



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 27, 2002

Rebecca Lee, PE
Wilson & Company
4900 Lang Ave NE
Albuquerque, NM 87109

**Re: Marion Fox Memorial Park Renovation Grading and Drainage Plan
Engineer's Stamp dated 6-11-02 (K18/D78)**

Dear Ms. Lee,

Based upon the information provided in your submittal dated 6-11-02, the above referenced plan is approved for Work Order, Building Permit and Grading Permit.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, PWD
Development and Building Services

C: file

**CITY OF ALBUQUERQUE
DEVELOPMENT & BUILDING SERVICES CENTER
PUBLIC WORKS DEPARTMENT/HYDROLOGY**

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NUMBER: K18 DATE: 01/20/2000
CROSS REFERENCE NUMBERS: EPC DRB DRC 629391
SUBJECT: FOX MEMORIAL PARK PLAYGROUND RENOVATION
STREET ADDRESS: 700 ALVARADO DRIVE NE
SUBDIVISION NAME: BLOCK 16, TIJERAS PARK ADDITION
JMA PROJECT NO.: 990781

TYPE OF APPROVAL

	PRELIMINARY PLAT		FINAL PLAT
	SITE DEVELOPMENT PLAN		BUILDING PERMIT
X	OTHER DRC		ROUGH GRADING

<u>ATTENDEE:</u>	<u>ORGANIZATION:</u>	<u>PHONE:</u>
FRED AGUIRRE _____	CITY _____	924-3999 _____
JEFF MORTENSEN	JMA	345-4250

FINDINGS:

1. SITE IS AN EXISTING CITY PARK (DEVELOPED) WITHIN INFILL AREA
2. DRAINAGE SUBMITTAL REQUIRED FOR DRC APPROVAL; SUBMIT TO HYDROLOGY FOR REVIEW AND APPROVAL/RECORD KEEPING
3. DRAINAGE PLAN (NARRATIVE) MUST ADDRESS THE FOLLOWING:
 - a. FLOODPLAIN IN SAN JUAN RD. NE
 - b. EVALUATION OF EXISTING CONDITIONS BASED UPON SITE VISIT AND TOPOGRAPHIC SURVEY PROVIDED BY OWNER
 - c. DISCUSSION OF PROPOSED GRADING AS DESIGNED BY LANDSCAPE ARCHITECT AND EVALUATION OF THE IMPACTS OF THE PROPOSED WORK ON SITE DRAINAGE AND DOWNSTREAM CONDITIONS
4. BECAUSE OF LIMITED SCOPE OF WORK ILLUSTRATED BY JANUARY 10, 2000 SCHEMATIC DESIGN DRAWINGS, CALCULATIONS WILL NOT BE REQUIRED; A QUALITATIVE ANALYSIS OF CONDITIONS IS SUITED TO THIS TYPE OF PROJECT

THE UNDERSIGNED AGREE THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE ONLY SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THE FINDINGS ARE NOT REASONABLE OR THAT THEY ARE BASED UPON INACCURATE INFORMATION.

SIGNED: [Signature]
TITLE: _____
DATE: 7-0-00

SIGNED: _____
TITLE: CSU/ISU/UT/MT
DATE: 01/21/2000

NOTE: PROVIDE A COPY OF THIS RECAP WITH DRAINAGE SUBMITTAL

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO	1548	
CONNECTION TEL		93454254
SUBADDRESS		
CONNECTION ID	JMA Inc.	
ST. TIME	02/10 09:37	
USAGE T	01'08	
PGS.	2	
RESULT	OK	

FAX

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
(ONE STOP SHOP)
600 2ND STREET - PLAZA DEL SOL - 2ND FLOOR WEST
FAX NO. 924-3864

DATE: 2-10-00TIME: 9:40amNO. OF PAGES: 2
(INCLUDING COVER PAGE)TO: Jeff Mortensen Fax # 345-4254FROM: Fred Aguirre

COMMENTS:

City's copy

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE / HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO. A-14/B-14 DATE: December 6, 1999
PLANNING DIVISION NO'S: _____ ZONING: SU-1 DRB: _____
SUBJECT: Harkins Theaters Drainage Requirements
STREET ADDRESS (IF KNOWN): Seven Bar Loop, West of Old Coors
SUBDIVISION NAME: Tract MM, Seven-Bar-Ranch

APPROVAL REQUESTED: Site Plan for Subdivision
Site Plan for Building Permit

ATTENDANCE: Ryan Paulk, Easterling & Associates
Charles Easterling, P.E. Easterling & Assoc.
Fred Aguirre, P.E., City of Albuquerque

FINDINGS:

