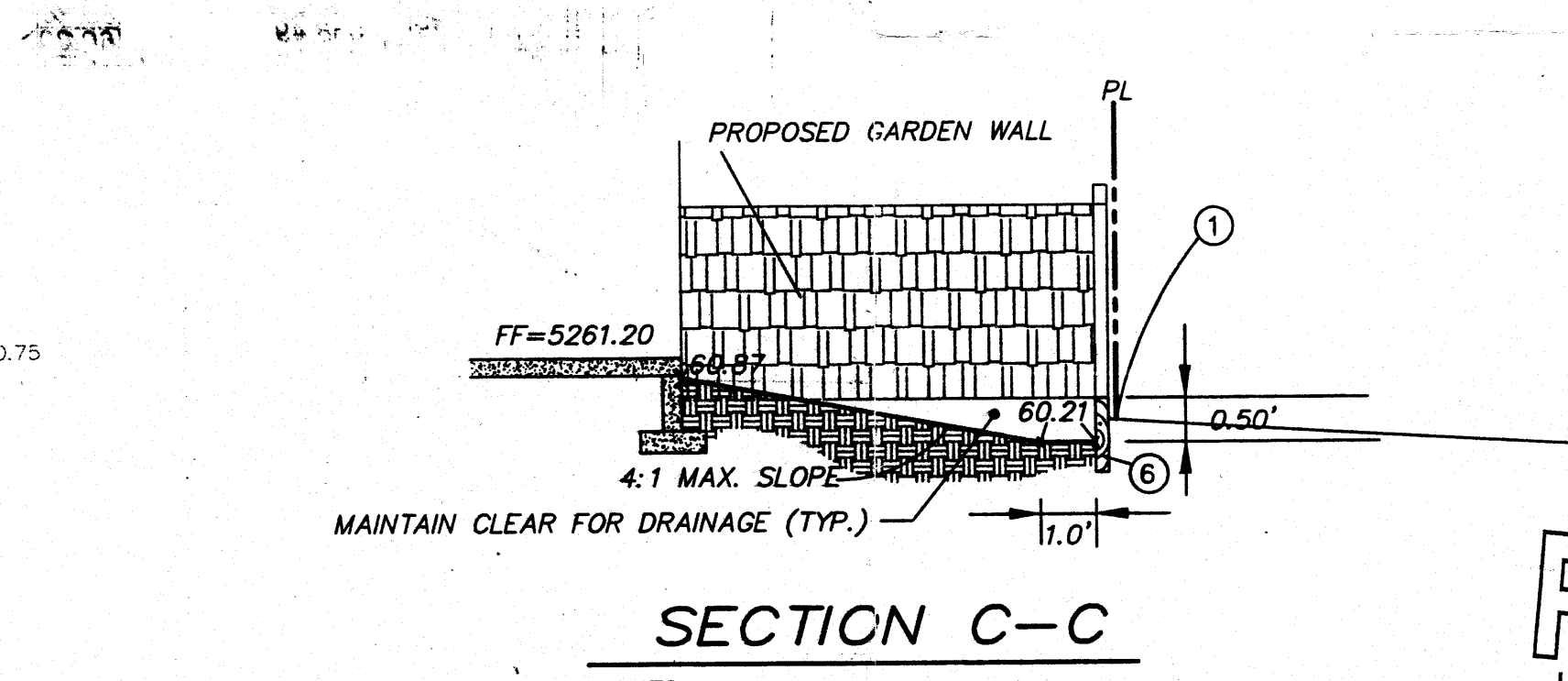
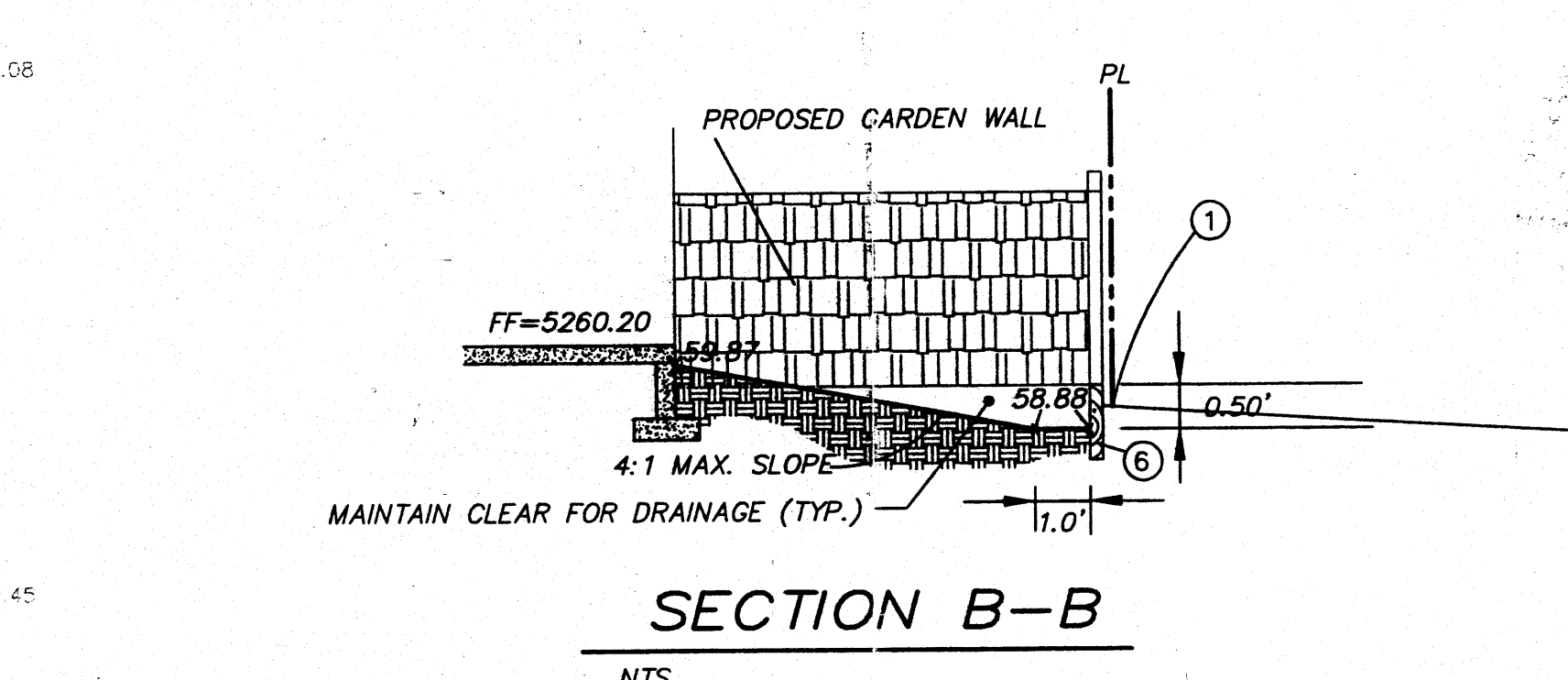
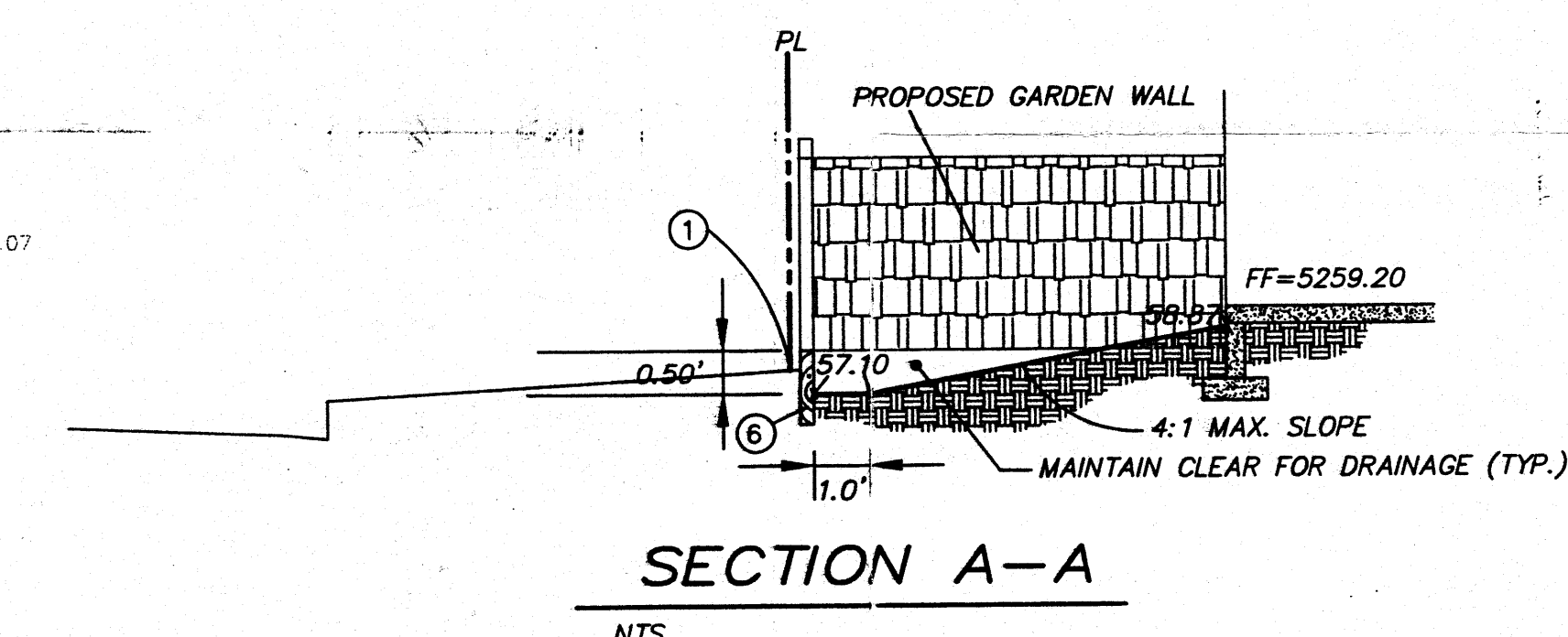
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
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- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE



