

DRAINAGE INFORMATION SHEET

A12

APPLICANT'S NAME: 410-416 San Pedro SE ZONE ATLAS/DRNG. FILE #: K18-D76

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 23 & 24 Blk 9 Fairgrounds Addition

CITY ADDRESS: 410-416 San Pedro SE

ENGINEERING FIRM: BJM Development CONTACT: Bernie J. Montoya

ADDRESS: 4409 Karrol Rd SW. PHONE: 877-4841

OWNER: Irene & Billy Ma CONTACT: _____

ADDRESS: 3601 Carlisle NE PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 10/26/99

BY: Bernie J. Montoya

Revised 02/98

HYDROLOGY SECTION

OCT 27 1999

RECEIVED



City of Albuquerque

December 10 1999

Harold L. Bennett, P.E.
BJM Development Consultants
4409 Karrol Road SW
Albuquerque, NM 87121

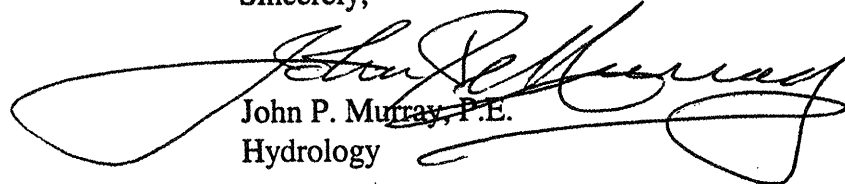
**RE: 410-416 SAN PEDRO SE (K18-D76). ENGINEER'S CERTIFICATIO FOR
CERTIFICATE OF OCCUPANCY APPROVAL. ENGINEER'S STAMP DATED
OCTOBER 11, 1999.**

Dear Mr. Bennett:

Based on the information provided on your October 27, 1999 submittal, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: ☒ WR
☒ File

GRADING/PAVING PLAN

The following items concerning 410-416 San Pedro SE (Lot 18,19-A, 22-A, 23, and 24 in Block 9 of the Fairground Addition, Bernalillo County, Albuquerque New Mexico are contained hereon:

- 1.) Vicinity Map 2.) FEMA Flood Map 3.) Grading/Paving Plan 4.) Drainage Calculations

EXISTING CONDITIONS

As shown by the vicinity map, the site is approximately 1.021 acres +/- and is located about 110' feet north of the intersection of Zuni Rd. SE and San Pedro Dr. SE, and east of San Pedro Dr. SE. The site is fully developed with a 10,161 sf building and associated parking and landscaped areas, with the exception of the northerly .3513 acres comprised of Lot 23 and 24. The topography of Lots 23 and 24 slopes from east to west towards San Pedro SE. There is currently no Master Drainage Plan for this area. According to the Flood Insurance Rate Map, Panel 0354D, dated September 20,1996, this site is located within a 500-year flood zone.

PROPOSED CONDITIONS

As shown by the grading/paving plan, the project will consist of paving and landscaped areas within Lots 23 and 24 only. The site is an in-fill area, all other adjacent sites are fully developed. All drainage flows will be managed on-site and will be routed through the new proposed 36' foot driveway onto San Pedro SE.

The calculations which appear hereon, analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The procedure for 40 acres and smaller basins, as set forth in the Revision of Section 22.2 Hydrology of the Development Process Manual Volume 2, Design Criteria dated 1997, has been used to quantify the peak rate of discharge and volume of run-off generated. The increase in flow-rate of .487 cfs is minimal.

410-416 SAN PEDRO AREA = 0.35 ac.

ZONE 3
PRECIPITATION: 360 = 2.60 in.
1440 = 3.1 in.
10day = 4.9 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:
TREATMENT A 0.66 in. 1.87 cfs/ac.
TREATMENT B 0.92 in. 2.6 cfs/ac.
TREATMENT C 1.29 in. 3.45 cfs/ac.
TREATMENT D 2.36 in. 5.02 cfs/ac.