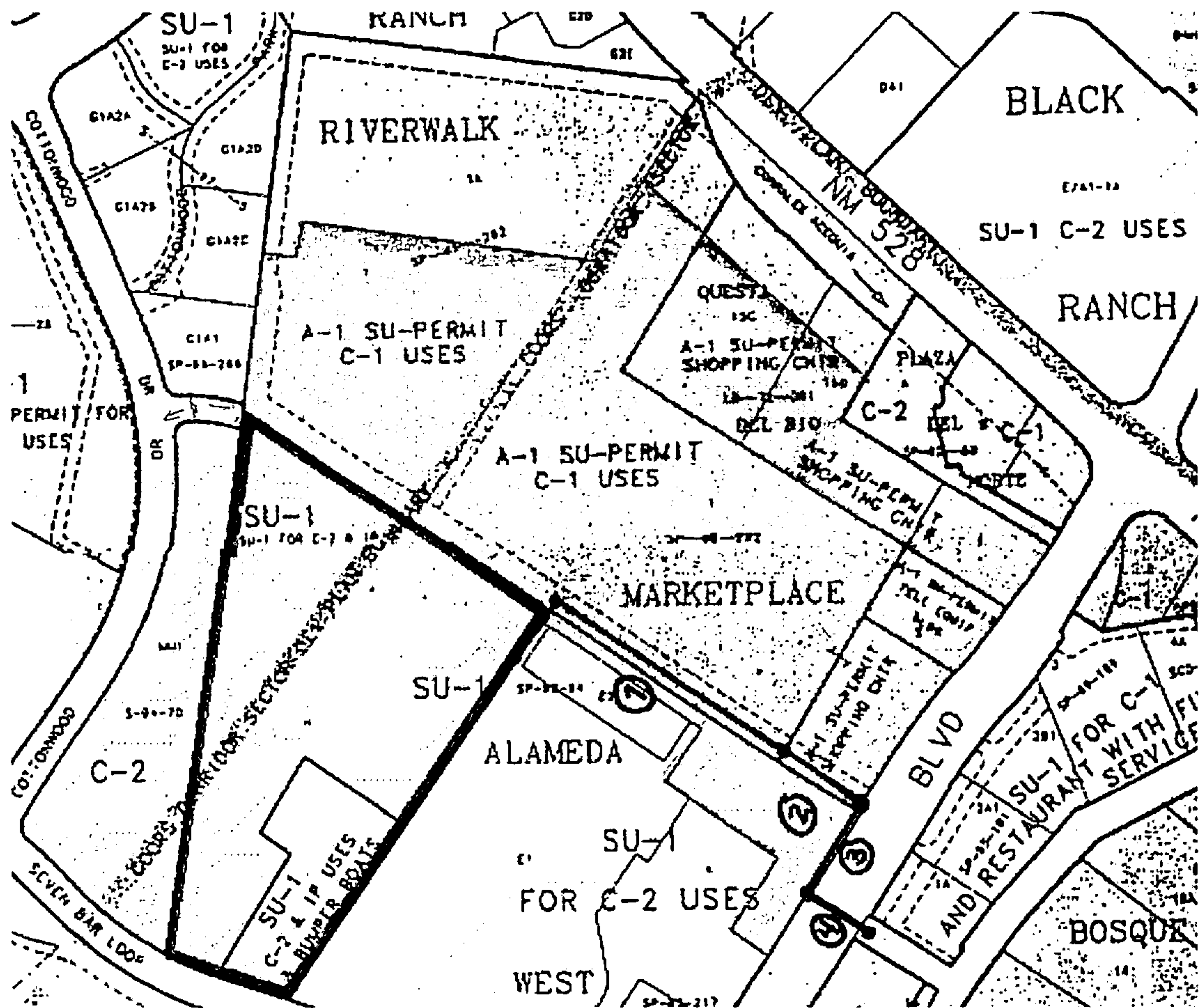
- Prepare a conceptual drainage master plan for the area draining to the new storm drain crossing of Coors.
- Allocate allowable discharges per North Coors Drainage Outfall Report (Wilson & Co. 1994) and SAD 223 assumptions.
- AMAFCA concurrence on Drainage Master Plan assumptions and flow rate allocations is required.
- A Drainage Covenant will be required for onsite pond.
- An SIA will be required for those private/public infrastructures required by the DRB.
- Drainage easements on site for out parcels is required.
- Certificate of Occupancy (C.O.) will be issued for project, consistent with drainage ordinances, if downstream facilities are designed and funded. (Existing annexation ordinance guarantees these improvements will be in place).
- Interim drainage improvements designed for 100-yr 24-hr storm will be allowed for C.O. if the complete storm drain system to the corrales Main Canal is scheduled for construction within one year, otherwise, the pond will have to be designed for a 100yr ten-day storm.

THE UNDERSIGNED AGREES THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THEY ARE NOT REASONABLE OR THAT THEY ARE BASED ON INACCURATE INFORMATION.

SIGNED: Fred Aguirre 12/10/99 SIGNED: James J. Houshaker
TITLE: City Engineer TITLE: _____

NOTE PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.

Harkins Theatres Drainage Improvements Estimated Costs



**all costs include contingencies, NMGR, engineering fees, inspection fees, construction survey fees, and testing fees.*

***Harkins cost does not include \$19,249 cost to construct temporary retention pond on Tabot property.*

Owner	Cost Pipe #1	Cost Pipe #2	Cost Pipe #3	Engineering #4	Total Cost
Harkins	\$32,969	\$9,236	\$9,001	\$2,822	\$54,028
Tabot	\$0	\$9,366	\$8,012	\$2,512	\$19,890
Rembe	\$0	\$0	\$3,309	\$1,037	\$4,346
TOTAL	\$32,969	\$18,602	\$20,322	\$6,371	\$78,264

ANNEXATION AGREEMENT

THIS AGREEMENT ("Agreement") is entered into this 1st day of December, 1997, by and between the CITY OF ALBUQUERQUE, a municipal corporation (the "City"), and ARMIN REMBE and PENNY REMBE, husband and wife ("Owner").