PIPE CROSSING DETAILS

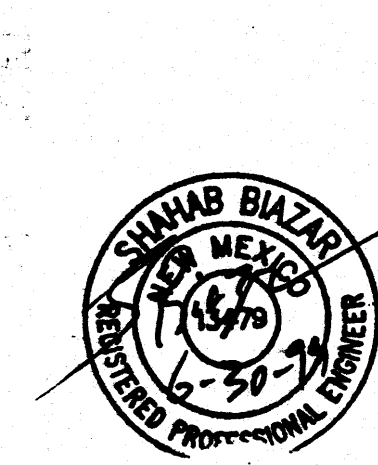


LEGAL DESCRIPTION:
LOTS 1 THROUGH 24, BLOCK 21, TIJERAS PLACE ADDITION



GRAPHIC SCALE
SCALE: 1"=20'

RECEIVED
JUN 30 1999
HYDROLOGY SECTION

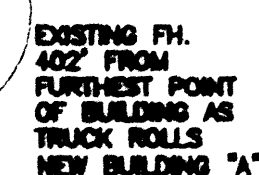
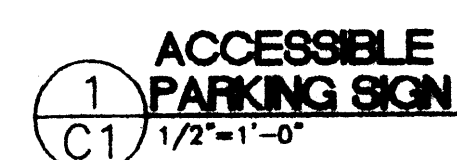
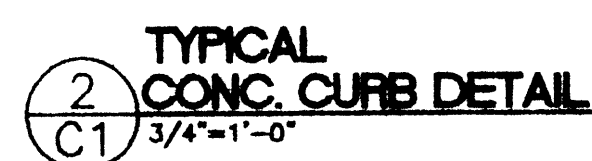


**ADVANCED
ENGINEERING
and CONSULTING, LLC**

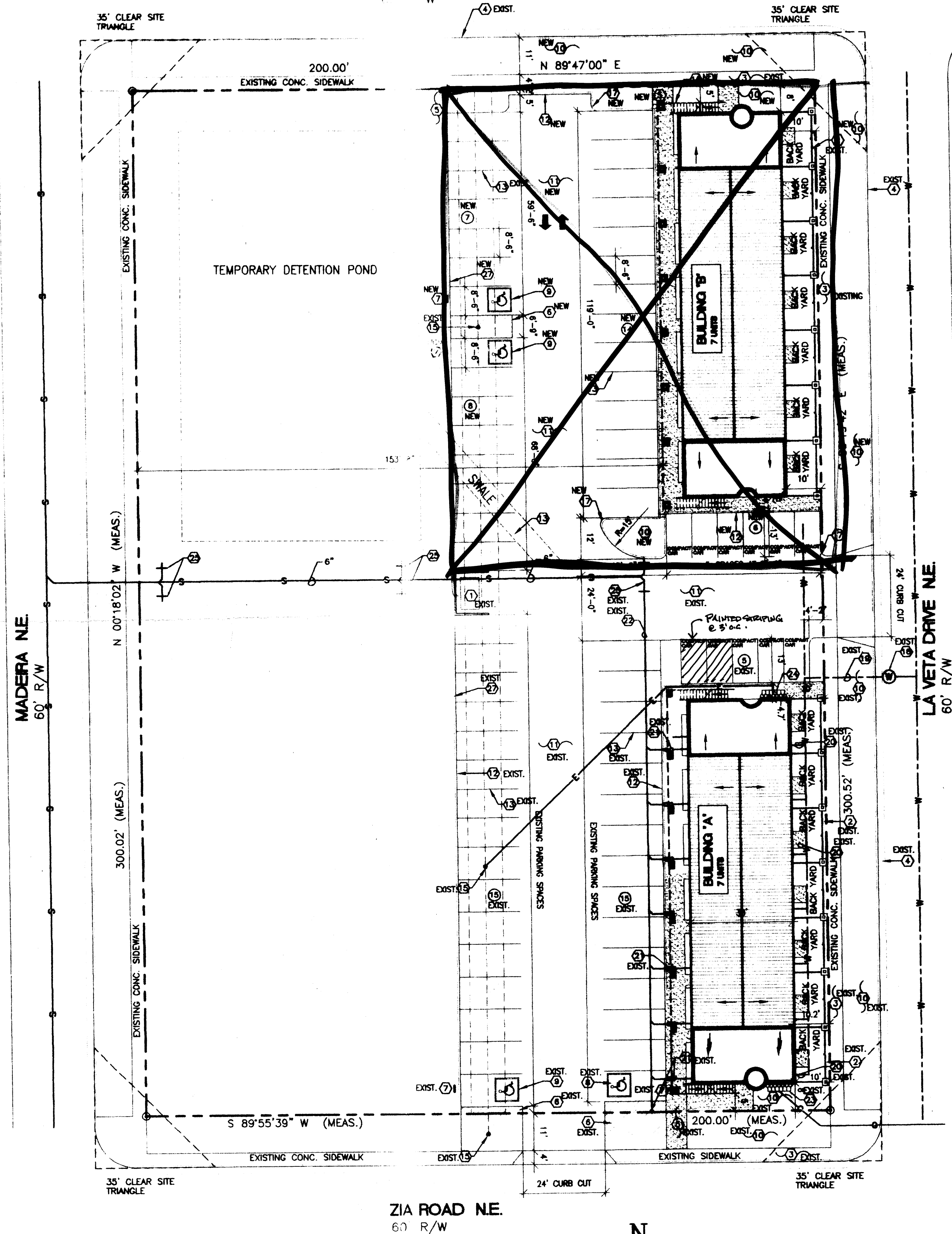
SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-3570