EXISTING CONDITIONS: PROPOSED CONDITIONS:
TREATMENT A 0 ac. 0 ac.
TREATMENT B 0 ac. 0 ac.
TREATMENT C 0.35 ac. 0.037 ac.
TREATMENT D 0 ac. 0.314 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.66)x(0.00)+(0.92)x(0.00)+(1.29)x(0.35)+(2.36)x(0.00) / 0.35
= 1.29 in.
V100-360 = (1.29)x(0.35) / 12 = 0.037785 ac-ft = 1845 cf

EXISTING PEAK DISCHARGE:

Q100 = (1.87)x(0.00)+(2.60)x(0.00)+(3.45)x(0.35)+(5.02)x(0.00)= 1.21

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.66)x(0.00)+(0.92)x(0.00)+(1.29)x(0.04)+(2.36)x(0.31) / 0.35
= 2.25 in.
V100-360 = (2.25)x(0.35) / 12.0 = 0.065790 ac-ft = 2866 cf

V100-1440 = (0.07)+(0.31)x(3.10 - 2.60) / 12 = 0.078898 ac-ft = 3436 cf

V100-10day = (0.07)+(0.31)x(4.90 - 2.60) / 12 = 0.126031 ac-ft = 5490 cf

PROPOSED PEAK DISCHARGE:

Q100 = (1.87)x(0.00)+(2.60)x(0.00)+(3.45)x(0.04)+(5.02)x(0.31)= 1.69

EROSION CONTROL MEASURES

The contractor shall be held responsible for management of storm water run-off during construction; he shall insure that the following measures are taken:

- Adjacent property shall be protected at all times by construction berms, dikes , swales, ponds and other temporary grading as required to prevent storm run-off to leave the site and enter adjacent properties.
- Adjacent public R/W shall be protected at all times from storm water run-off from the site. No sediment bearing water shall be permitted to enter the public street.
- The contractor shall immediately and thoroughly remove any and all sediment within the Public Streets, that have been eroded from the site and deposited there.

Keyed Notes

1. LANDSCAPE AREA
2. LINE OF EXISTING CONCRETE PAVING TO BE REMOVED.
3. EXISTING ENTRY.
4. EXISTING ELECTRICAL POLE TO REMAIN.
5. EXISTING UTILITIES TO REMAIN.
6. EXISTING TREE TO REMAIN.
7. NEW ASPHALT PAVING AND STRIPING PER C.O.A. STANDARDS (LOTS 23 AND 24 ONLY).
8. NEW STRIPING ON EXISTING ASPHALT PAVING.
9. NEW LOCATION OF REFUSE CONTAINER.
10. H.C. RAMP, 1:12 SLOPE.
11. EXISTING CURB CUTS: A-18' (MODIFIED TO 36'), B-31.2', AND C-42'.
12. EXISTING 6" CONCRETE SIDEWALK.
13. NEW 8" WIDE CONCRETE PAVING.
14. NEW COVERED PORCH.
15. NEW CONCRETE BUMPERS.
16. EXISTING TREE TO BE REMOVED.
17. NEW 6" CONCRETE CURB.

Project Data

LEGAL DESCRIPTION
LOTS NUMBERED 18, 19-A, 22-A, 23 AND 24, IN BLOCK NUMBERED 9 OF THE FAIRGROUNDS ADDITION TO THE CITY OF ALBUQUERQUE

AREAS
TOTAL TRACT AREAS: 44,470 SF
BUILDING FOOTPRINT: 10,061 SF
HARD SURFACE AREA: 29,180 SF
LANDSCAPE AREA: 5,226 SF

LANDSCAPE AREA REQUIREMENTS
NET LOT AREA (TOTAL TRACT - BLDG SF): 34,409 SF
LANDSCAPE REQUIRED (15%): 5,161 SF
LANDSCAPE PROVIDED: 5,226 SF