WHEREAS, the City desires to annex certain real properties, into the City, which properties are owned by Owner, and which properties are more particularly described in Exhibit "A" attached hereto and incorporated herein (the "Property"); and

WHEREAS, the Owner owns the Property for the purposes of improving and developing the same as a retail/office/service commercial center; and

WHEREAS, the zoning of the Property is presently subject to the zoning jurisdiction of the Comprehensive Zoning Ordinance, Bernalillo County, New Mexico, adopted by the Bernalillo County Board of County Commissioners; and

WHEREAS, the Owner has already obtained zoning, drainage plan and site development plan approval from Bernalillo County for approximately 106,000 square feet of retail commercial development under a special use permit (the "County Zoning"); and

WHEREAS, the development of the Property within the corporate limits of the City would be beneficial to the City; and

WHEREAS, the annexation of the Property would facilitate the annexation of other adjacent properties already developed for

various commercial and retail uses; said annexation would also be beneficial to the City; and

WHEREAS, the City desires to adopt a zoning classification that will allow development of the Property consistent with the County Zoning and without redundant planning efforts and costs to be incurred by the Owner; and

WHEREAS, development of the Property in accordance with such zoning is in accordance with sound planning and development of the City; and

WHEREAS, the City would extend its zoning, building, health and other municipal regulations and ordinances over the Property thereby protecting the City from possible undesirable or inharmonious use and development of unincorporated areas surrounding the City; and

WHEREAS, the Property is located within the service area of the New Mexico Utilities Corporation (the "Utilities Corporation"), which utility has the capability to provide water and sewer utility service to the Property; and

WHEREAS, Owner agrees to petition for the annexation of the Property into the City upon the conditions set out herein;

WHEREAS, the Owner has consented to expand its annexation petition to facilitate the City's annexation of additional adjacent properties; and

WHEREAS, the Property is adjacent to the Tabet Property which is the subject of a pending annexation and zoning request in City Actions AX-97-171/Z-97-106/SD-78-3-8); the Property and the Tabet Property have the same County Zoning.

NOW, THEREFORE, in consideration of the foregoing and of the mutual covenants and conditions herein, the City and the Owner agree as follows:

1. The Owner has executed and filed a conditional petition with the City Planning Division seeking the annexation of the Property into the City (the "Annexation Request"), application for establishment of zoning of the Property (the "Zoning Request"), and application for an amendment to the Seven Bar Ranch Sector Development Plan (the "Sector Plan Request").

2. The Owner hereby amends its annexation petition to include properties in the vicinity of the intersection of Coors Boulevard and Highway 528, improved with a McDonald's restaurant, a bank, a Wendy's restaurant, a vacant restaurant building, and a telephone transfer station.

3. The Annexation Request, the Zoning Request and the Sector Plan Request [collectively the "Land Use Submittals"] seek translation of the County Zoning into City SU-1 and C-2 and IP uses for the Property, simultaneous with its annexation (the "Proposed Zoning"). The Proposed Zoning is not in significant conflict with the adopted Sector Plan, other City Plans including

the West Side Strategic Plan (the "West Side Plan") is consistent with the zoning of surrounding properties, and is consistent with the County Zoning.

4. City Planning Staff has recommended to the City Environmental Planning Commission (the "EPC") and the City Council (the "Council") approval of the Land Use Submittals and the City agrees that no other policies or plans of the City need be amended to accommodate the Land Use Submittals.

5. The City agrees to cooperate with the Owner and work with all appropriate public bodies in addressing whatever neighborhood and regional planning considerations may be involved in developing the Property pursuant to the Land Use Submittals.

6. It is agreed that necessary services requiring capital expenditures such as major streets, water, sanitary sewer and storm water facilities shall generally be made available to the Property by the City pursuant to its normal capital improvements program and development policies and procedures. Until such time as the City is able to provide water and sanitary sewer service, Owner and/or Developer may contract with the Utilities Corporation, its assigns or successors-in-interest for services to the Property and the City shall make its facilities available to the extent necessary in order to enable the Utilities Corporation to serve the Property to the extent this is consistent with other City commitments and policies.

7. Until such time as the Owner or owners of all or a portion of the Property are served with City utilities, such portion of the Property shall not be subject to City water and sewer rates, including utility expansion charges.

8. The parties agree that this Agreement and the Land Use Submittals are, and shall be, expressly conditional upon the following:

a. The Property being zoned with the Proposed Zoning.

b. The City agrees to construct drainage improvements necessary to convey runoff from the Tabet Property under Coors Boulevard to the Corrales Main Canal (the "Coors Drainage Pipe", which term includes necessary appurtenances, such as inlet and outlet structures), the capacity of the Coors Drainage Pipe shall be equitably allocated to the Property, and to the Tabet Property.

The Coors Drainage Pipe shall be sized based upon the capacity of the down street drainage facilities. In the event that the Coors Drainage Pipe would have insufficient capacity to handle all of the storm drainage water from the Property, the owners of the Tabet Property and the Property shall, at their expense, construct such other drainage facilities, as are required to detain water on their respective properties. The design of the Coors Drainage Pipe shall be the joint responsibility of the Owner and Tabet. The Owner and Tabet will design the Coors Drainage Pipe and provide the City with construction drawings in accordance with City standards and

specifications. ~~The Owner, Tabet and the City will collectively pursue obtaining the required licenses and permits from AMAECA, MRGCD and the State Highway Department. The Coors Drainage Pipe shall be completed by the City within twelve (12) months after the Owner provides an approved set of construction drawings and~~ ^(and all necessary licenses, permits and easements.) AR/PR by Bob Paulsen specifications. Pending the construction of the Coors Drainage

Pipe, the Owner and Tabet can provide on their properties temporary drainage ponds.