MHOON APARTMENTS GRADING AND DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
9920-GRD.DWG	SBB	05-04-99	1 OF 2

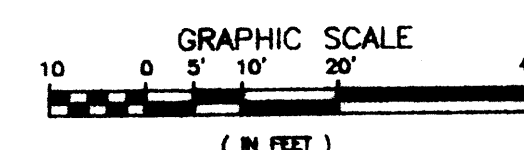


CUMPER AVENUE NE



SITE PLAN

1"=20'



LEGAL DESCRIPTION
LOT 24A,
BLOCK 21
TUERAS PLACE ADDITION
ALBUQUERQUE, NEW MEXICO

EXISTING FH.
270' FROM
FURTHEST POINT
OF BUILDING AS
TRUCK ROLLS
NEW BUILDING "A"

UBC CODE DESIGN DATA

NEW VOLUME CALCULATION

OCCUPANCY GROUPING	= R-1, APARTMENT (7 NEW UNITS)
TYPE OF CONSTRUCTION	= V-N
AREA OF BUILDING	
EXISTING BUILDING "A" (PHASE ONE)	= 3,374 S.F. (1ST), 2,636 S.F. (2ND)
7 EXISTING UNITS	
NEW BUILDING "B" (PHASE TWO)	= 482 S.F. EA. (1ST), 377 S.F. (2ND)
7 NEW UNITS	
<u>TOTAL BUILDING "B" HEATED AREA</u>	<u>= 8,013 S.F. (TOTAL 1ST AND 2ND FLOOR)</u>
<u>BUILDING FOOTPRINT AREA</u>	<u>= 3,374 S.F.</u>
<u>COVERED AREA</u>	= 711 S.F. (1ST), 711 (2ND), 1,422 S.F. TOTAL

SEISMIC ZONE = 2B
SOIL BEARING CAPACITY = 1,500 PSI
CONCRETE STRENGTH = 3,000 PSI
STRESS VALUES = LUMBER: F_b = 970 MIN
= STEEL: 50,000 PSI
WIND DESIGN LOAD = SPEED = 75 MPH
ROOF DESIGN LOAD = 20 PSF LL, 15 PSF DL
FLOOR DESIGN LOAD = SLAB ON GRADE
CORRIDOR DESIGN LOAD = N/A

ZONING DESIGN DATA

ZONING	= R-1
LOT AREA	= 60,032 SF., 1.38 AC.
BUILDING AREA	= 23,460 S.F. (BLDG. FOOTPRINT)
NET LOT AREA	= 60,032 - 23,460 = 36,572 SF.
LANDSCAPING REQUIRED	= 36,572 SF x 15% = 5,486 S.F.
LANDSCAPING PROVIDED	= 6,000 PLUS
PARKING REQUIREMENTS	
PARKING REQUIRED (1.5 PER UNIT)	= 14 UNITS x 1.5 = 21 SPACES
H.C. PARKING REQUIRED (51-100 = 4)	= 4 H.C. PARKING SPACES REQUIRED
REGULAR PARKING PROVIDED	= 86 TOTAL SPACES.
H.C. PARKING PROVIDED	= TOTAL SPACES.
TOTAL PARKING PROVIDED	= 70 TOTAL SPACES.
TOTAL BIKE SPACES REQUIRED	= 70/20 = 3 BIKE SPACES REQUIRED
TOTAL BIKE SPACES PROVIDED	= 3 BIKE SPACES REQUIRED

GENERAL NOTES

1. PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE 6 INCHES OR EQUAL, 21 INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
3. LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOT CANDLETS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. IRRIGATION: SEE LANDSCAPE PLAN
4. PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.

NOTE:

* CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

*INSPECTION OF CONSTRUCTION FOR C.O. BY TRANSPORTATION
WILL BE DONE FROM THIS SHEET.

*PATCH AND REPAIR CURBS AND SIDEWALKS AS REQUIRED

CONTRACTORS NOTE

- ANY AGREEMENT WITH THE OWNER, STATING THAT ANY PORTIONS OF PERMIT CONSTRUCTION, CHOSEN TO BE COMPLETED BY THE OWNER, OR HIS SELECTED REPRESENTATIVE, OTHER THAN THAT CONTRACTOR, WILL MOST LIKELY RESULT IN DELAY. IN THIS CASE, CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.

KEYED NOTES

1. DUMPSTER ENCLOSURE LOCATION.
2. 6' HIGH WOOD FENCE @ EACH BACKYARD AREA.
3. EXISTING 4" WIDE CONCRETE SIDEWALK.
4. EXISTING CONCRETE CURB AND GUTTER.
5. 8" WIDE CONCRETE SIDEWALK.
6. HANDICAPPED STRIDE RAUP.
7. HANDICAPPED PARKING ONLY SIGNAGE.
8. HANDICAPPED VAN PARKING SPACE.
9. HANDICAPPED PARKING SPACE TYPICAL.
10. LANDSCAPING AREA SEE LANDSCAPE PLAN.
11. ASPHALT PAVING.
12. 6" CONCRETE CURB.
13. PAINTED PARKING STRIPES TYPICAL.
14. PAINTED DIRECTION ARROW.
15. EXISTING POWER POLE.
16. EDGE OF ASPHALT PAVING.
17. 2" RADIUS (TYPICAL).
18. 1"-1/2" WATER MAIN.
19. 2" WATER LINE.
20. 3/4" WATER LINE TO INDIVIDUAL APPTS. (TYP.).
21. CLEANOUT (TYP.).
22. 4" SEWER LINE.
23. GAS METERS.
24. ELECTRIC METERS.
25. 6" TEE.
26. 3" SPACE BAKE RAKE SEE DETAIL.
27. EDGE OF ASPHALT PAVING.

LEGEND

LEGEND

---	W	---	WATER LINE
---	G	---	GAS LINE
---	S	---	SEWER LINE
---	E	---	ELECTRIC LINE

EXISTING FH.
200' FROM
FURTHEST POINT
OF BUILDING AS
TRUCK ROLLS
EXIST. BUILDING "A"

