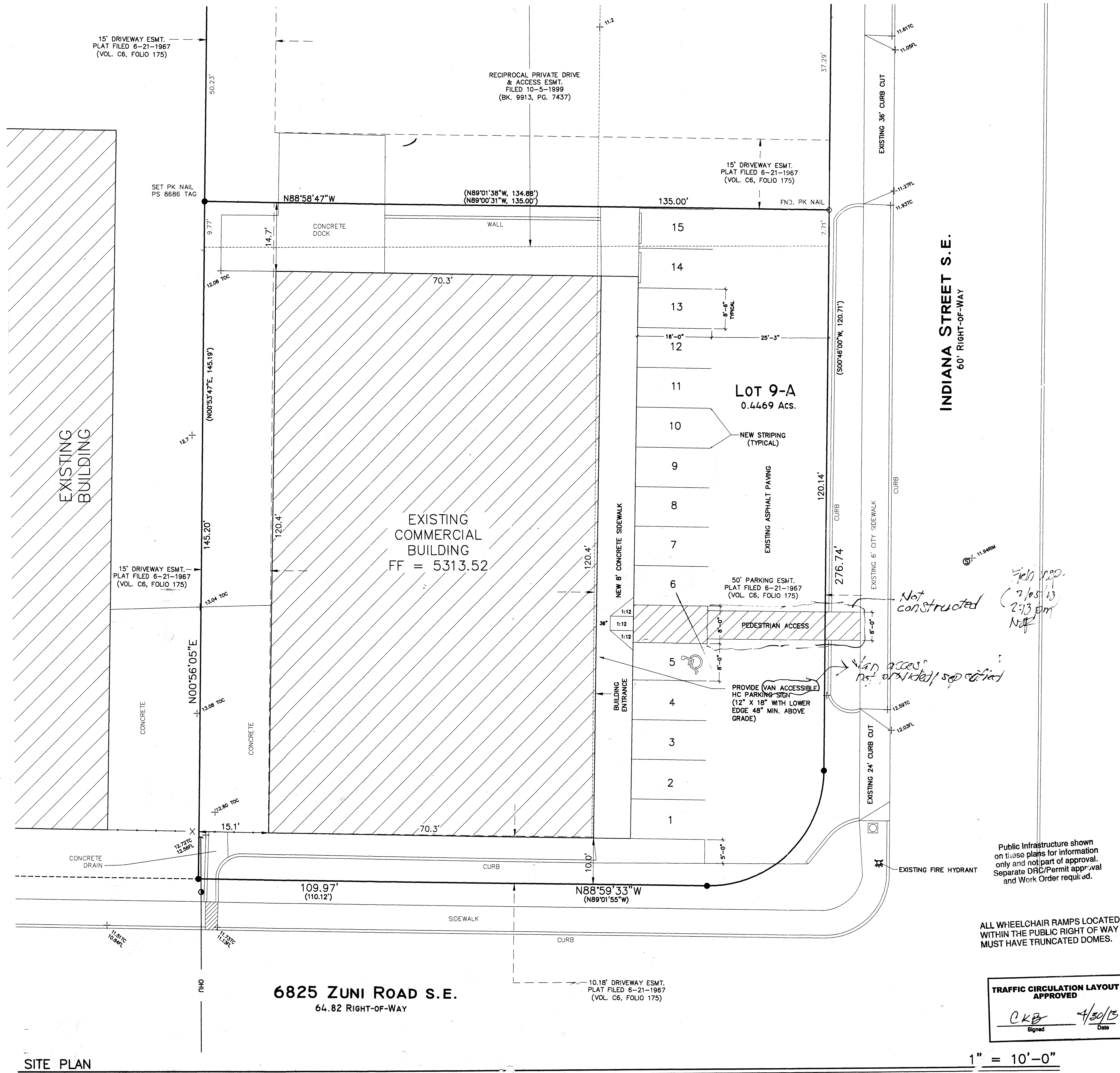




VICINITY MAP (ZONE ATLAS MAP K-18-Z) N.T.S.