PARKING
PARKING REQUIRED: 50 SPACES
PARKING PROVIDED: 60 SPACES

COMPACT PARKING ALLOWED: 20 SPACES
COMPACT PARKING PROVIDED: 8

H.C. PARKING REQUIRED: 2 SPACES
H.C. PARKING PROVIDED: 2 SPACES

LEGEND

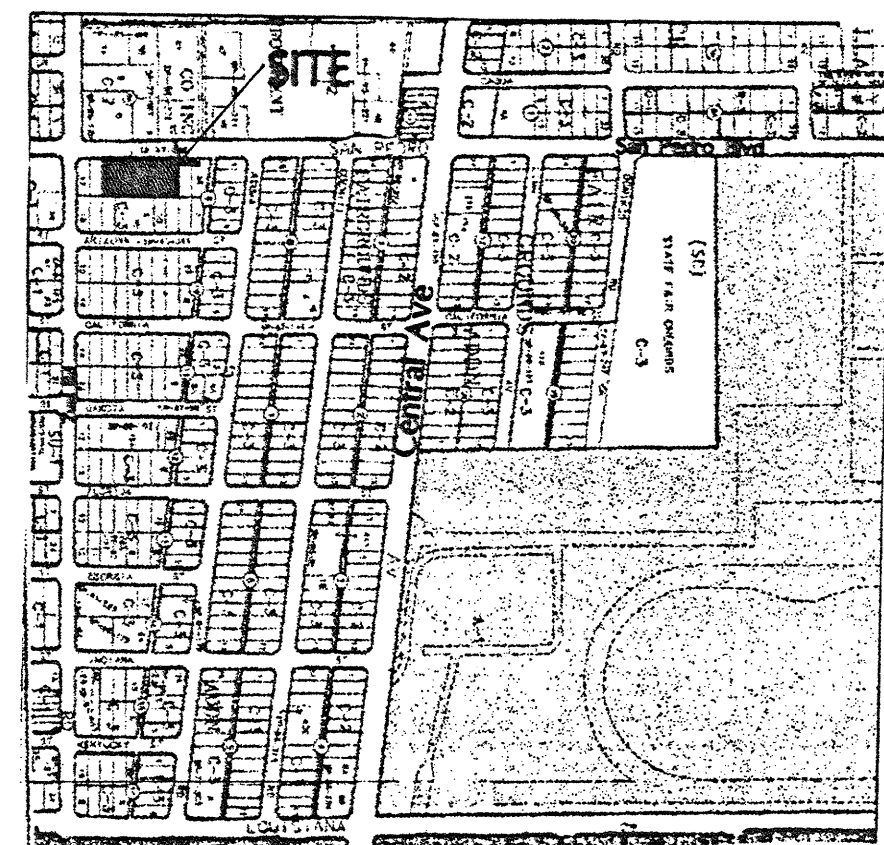
- x EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- x TO 0.00 EXISTING
- FL 0.00

TSW TOP OF SIDEWALK
GR GROUND
CONC. CONCRETE
0.00
0.00

BENCH MARK

ACS 9-K18 LOCATED
AT THE INTERSECTION OF
ZUNI & SAN PEDRO SE
ELEVATION 5292.50
TBM:
FINISH FLOOR OF EXISTING
BUILDING
ELEVATION 5292.80

AS-BUILT SPOT ELEVATION



Vicinity Map
K-18-2
1"=750'

GRADING/PAVING PLAN
410-416 SAN PEDRO SE

SCALE: 1"=20'
GRAPHIC SCALE
(IN FEET)

RECEIVED
OCT 27 1999
HYDROLOGY SECTION

410-416 SAN PEDRO SE
ALBUQUERQUE, NEW MEXICO

REVISION DATE

DATE

8-31-99

SHEET NUMBER

C-1

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

BERNALILLO COUNTY,
NEW MEXICO AND
INCORPORATED AREAS

PANEL 354 OF 825
(SEE MAP INDEX FOR PANELS NOT PRINTED)

CONTAINS:
COMMUNITY NUMBER PANEL SUFFIX
ALBUQUERQUE, CITY OF 350002 0354 D
BERNALILLO COUNTY 350001 0354 D
UNINCORPORATED AREAS

MAP NUMBER
35001C0354 D

EFFECTIVE DATE:
SEPTEMBER 20, 1996

Federal Emergency Management Agency

DRAINAGE CERTIFICATION FOR LOT 23 & 24 @ 410-416 SAN PEDRO SE

AS INDICATED BY THE AS-BUILT INFORMATION SHOWN HEREON: THE SITE AT 410-416 SAN PEDRO SE HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN DATED 8/16/99 WITH THE FOLLOWING DEVIATION:

1. A TRASH ENCLOSURE WAS PLACED IN THE MIDDLE OF THE EAST PROPERTY LINE.

THE DEVIATION DOES NOT IMPACT THE DRAINAGE CONCEPT IN ANY WAY. THE SITE DRAINAGE WILL FUNCTION IN ACCORDANCE WITH PATTERNS ESTABLISHED BY THE APPROVED PLAN. THEREFORE, A PERMANENT CERTIFICATE OF OCCUPANCY IS HEREBY RECOMMENDED. THE AS-BUILT INFORMATION SHOWN HEREON WAS OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

HAROLD L. BENNETT NMPE # 10776