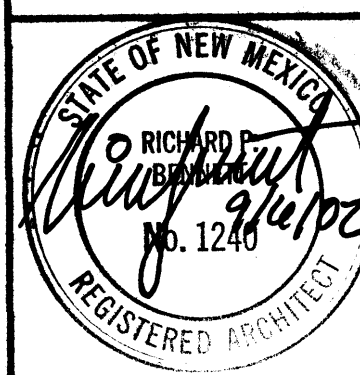
MOON APARTMENTS - PHASE TWO

ALBUQUERQUE, NEW MEXICO

PROJECT# 99M

REVISION DATE

09-06-2002

 rick bennett
architect

1118 Park Avenue SW
Albuquerque, New Mexico
87102

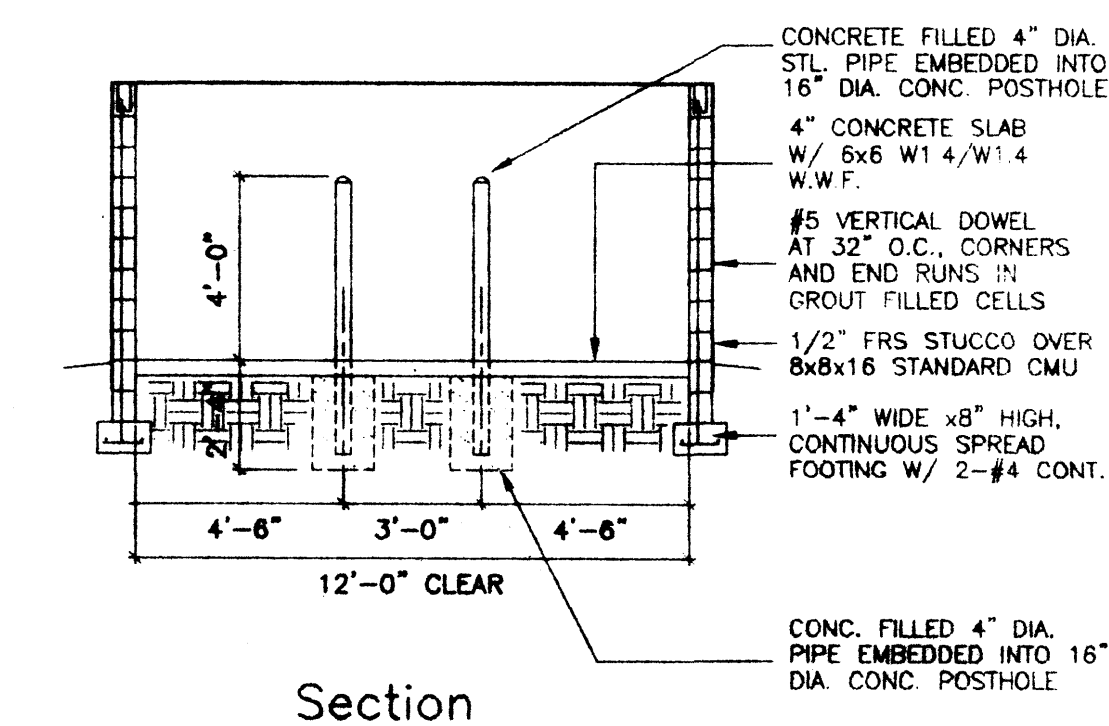
DATE _____

7-27-99

SHEET NUMBER

C-1

60' R/W



4" CONC. SIDEWALK
AS REQUIRED

3/4" CHAMFER

2 1/2" OF ASPHALTIC CONCRETE
ON PRIME COAT OVER A
FOUR INCH SUBGRADE.

6"

12"

2-#4 CONT.

6"

[illegible]

This is a detailed site plan for a property located at the intersection of Zia Road NE and La Veta Drive NE. The plan shows a rectangular building labeled "BUILDING A" with a "7 UNIT" designation. To the north of the building is a large "TEMPORARY DETENTION POND". The parking area is divided into two main sections: a larger lot to the west of the building with 11 spaces at 8'-6" and a smaller lot to the east with 5 spaces at 7'-6". The plan includes numerous dimensions for setbacks, lot widths, and building footprints. Key streets shown are Zia Road NE (60' R/W), La Veta Drive NE (60' R/W), Madera NE (60' R/W), and Triangle. The plan also indicates existing concrete sidewalks and clear site triangles at the intersections. A north arrow is located in the upper right corner.

OCCUPANCY GROUP	= R-1, APARTMENT
TYPE OF CONSTRUCTION	= V-N
<u>AREA OF BUILDING</u>	
BLDG. "A" (W/ 7 UNITS)	= 3,376 S.F. (1ST), 2,693 S.F. (2ND) (859 EA. UNIT)
<u>TOTAL HEATED AREA</u>	= <u>6,069 S.F. (TOTAL 1ST AND 2ND FLOOR)</u>
<u>BUILDING FOOTPRINT AREA</u>	= <u>3,376 S.F.</u>

SEISMIC ZONE = 2B
SOIL BEARING CAPACITY = 1,500 PSI
CONCRETE STRENGTH = 3,000 PSI
STRESS VALUES = LUMBER: $F_b = 970$ MIN.
= STEEL: 50,000 PSI
WIND DESIGN LOAD = SPEED = 75 MPH
ROOF DESIGN LOAD = 20 PSF LL, 15 PSF DL
FLOOR DESIGN LOAD = SLAB ON GRADE
CORRIDOR DESIGN LOAD = N/A

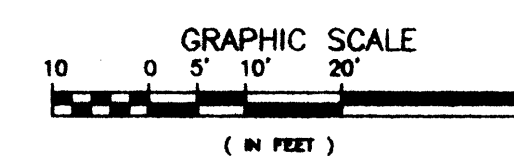
ZONING	= R-1
LOT AREA	= 60,032 SF., 1.38 AC.
BUILDING AREA	= 23,460 S.F. (BLDG. FOOTPRINT)
NET LOT AREA	= 60,032 - 23,460 = 36,572 SF.
LANDSCAPING REQUIRED	= 36,572 SF x 15% = 5,486 S.F.
LANDSCAPING PROVIDED	= 6,000 PLUS
<u>PARKING REQUIREMENTS</u>	
PARKING REQUIRED (1.5 PER UNIT)	= 7 UNITS x 1.5 = 11 SPACES
TOTAL PARKING PROVIDED	= 35 TOTAL SPACES.

1. PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2 1/2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
2. LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. IRRIGATION: A. THE LANDSCAPE PLANTINGS SHOWN ON THIS PLAN SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM. ALL LANDSCAPE PLANTINGS AND IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE OWNER AT NO COST TO THE CITY OF ALBUQUERQUE.
B. SHRUB PLANTING: DIRP IRRIGATION W/ 6- 1 GPM EMITTER PER TREE AND 2 EMITTERS PER SHRUB W/ AVB, PRESSURE REGULATOR, AND FITTER

1. DUMPSTER LOCATION.
2. 4' HIGH WOOD FENCE, AT EACH BACKYARD AREA.
3. EXISTING 6' WIDE CONCRETE SIDEWALK.
4. EXISTING CONCRETE CURB AND GUTTER.
5. 6' WIDE CONCRETE SIDEWALK.
6. HANDICAPPED ACCESSIBLE RAMPA.
7. HANDICAPPED PARKING ONLY SIGNAGE.
8. HANDICAPPED VAN PARKING SPACE.
9. HANDICAPPED PARKING SPACE TYPICAL.
10. LANDSCAPING AREA, SEE LANDSCAPE PLAN.
11. ASPHALT PAVING.
12. 6" CONCRETE CURB.
13. PAINTED PARKING STRIPES TYPICAL.
14. PAINTED DIRECTION ARROW.
15. EXISTING POWER POLE.
16. EDGE OF ASPHALT PAVING.
17. 2' RADIUS. (TYPICAL).
18. 1'-1/2" WATER MAIN
19. 2" WATER LINE
20. 3/4" WATER LINE TO INDIVIDUAL APTS. (TYP.).
21. CLEANOUT (TYP.)
22. 4" SEWER LINE
23. GAS METERS
24. ELECTRIC METERS
25. 6" TEE

— — — — W — — — —	WATER LINE
— — — — G — — — —	GAS LINE
— — — — S — — — —	SEWER LINE
— — — — E — — — —	ELECTRIC LINE

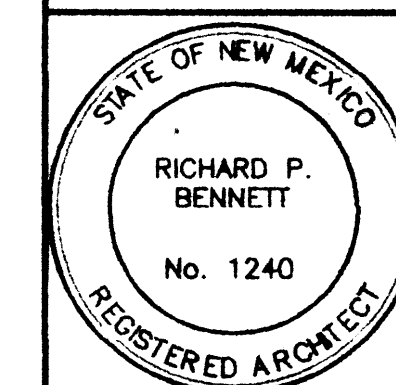
INCORRECT COPY OF APP'D T.C.L.