DRAWING INDEX	
A 1	SITE PLAN
A 2	FOUNDATION PLAN/DETAILS
A 3	FLOOR PLAN/STEEL MEZZANINE PLAN/DETAILS
A 4	FRAMING PLAN/DETAILS
A 5	REFLECTED CEILING PLAN
A 6	SECTION/BATH ELEVATIONS
A 7	ELEVATIONS
P 1	PLUMBING LAYOUT PLAN
M 1	MECHANICAL LAYOUT PLAN
E 1	ELECTRICAL LAYOUT PLAN

BUILDING DATA	
EXISTING BUILDING USAGE DATA:	
WAREHOUSE	8464 GROSS S.F.
REMODELED BUILDING USAGE DATA:	
OFFICES/SHOWROOM/RECEPTION	2691 GROSS S.F./2490 NET LEASABLE S.F.
WAREHOUSE	5773 GROSS S.F./5578 NET LEASABLE S.F.
TOTAL AREA	8464 GROSS S.F./8018 NET LEASABLE S.F.
WAREHOUSE LOFT (MEZZANINE)	1918 S.F. = 33.2% OF WAREHOUSE
ZONING CLASSIFICATION:	C-3
OCCUPANCY GROUP:	B-OFFICES & S-1 WAREHOUSE
BUILDING USE:	WHOLESALE PLUMBING SUPPLY
CONSTRUCTION TYPE:	VB
OCCUPANCY LOAD:	BUSINESS 2490 S.F./100 = 25
	WAREHOUSE 5578 S.F./500 = 12
	MEZZANINE 1918 S.F./500 = 4
	TOTAL = 41

LEGAL DESCRIPTION	
LOT NUMBERED NINE-A (9-A) IN BLOCK NUMBERED FOURTEEN (14), OF FAIR-GROUNDS ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NM ON AUGUST 2, 1995 IN BOOK 95C, PAGE 284.	
UPC#	101805745601140602
LOT AREA =	0.4469 ACRES

ADDRESS	
6825 ZUNI ROAD SE ALBUQUERQUE, NEW MEXICO 87108	

CODES & RESTRICTIONS	
THE BUILDING SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING:	
• 2009 INTERNATIONAL BUILDING CODE	
• ALL APPLICABLE CODES AND REGULATIONS OF THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO	

PARKING CALCULATIONS:	
OFFICE AREA:	2490 SF/200 = 13
WAREHOUSE AREA:	5578 SF/200 = 3
TOTAL SPACES =	16
TRANSIT REDUCTION 10% =	1 SPACE
TOTAL SPACES REQUIRED =	15
REQUIRED PARKING =	15 SPACES
PROVIDED PARKING =	15 SPACES
REQUIRED HC PARKING =	1 SPACES
PROVIDED HC PARKING =	1 SPACES
1 SPACE VAN ACCESSIBLE	

TRAFFIC CIRCULATION LAYOUT APPROVED

CKB 4/30/13

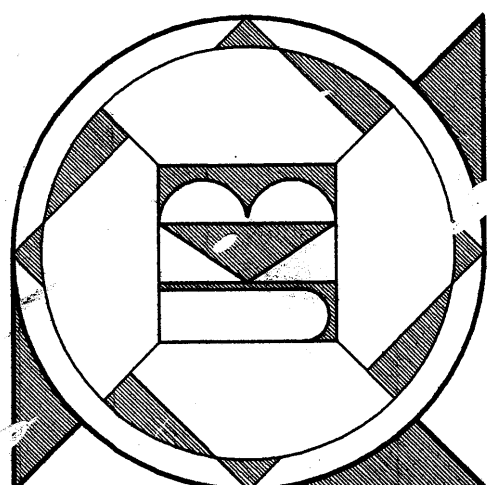
Signed Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

MORRISON SUPPLY REMODEL

ALBUQUERQUE • NEW MEXICO



J. KORY BAKER • ARCHITECT

P.O. BOX 254 • ESTANCA, NM 87116

505 • 384 • 3112

DATE: 4/30/13

REVISIONS: 1

STATE OF NEW MEXICO

J. KORY BAKER NO. 2170 REGISTERED ARCHITECT

RECEIVED JUL 05 2013 LAND DEVELOPMENT SECTION