Per
authorization
from John
Meyers
5:08 pm
12.2.97

c. During the zoning and/or site development planning process for the Tabet Property the City agrees to provide: (i) reasonable vehicular access connection points between the Property and the principal access points on Coors Boulevard, Highway 528, and the roadway to be constructed between the Tabet Property and the Alameda West Shopping Center, (ii) a storm drainage corridor between the Property and the Coors Drainage Pipe.

d. It is anticipated that the build out of the Property will occur over a period in excess of five (5) years. Therefore, the parties agree that a Transportation Impact Study (TIS) and an Air Quality Impact Assessment (AQIA) will be required only after the trip generation from development on the Property for which site plans for building purposes are requested exceeds the trip generation thresholds established by the City.

e. The City's compliance with all other covenants and conditions contained in this Agreement.

f. Owner retains the right to withdraw this annexation petition at any time before final action by the City Council on the annexation petition.

9. In the event that the City does not elect to annex the Property with the Proposed Zoning and subject to all conditions contained herein, then the City agrees that the Owner may elect to withdraw the Petition. However, the City reserves the right to attempt to annex the Property in subsequent proceedings.

10. Should the Council, for any reason, move to modify the Land Use Submittals or any portion thereof, Owners may withdraw the Land Use Submittals.

11. Final action shall be taken by the City on the Land Use Submittals without modification, unless modification to the Land Use Submittals is expressly agreed to in writing by the City and Owner.

12. By entering into this Agreement, and by filing the Land Use Submittals, the Owner does not consent to the City's annexation of the Property nor waive any defense which it may have to such annexation unless said annexation is pursuant to the terms of this Agreement.

13. It is agreed and understood that Owner will have to comply with all applicable City ordinances, plans, policies and procedures in connection with the annexation, zoning and development of the Property, except as specifically noted herein.

It is similarly understood that all other property owners who have petitioned or who will petition for annexation into the City will also have to comply with all applicable City ordinances, plans, policies and procedures in connection with the annexation, zoning and development of their property.

14. It is understood and agreed that City and Owner each intend the other party to this Agreement to rely on the statements contained herein and that City and Owner are, in fact, entering into this Agreement in reliance upon the statements contained herein.

15. Nothing contained herein shall prevent the Owner from using the Property in any manner presently permitted, either now or during the annexation and zoning process, until the Land Use Submittals are acted upon.

16. This Agreement shall inure to the benefit of, and be binding upon the City, Owner and their respective assigns or successors-in-interest.

Executed the day and year first set out above.

ATTEST:

City Clerk

Date: _____

CITY OF ALBUQUERQUE, a municipal corporation

By: _____

Lawrence Bael

Chief Administrator Officer

Date: _____

Date: _____

OWNER: _____

ARMIN REMBE

PENNY REMBE

STATE OF NEW MEXICO)

) ss.

COUNTY OF BERNALILLO)

12, 1997, This instrument was acknowledged before me on December
by Armin Rembe and Penny Rembe.

Notary Public

My Commission Expires:

10/11/2000

STATE OF NEW MEXICO)

) ss.

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on December
____, 1997 by _____ as _____ of the
City of Albuquerque.

Notary Public

My Commission Expires:

EXHIBIT B

787

TO EASEMENT AGREEMENT
(Tabel/Riverwalk Property)

THE REMBE PROPERTY

That certain parcel of land being a portion of the Corrales Main Canal as shown on the corrected plat of "NORTHEAST PORTION OF THE BLACK RANCH", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 3, 1974, and being more particularly described by survey as follows:

BEGINNING at the Southeast corner, a point on the Southerly right of way line of said Corrales Main Canal, said point also being the Northwest corner of Lot 15A, as the same is shown and designated on the plat entitled "REPLAT OF LOT 15, QUESTA-DEL RIO SUBDIVISION, A SUBDIVISION WITHIN THE TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO", recorded in the office of the County Clerk of Bernalillo County, New Mexico, on May 25, 1971, whence New Mexico State Highway Commission Brass Cap number "NM-448-N12" bears S. 12 deg. 22' 40" E, 798.66 feet distant; Thence, N. 45 deg. 51' 29" W, 366.93 feet along said Southerly right of way line to a point of curvature; Thence, Northwesterly, 157.09 feet along said Southerly right of way line on the arc of a curve to the right (said curve having a radius of 643.69 feet and a chord which bears N. 38 deg. 52' 00" W, 156.70 feet) to a point on curve, said point being the Northwest corner of said Lot 15; Thence, N. 32 deg. 34' 23" E, 103.02 feet to a point on the Southerly right of way line of New Mexico State Highway No. 528; Thence, S. 45 deg. 51' 29" E, 176.19 feet along said Southerly right of way line to an intersection with the Northerly right of way line of the Corrales Main Canal;

EXHIBIT

A

Thence, S. 45 deg. 51' 29" E, 341.44 feet along said Northerly right of way line of the Corrales Main Canal and the Southerly right of way line of New Mexico State Highway No. 528 to a point; Thence, S. 32 deg. 08' 59" W, 122.68 feet to the Southeast corner and point of beginning of the parcel herein described.