$$1'' = 20'$$


LOT 24A,
BLOCK 21
TIJERAS PLACE ADDITION
ALBUQUERQUE, NEW MEXICO

SMHOOON APARTMENTS
ALBUQUERQUE, NEW MEXICO
PROJECT'S 9911

REVISION DATE



 rick bennett
architect

1118 Park Avenue SW
Albuquerque, New Mexico
87102
(505) 242-1859

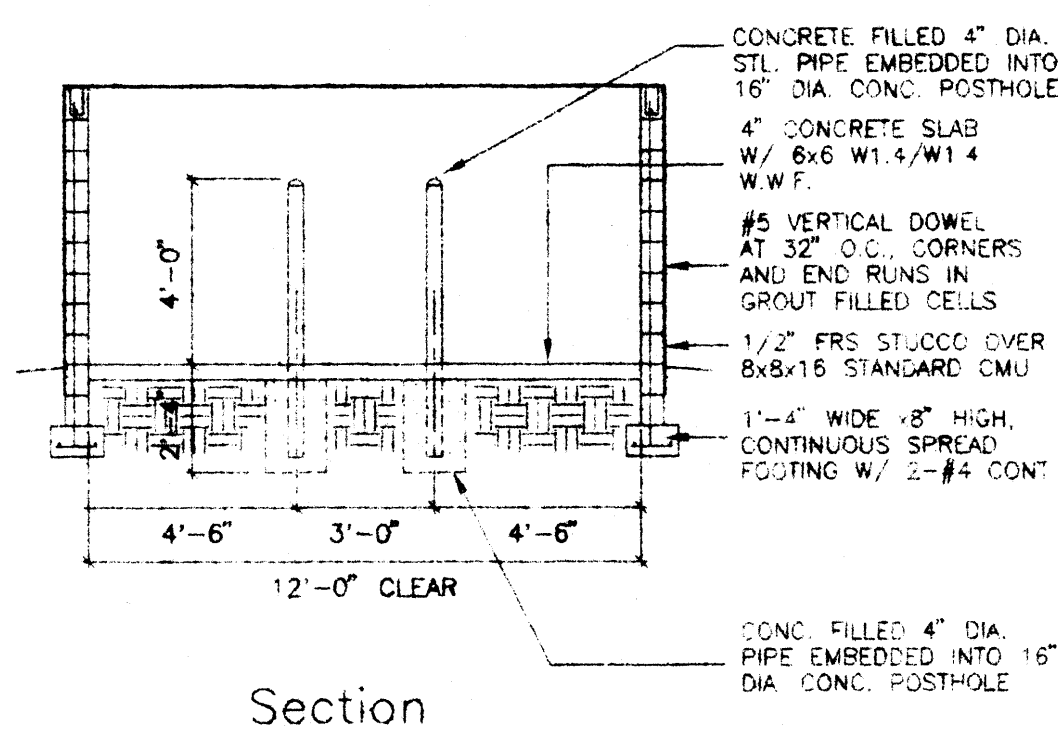
DATE _____

8-2-99

SHEET NUMBER

C-1

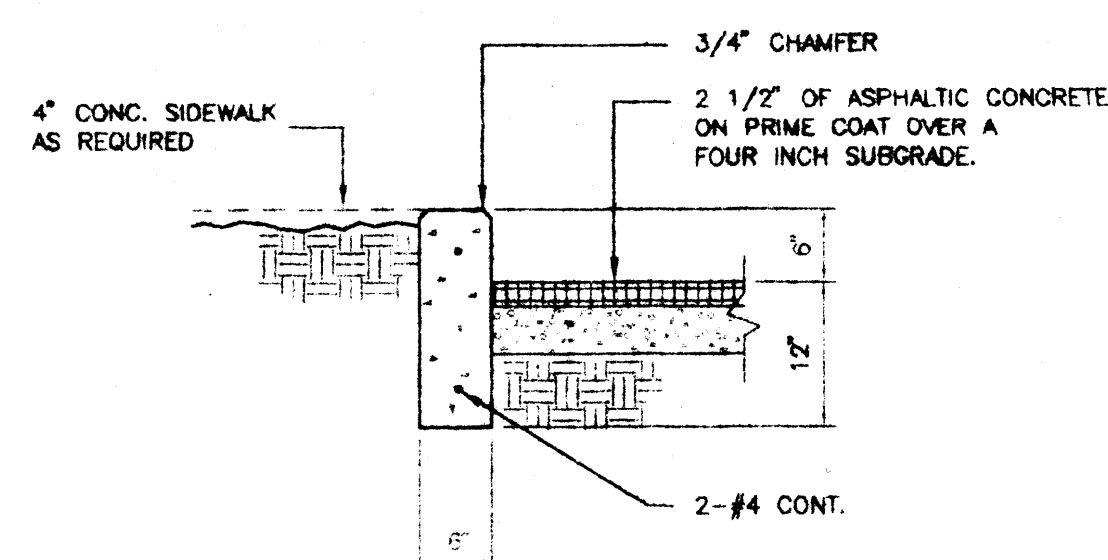
RECEIVED
SEP 06 2002
HYDROLOGY SECTION



1
C1

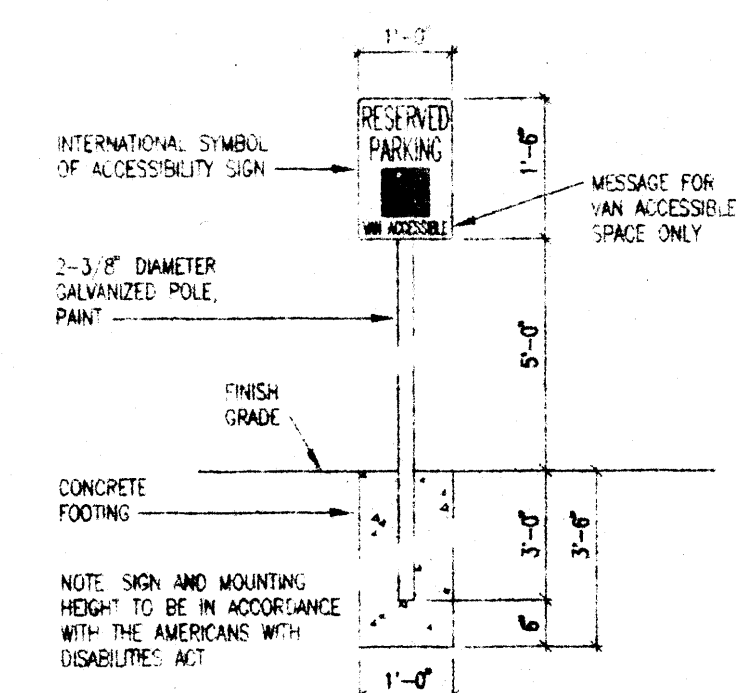
TYPICAL SLAB • DUMPSTER

1/4" = 1'-0"