TOGETHER WITH:

That certain parcel of land situate within projected Section 5, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, within the Town of Alameda Grant, being and comprising a portion of the Corrales Main Canal, as shown on the corrected plat of "NORTHEAST PORTION OF THE BLACK RANCH", recorded in the office of the County Clerk of Bernalillo County, New Mexico, on July 3, 1974, and being more particularly described as follows:

BEGINNING at the most Southwesterly corner, a point on the Southwesterly right of way line of said Corrales Main Canal, said point also being the Northwest corner of Lot 15-B, as the same is shown and designated on the plat entitled "REPLAT OF LOT 15, QUESTA DEL RIO SUBDIVISION, A SUBDIVISION WITHIN THE TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO", recorded in the office of the County Clerk of Bernalillo County, New Mexico, on May 25, 1971, whence the Northwest corner of projected Section 6, Township 11 North, Range 3 East, New Mexico Principal Meridian, (an existing 1-1/2" iron pipe in place) bears N. 56 deg. 55' 10" W, 8656.00 feet distant, and whence the New Mexico State Highway Commission Brass Cap number

"NM-448-N12" bears S. 24 deg. 42' 56" E, 1274.38 feet distant; thence, Northwesterly 242.34 feet along said Southwesterly right of way line on the arc of a curve to the right (said curve having a radius of 643.69 feet and a chord which bears N. 21 deg. 05' 24" W, 240.91 feet) to the Northwest corner of the parcel, a point on the Southwesterly right of way line of New Mexico State Highway No. 528; Thence, S. 45 deg. 51' 29" E, 198.09 feet along said Southwesterly right of way line of New Mexico State Highway No. 528 to the Northeast corner of the parcel; Thence, S. 32 deg. 34' 23" W, 103.02 feet to the most Southwesterly corner and point of beginning of the parcel herein described.

The full ownership interest in Lot 15C and Lot 15D as shown on the Replat of Lot 15B of the Questa Del Rio Subdivision, which Replat was filed for record in Bernalillo County on September 29, 1972, and is recorded in Vol. A4, Folio 33, of the Records of said County; together with the Southerly 175 feet of Lot 1 of Questa Del Rio, a Subdivision within the Town of Alameda Grant, Bernalillo County, New Mexico, as the same is shown and designated on the Plat of said Subdivision filed in the office of the County Clerk of Bernalillo County, March 8, 1950.

EXHIBIT B
(Page 3 of 3)

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED FOR RECORD

89 NOV -8 AM 10:11

MS807A PG 782-789
GLADYS M. DAVIS
CLERK & RECORDER
Deputy

PLANNING
DEPARTMENT
PLANNING DIV.
MYERS, OLIVER & PRICE
LAWYERS
6400 UPTOWN BOULEVARD, N.E.
SUITE 100-WEST
ALBUQUERQUE, NEW MEXICO 87110

JOHN A. MYERS
SCOTT OLIVER*
CHARLES P. PRICE III
KEVIN J. MCCREARY
HOPE MEAD WYNN
*ALSO LICENSED IN TEXAS

October 8, 1997

TELEPHONE
(505) 883-7771

FACSIMILE
(505) 883-7773

Telefaxed: 924-3339
Mr. Richard Dineen
Planning Department
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Armin and Penny Rembe
No. AX-97-7/Z-97-106

Dear Mr. Dineen:

Enclosed please find a revised Annexation Agreement between the City of Albuquerque and Armin and Penny Rembe for the annexation of ±10 acres located north of Coors Boulevard and south of Highway 528. Please review the agreement and give John a call with your comments.

Thank you.

Very truly yours,

MYERS, OLIVER & PRICE, P.C.

By: Karen Lee Arfman
Karen Lee Arfman
Legal Assistant

/kla

cc w/enc.:

Mr. Bob Paulsen (Telefaxed)
Mr. Russell Brito (Telefaxed)

OCT 8 1997 3:32 PM

PLANNING
DEPARTMENT
PLANNING DIV.

2.25
4/8
10

9800670
Bob Paulson

CONTRACT CONTROL FORM

Contact: David N. Suffling
Phone: 768-4500

Req: CCN: 9800670

PRELIMINARY REVIEW

Type of Agreement: Miscellaneous Services
Description: Annexation Agreement
Dept/Div: Legal/Land Use/Planning/Environmental
Vendor: Rembe, Armin and Penny Contract Term: 12/01/97 to: 12/31/2099
Contract Amount: \$0.00 Rec: _____ FY Aggregate: \$0.00
Contract Total: \$0.00
Fed Tax: _____ St Tax No.: _____ Date Submitted: 12/03/97

WAIVERS REQUIRED:

RFP: Ins: Waiver Letter Attached: _____
Approved: _____

PROCUREMENT:

DRAFT CONTRACT:

Recd by Legal: _____ Rejected/Returned to Dept: _____ / _____
Returned to Legal: _____ / _____ Approved: _____ Initials: _____

INSURANCE AND BONDS REQUIRED:

Bonds Required: NONE Attached: _____
Insurance Required: NONE Attached: _____

FINAL CONTRACT REVIEW

APPROVALS REQUIRED:	Date Delivered	Returned to Dept	Approved by	Approval Date
Purchasing:				
Asst. City Attorney:			<i>col</i>	<i>12-3-97</i>
CIP:				
City Attorney			<i>PMW</i>	<i>12-3-97</i>
CAO:			<i>LAL</i>	<i>12-2-97</i>
Others:				

Council: EC/Bill: N/A Approved: _____ Date: _____

DISTRIBUTION:

Vendor: _____ Date: _____ By: _____
User Dept: _____
Purchasing: _____
City Clerk: _____
Other: _____

Ky

**CITY OF ALBUQUERQUE
DEVELOPMENT & BUILDING SERVICES CENTER
PUBLIC WORKS DEPARTMENT/HYDROLOGY**

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO: K23 DATE: 01/06/2000
 PLANNING DIVISION NOS: EPC: N/A DRB: N/A
 SUBJECT: CITY VIEW PARK
 STREET ADDRESS (IF KNOWN): JEWEL PLATS NE
 SUBDIVISION NAME: TR A, CITY VIEW ESTATES, UNIT B

APPROVAL REQUESTED:

<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> SITE DEVELOPMENT PLAN	<input type="checkbox"/> BUILDING PERMIT
<input checked="" type="checkbox"/> OTHER <u>DEC</u>	<input type="checkbox"/> ROUGH GRADING

WHO

REPRESENTING

ATTENDANCE: FRED AGUIRRE CITY ENGINEER
JEFF MOLTENSON JMA/CONSULTANT

FINDINGS:

- 1- SITE IS AN EXISTING CITY PARK (DEVELOPED)
- 2- GRADING & DRAINAGE PLAN REQUIRED FOR DEC APPROVAL; SUBMIT TO HYDROLOGY FOR REVIEW
- 3- PLAN MUST ADDRESS FOLLOWING:
 - a - FLOODPLAIN IN JEWEL NS
 - b - IMPACT OF DEVELOPMENT ON FLOODPLAIN
 - c - SCOPE OF PROPOSED WORK AND GRADING
 - d - IMPACT OF PROPOSED MODIFICATIONS ON DOWNSTREAM CONDITIONS & SITE DRAINAGE
 - e - DEFICIENCIES IN EXISTING CONDITIONS RELATED TO DRAINAGE
- 4- DEPENDENT ON SCOPE OF WORK, CALCULATIONS MAY OR MAY NOT BE REQUIRED

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: _____	SIGNED: _____
TITLE: _____	TITLE: _____
DATE: _____	DATE: _____

****NOTE**** PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE / HYDROLOGY SECTION**

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO. G-15/D7A
PLANNING DIVISION NO'S: EPC: NA **ZONING:** M-2
SUBJECT: Priemere Distributing
STREET ADDRESS (IF KNOWN):
SUBDIVISION NAME: Tract A-1, Nance --JR

DATE: 5/19/00
DRB:

APPROVAL REQUESTED: Building Permit

ATTENDANCE: Fred J. Aguirre-City Engineer
 John Andrews, Paul Gonzales

FINDINGS:

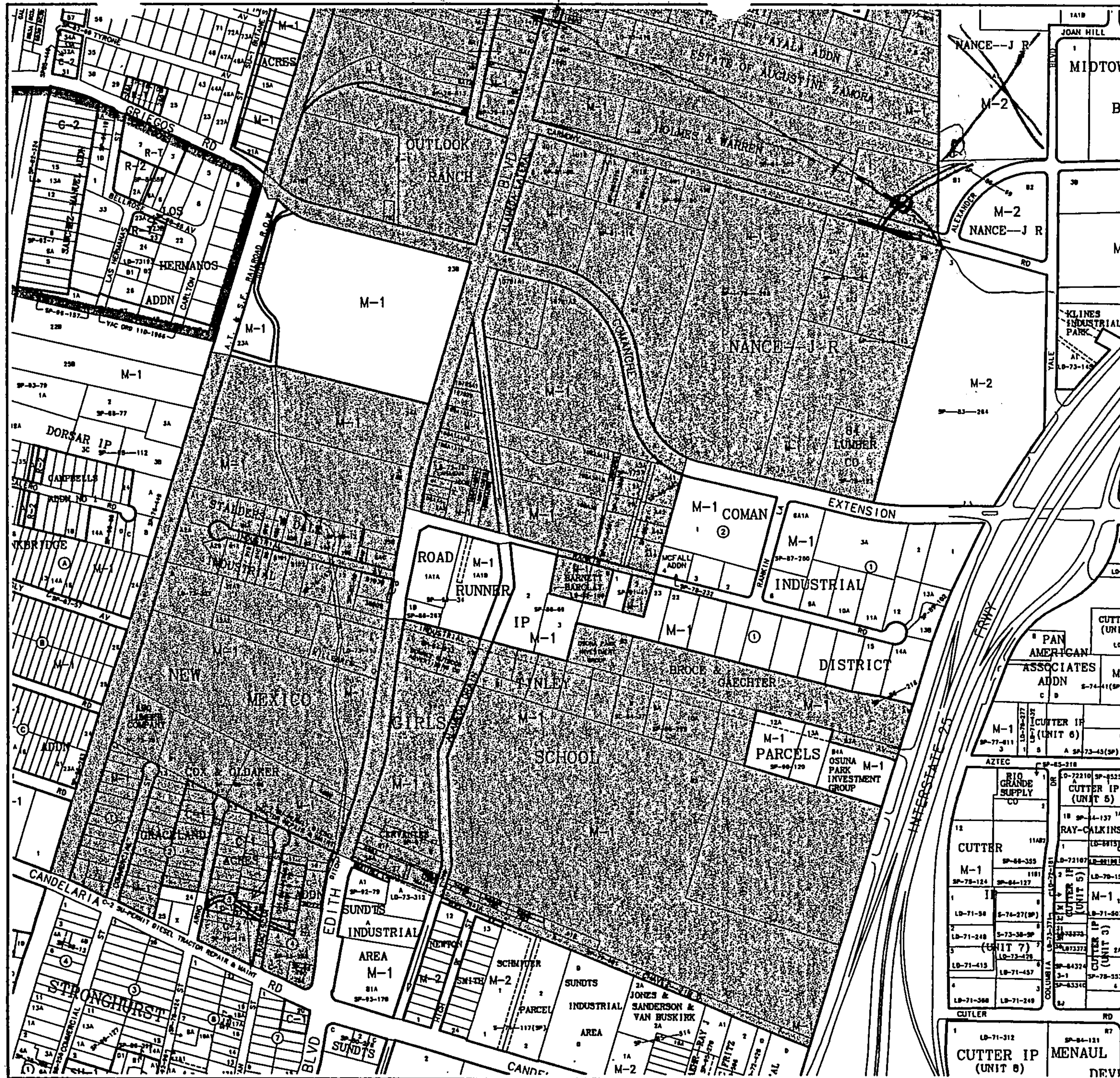
- Updated drainage report will be required for proposed building permit approval, vacation approval, DRC approval and approval of the pond reduction.
- The allowable discharge will be in accordance with SAD 216
- The proposed storm drain connection to the SAD storm drain will require a Work Order
- Easement width requirements will be per Chapter 22, section 6 of the DPM
- Include copies of the on-site and off-site easements with the drainage submittal
- Vacation of platted easements will be in accordance with the City's Subdivision Ordinance.
- Recorded paper easements can be released by the City Engineer.
- Provide a coordination plan for the connection to the SAD storm drain in Carmony Rd.