2
C1

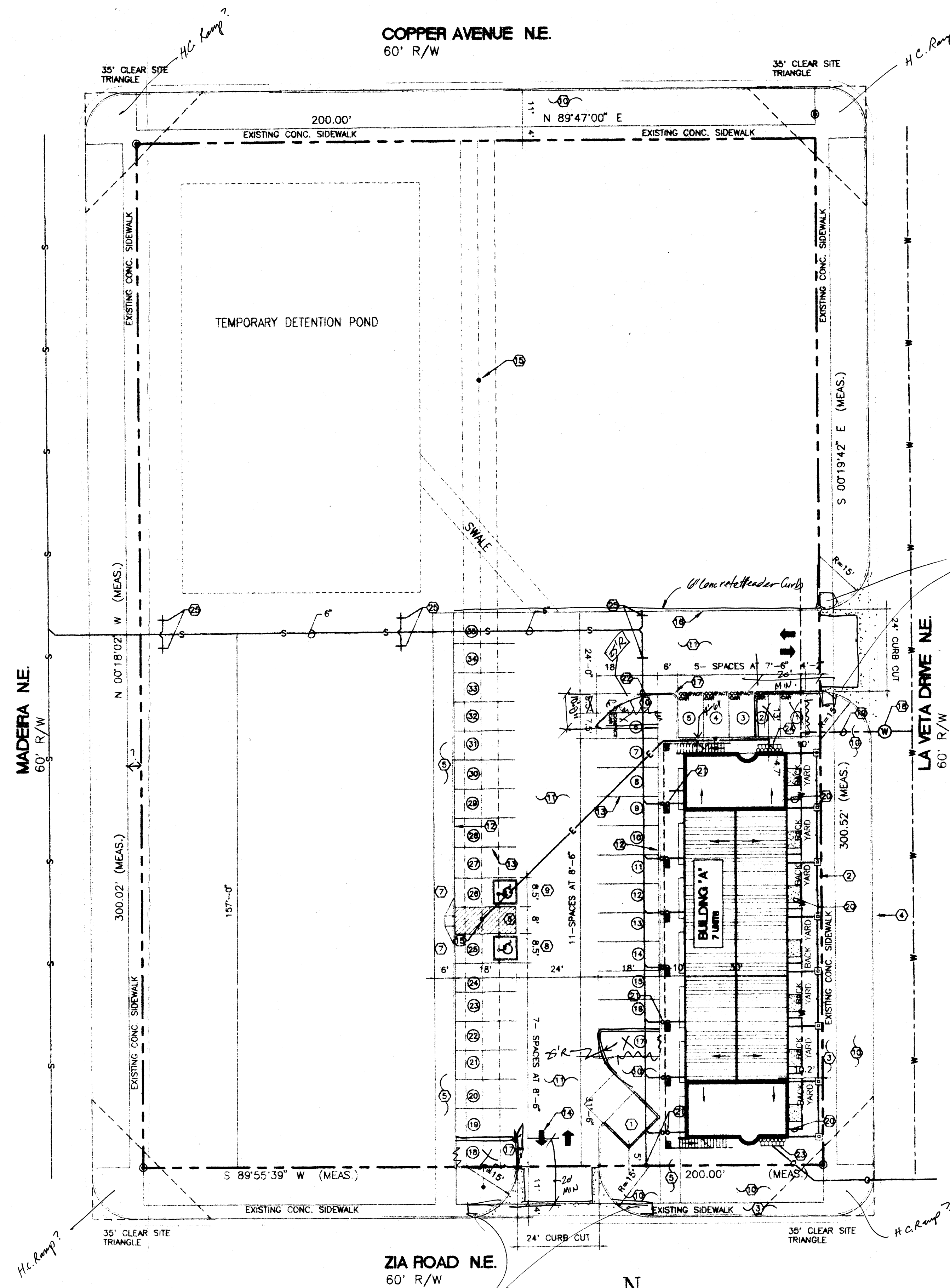
TYPICAL
CONC. CURB DETAIL - TYPICAL
3/4" = 1'-0"



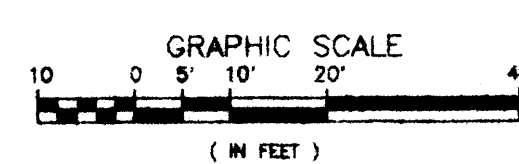
3
01

ACCESSIBLE
PARKING SIGN

1/2" = 1'-0"



SITE PLAN

$$1'' = 20'$$


LEGAL DESCRIPTION

LOT 24A,
BLOCK 21
TIJERAS PLACE ADDITION
ALBUQUERQUE, NEW MEXICO

OCCUPANCY GROUP	= R-3, APARTMENT
TYPE OF CONSTRUCTION	= V-N
<u>AREA OF BUILDING</u>	
BLDG. "A" (W / 7 UNITS)	= 3,376 S.F. (1ST) , 2,093 S.F. (2ND) (859 EA. UNIT)
<u>TOTAL HEATED AREA</u>	= 5,089 S.F. (TOTAL 1ST AND 2ND FLOOR)
<u>BUILDING FOOTPRINT AREA</u>	= 3,376 S.F.

SEISMIC ZONE	= 2B
SOIL BEARING CAPACITY	= 1,500 PSI
CONCRETE STRENGTH	= 3,000 PSI
STRESS VALUES	= LUMBER: $F_b = 970$ MIN. = STEEL: 50,000 PSI.
WIND DESIGN LOAD	= SPEED = 75 MPH
ROOF DESIGN LOAD	= 20 PSF LL, 15 PSF DL
FLOOR DESIGN LOAD	= SLAB ON GRADE
CORRIDOR DESIGN LOAD	= N/A

ZONING	= R-1
LOT AREA	= 60,032 SF., 1.38 AC.
BUILDING AREA	= 23,460 S.F. (BLDG. FOOTPRINT)
NET LOT AREA	= 60,032 - 23,460 = 36,572 SF.
LANDSCAPING REQUIRED	= 36,572 SF x 15% = 5,486 SF.
LANDSCAPING PROVIDED	= 6,000 PLUS
<u>PARKING REQUIREMENTS</u>	
PARKING REQUIRED (1.5 PER UNIT)	= 7 UNITS x 1.5 = 11 SPACES
TOTAL PARKING PROVIDED	= 35 TOTAL SPACES

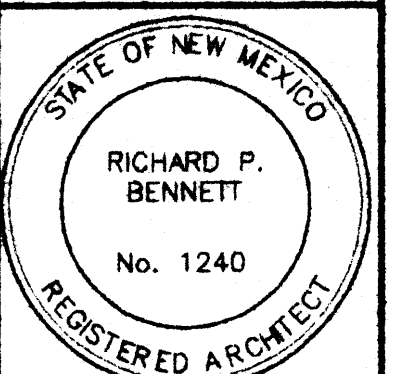
1. PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE. SHALL BE BLACKTOP OR EQUAL. 2 1/2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
2. LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. IRRIGATION: A. THE LANDSCAPE PLANTINGS SHOWN ON THIS PLAN SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM. ALL LANDSCAPE PLANTINGS AND IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE OWNER AT NO COST TO THE CITY OF ALBUQUERQUE.
B. SHRUB PLANTING: DIRT IRRIGATION W/ 6- 1 GPM EMITTER PER TREE AND 2 EMITTERS PER SHRUB W/ AVE. PRESSURE REGULATOR, AND FITTER

1. DUMPSTER LOCATION.
2. 6' HIGH WOOD FENCE AT EACH BACKYARD AREA.
3. EXISTING 4' WIDE CONCRETE SIDEWALK.
4. EXISTING CONCRETE CURB AND GUTTER.
5. 6' WIDE CONCRETE SIDEWALK.
6. HANDICAPPED ACCESSIBLE RAMP.
7. HANDICAPPED PARKING ONLY SIGNAGE.
8. HANDICAPPED VAN PARKING SPACE.
9. HANDICAPPED PARKING SPACE TYPICAL.
10. LANDSCAPE AREA, SEE LANDSCAPE PLAN.
11. ASPHALT PAVING.
12. 6" CONCRETE CURB.
13. PAINTED PARKING STRIPES TYPICAL.
14. PAINTED DIRECTION ARROW.
15. EXISTING POWER POLE.
16. EDGE OF ASPHALT PAVING.
17. 2' RADIUS, (TYPICAL).
18. 1-1/2" WATER MAIN
19. 2" WATER LINE
20. 3/4" WATER LINE TO INDIVIDUAL APTS. (TYP.).
21. CLEANOUT (TYP.)
22. 4" SEWER LINE
23. GAS METERS
24. ELECTRIC METERS
25. 6" TEE

_____ W _____ WATER LINE
 _____ G _____ GAS LINE
 _____ S _____ SEWER LINE
 _____ E _____ ELECTRIC LINE

MOON APARTMENTS
ALBUQUERQUE, NEW MEXICO
PROJECT # 9011

REVISION DATE



rick bennett
architect

 rick bennett
architect

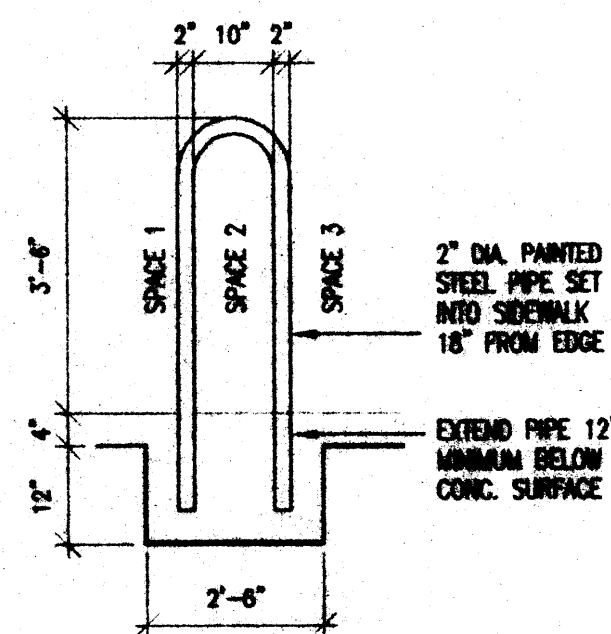
1118 Park Avenue SW
Albuquerque, New Mexico
87102
(505) 242-1859

DATE _____

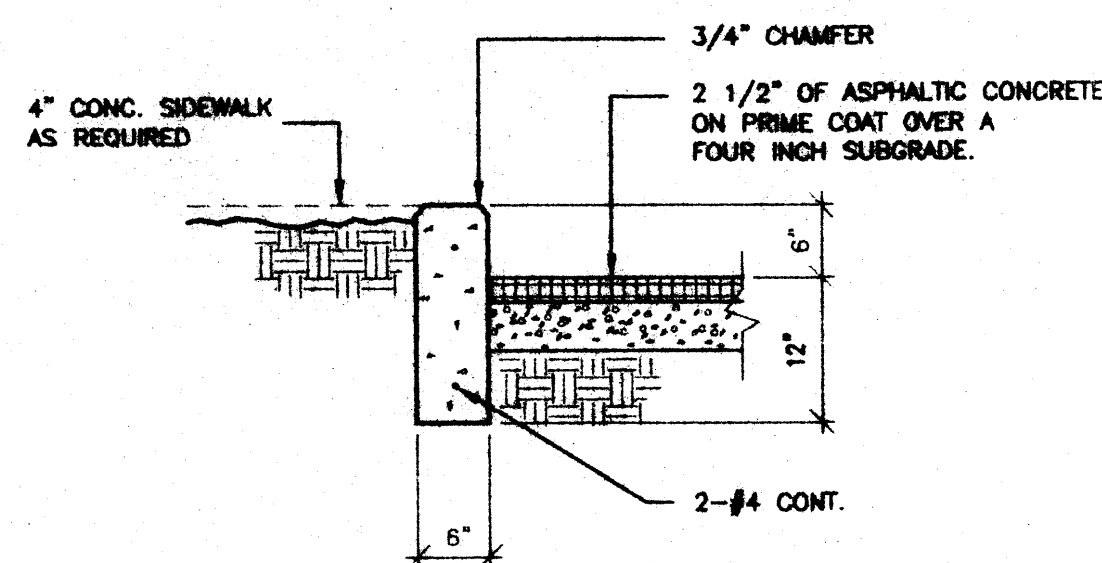
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RECEIVED
JUN 30 1995
HYDROLOGY SECTION

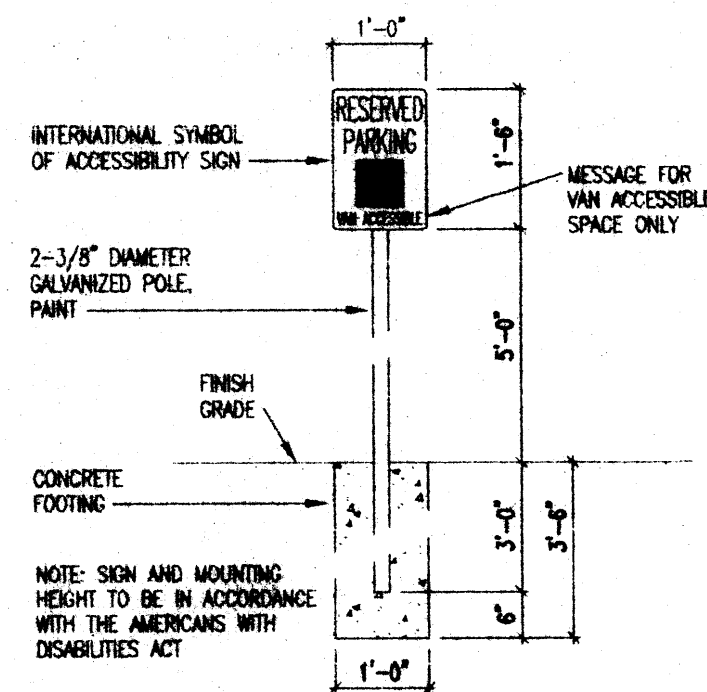
SHEET NUMBER
ON C-1



3 BIKE RACK DETAIL
3/4"=1'-0"



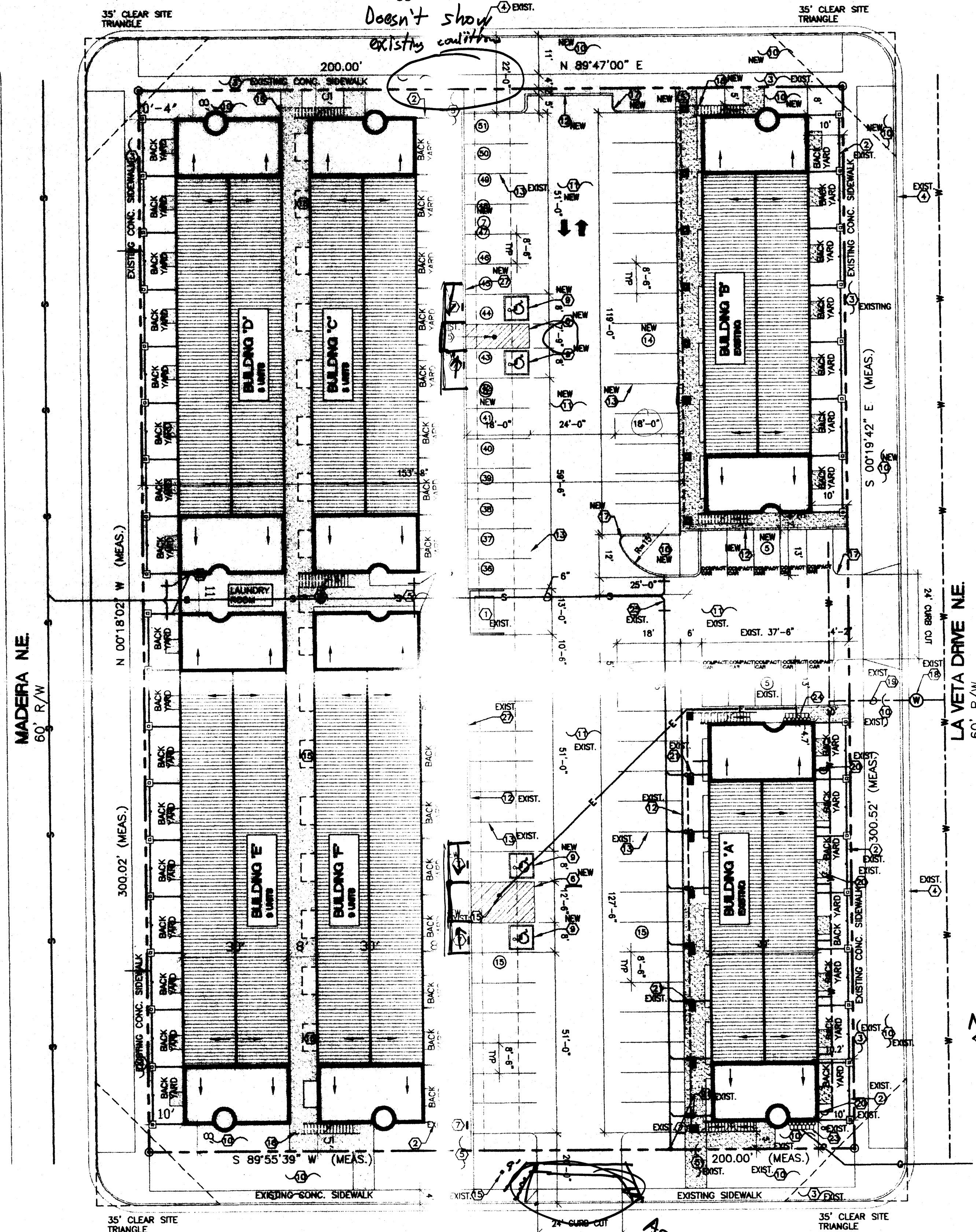
2 TYPICAL CONC. CURB DETAIL
3/4"=1'-0"



1 ACCESSIBLE PARKING SIGN
1/2"=1'-0"

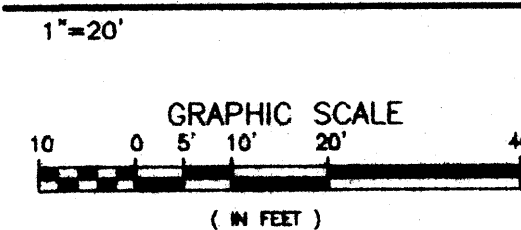
EXISTING FH.
270' FROM
FURTHEST POINT
OF BUILDING AS
TRUCK ROLLS
NEW BUILDING "A"

COP R AVENUE NE
60'



ZIA ROAD NE
60' R/W

SITE PLAN



LEGAL DESCRIPTION
LOT 24A,
BLOCK 21
TIERRAS PLAZA ADDITION
ALBUQUERQUE, NEW MEXICO

EXISTING FH.
270' FROM
FURTHEST POINT
OF BUILDING AS
TRUCK ROLLS
NEW BUILDING "A"

UBC CODE DESIGN DATA

OCCUPANCY GROUP	= R-1, APARTMENT (34 NEW UNITS)
TYPE OF CONSTRUCTION	= V-N
AREA OF BUILDING	
EXISTING BUILDING "A" (PHASE ONE)	= 3,374 S.F. (1ST), 2,639 S.F. (2ND)
7 EXISTING UNITS	
EXISTING BUILDING "B" (PHASE TWO)	= 3,374 S.F. (1ST), 2,639 S.F. (2ND)
7 EXISTING UNITS	
NEW BUILDING "C" (PHASE THREE)	= 3,855 S.F. (1ST), 3,016 S.F. (2ND)
8 NEW UNITS	
NEW BUILDING "D" (PHASE THREE)	= 3,855 S.F. (1ST), 3,016 S.F. (2ND)
8 NEW UNITS	
NEW BUILDING "E" (PHASE THREE)	= 4,335 S.F. (1ST), 3,393 S.F. (2ND)
9 NEW UNITS	
NEW BUILDING "F" (PHASE THREE)	= 4,335 S.F. (1ST), 3,393 S.F. (2ND)
9 NEW UNITS	
TOTAL HEATED AREA	= 41,223 S.F. (TOTAL 1ST AND 2ND FLOOR)
LAUNDRY AREA	= 390 S.F.
BUILDING FOOTPRINT AREA	= 23,440 S.F. (1ST AND LAUNDRY AREA)

SEISMIC ZONE	= 2B
SOIL BEARING CAPACITY	= 1,500 PSI
CONCRETE STRENGTH	= 3,000 PSI
STRESS VALUES	= LUMBER: Fb = 970 MIN. = STEEL: 50,000 PSI
WIND DESIGN LOAD	= SPEED = 75 MPH, EXPOSURE C
ROOF DESIGN LOAD	= 20 PSF LL, 15 PSF DL
FLOOR DESIGN LOAD	= SLAB ON GRADE
CORRIDOR DESIGN LOAD	= N/A

ZONING DESIGN DATA

ZONING	= R-1
LOT AREA	= 60,032 SF., 1.38 AC.
BUILDING AREA	= 23,460 S.F. (BLDG. FOOTPRINT)
NET LOT AREA	= 60,032 - 23,460 = 36,572 SF.
LANDSCAPING REQUIRED	= 36,572 SF x 15% = 5,486 S.F.
LANDSCAPING PROVIDED	= 6,000 PLUS
PARKING REQUIREMENTS	
PARKING REQUIRED (1.5 PER UNIT)	= 14 UNITS x 1.5 = 21 SPACES
HC. PARKING REQUIRED (51-100= 4)	= 4 HC. PARKING SPACES REQUIRED
REGULAR PARKING PROVIDED	= 55 TOTAL SPACES, 10 COMPACT CAR
TOTAL HC. PARKING PROVIDED	= 4 TOTAL SPACES
TOTAL PARKING PROVIDED	= 69 TOTAL SPACES
TOTAL BIKE SPACES REQUIRED	= 69/20 = 3 BIKE SPACES REQUIRED
TOTAL BIKE SPACES PROVIDED	= 3 BIKE SPACES REQUIRED

GENERAL NOTES

1. PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
2. LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. IRRIGATION: SEE LANDSCAPE PLAN.
4. PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.

NOTE:

*CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

*INSPECTION OF CONSTRUCTION FOR C.O. BY TRANSPORTATION WILL BE DONE FROM THIS SHEET.

*PATCH AND REPAIR CURBS AND SIDEWALKS AS REQUIRED

CONTRACTOR'S NOTE:

*ANY AGREEMENT WITH THE OWNER, STATING THAT ANY PORTIONS OF PERMIT CONSTRUCTION, CHOSEN TO BE COMPLETED BY THE OWNER, OR HIS SELECTED REPRESENTATIVE, OTHER THAN THAT CONTRACTOR, WILL MOST LIKELY RESULT IN DELAY. IN THIS CASE, CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.

KEYED NOTES

1. DUMPSTER ENCLOSURE LOCATION.
2. 6" HIGH WOOD FENCE AT EACH BACKYARD AREA.
3. EXISTING 4" WIDE CONCRETE SIDEWALK.
4. EXISTING CONCRETE CURB AND GUTTER.
5. 6" WIDE CONCRETE SIDEWALK.
6. HANDICAPPED STRIPE RAMP.
7. HANDICAPPED PARKING ONLY SIGNAGE.
8. HANDICAPPED VAN PARKING SPACE.
9. HANDICAPPED PARKING SPACE TYPICAL.
10. LANDSCAPING AREA, SEE LANDSCAPE PLAN.
11. ASPHALT PAVING.
12. 6" CONCRETE CURB.
13. PAINTED PARKING STRIPES TYPICAL.
14. PAINTED DIRECTION ARROW.
15. EXISTING POWER POLE.
16. EDGE OF ASPHALT PAVING.
17. 2' RADIUS, (TYPICAL).
18. 1-1/2" WATER MAIN.
19. 2" WATER LINE.
20. 3/4" WATER LINE TO INDIVIDUAL APTS. (TYP.).
21. CLEANOUT (TYP.).
22. 4" SEWER LINE.
23. GAS METERS.
24. ELECTRIC METERS.
25. 6" TEE.
26. 3" SPACE BIKE RAKE SEE DETAIL.
27. EDGE OF ASPHALT PAVING.

LEGEND

---	W	WATER LINE
---	G	GAS LINE
---	S	SEWER LINE
---	E	ELECTRIC LINE

EXISTING FH.
200' FROM
FURTHEST POINT
OF BUILDING AS
TRUCK ROLLS
EXIST. BUILDING "A"

MOON APARTMENTS - PHASE THREE

ALBUQUERQUE, NEW MEXICO

PROJECT# 0244

REVISION DATE



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architect

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Albuquerque, New Mexico
87102
(505) 242-1859

R FEB 04 2003
HYDROLOGY SECTION

SHEET NUMBER

C-1