THE UNDERSIGNED AGREES THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THEY ARE NOT REASONABLE OR THAT THEY ARE BASED ON INACCURATE INFORMATION.

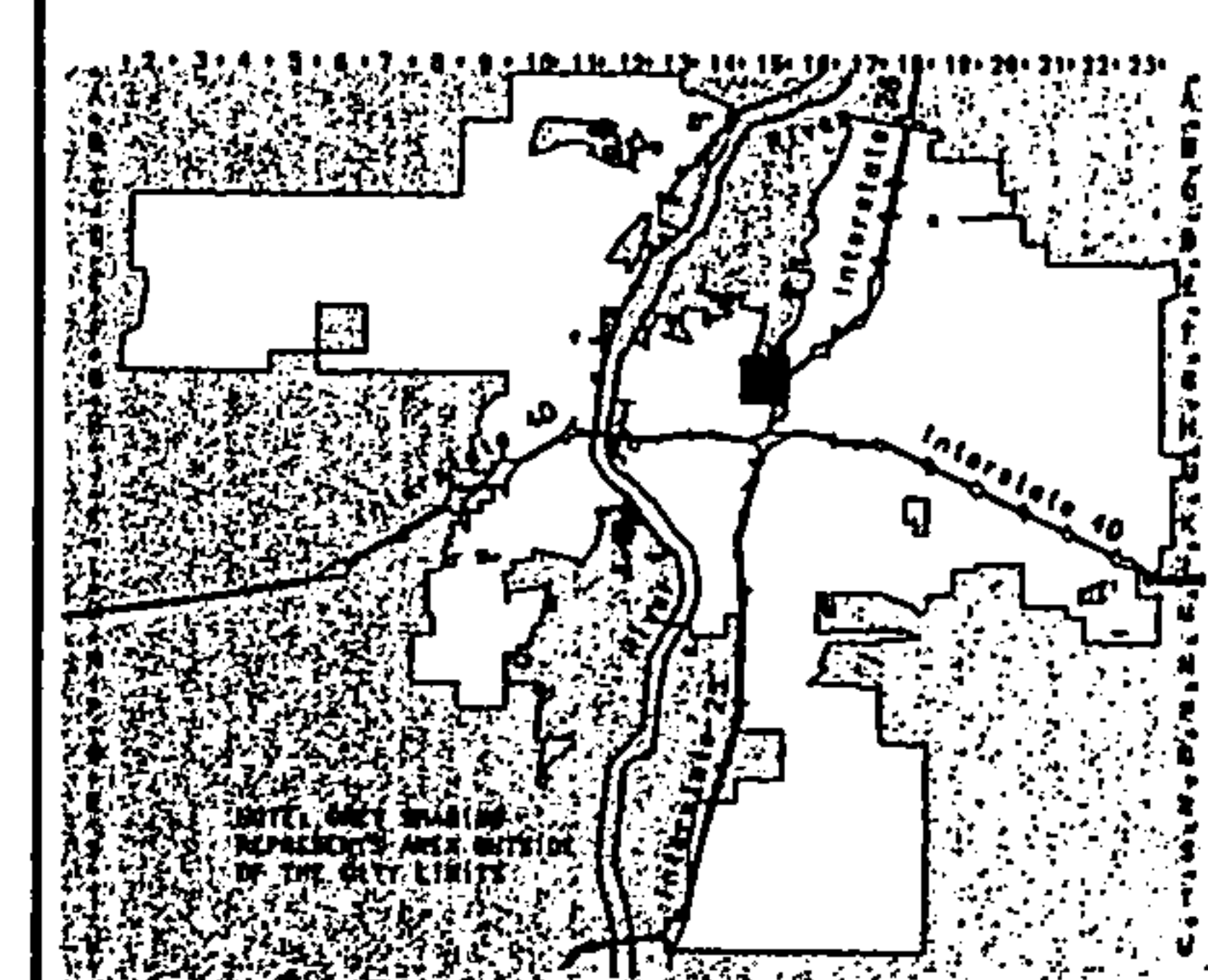
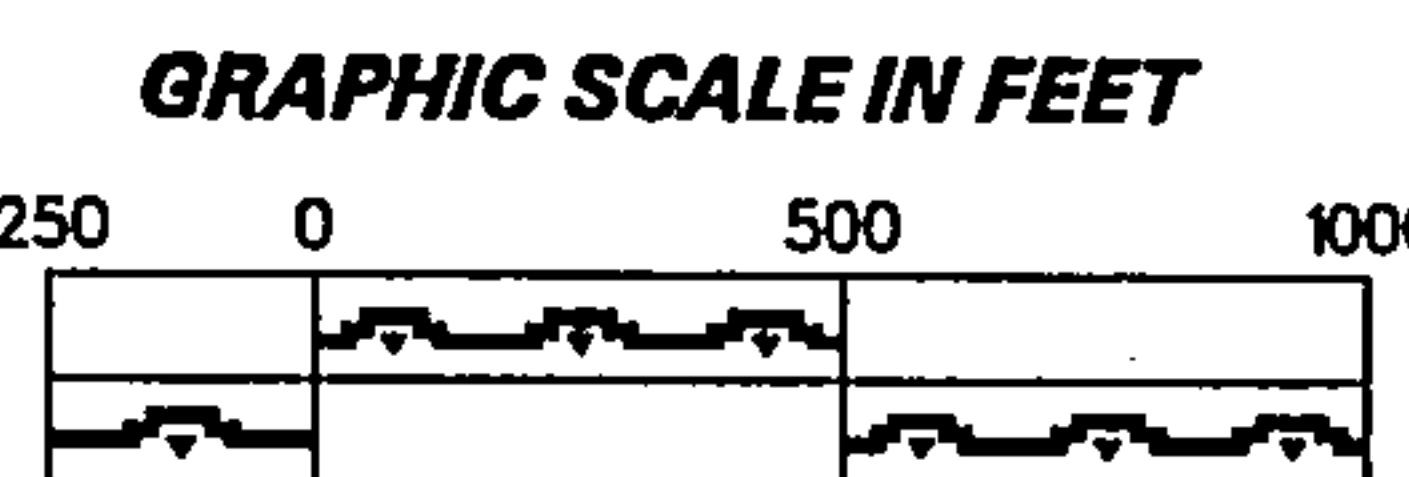
SIGNED: Fred J. Aguirre
TITLE : City Engineer

SIGNED:
TITLE :

****NOTE**** PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.



CITY OF
Albuquerque
Geographic Information System
PLANNING DEPARTMENT
© Copyright 1999



Zone Atlas Page G-15-Z

Map Amended through
September 16, 1999

fig
Auer-

Reduction 5021
- 1322
3.6 min 1322
71 74
Carr 16
883-16

 *** TX REPORT ***

TRANSMISSION OK

TX/RX NO	2276	
CONNECTION TEL		92750748
SUBADDRESS		
CONNECTION ID		
ST. TIME	06/01 13:14	
USAGE T	05'58	
PGS.	3	
RESULT	OK	

*GLORIA FAX
 TO John Andrews
 For his review
 and comments
 Larkin 275-0748*

City of Albuquerque
 Public Works Department
 505-924-3900 (main number)
 505-924-3864 (fax number)
 Development and Building Services (One Stop Shop)
 Plaza Del Sol Building, 2nd Floor
 600 2nd Street NW
 Albuquerque, NM 87102

**City of Albuquerque
 Public Works Dept.
 Dev. & Bldg. Svcs.**

Fax

To: John Andrews	From: Fred Aguirre
Fax: 275-0748	Pages Sent: 3 (including this page)
Phone:	Date: 06/01/00
	Time: 1:20pm

☐ Urgent
 ☒ For Review
 ☒ Please Comment
 ☐ Please Reply
 ☐ Please Recycle

COMMENTS:

For your review and comments please.

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE / HYDROLOGY SECTION**

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO. K-11

DATE: 6/16/00

PLANNING DIVISION NO'S: EPC: NA

ZONING:

DRB: NA

SUBJECT: **Herrera- Daniel G**

STREET ADDRESS (IF KNOWN):

SUBDIVISION NAME: **Lots 29 thru 36 of Herrera- Daniel G Subdivision**

APPROVAL REQUESTED: **DRC Approval**

ATTENDANCE:

Fred J. Aguirre-City Engineer

Diane Hoelzer, Amy Driscoll Mark Goodwin & Associates

Jim Mocho, Earl Ortega-Owners

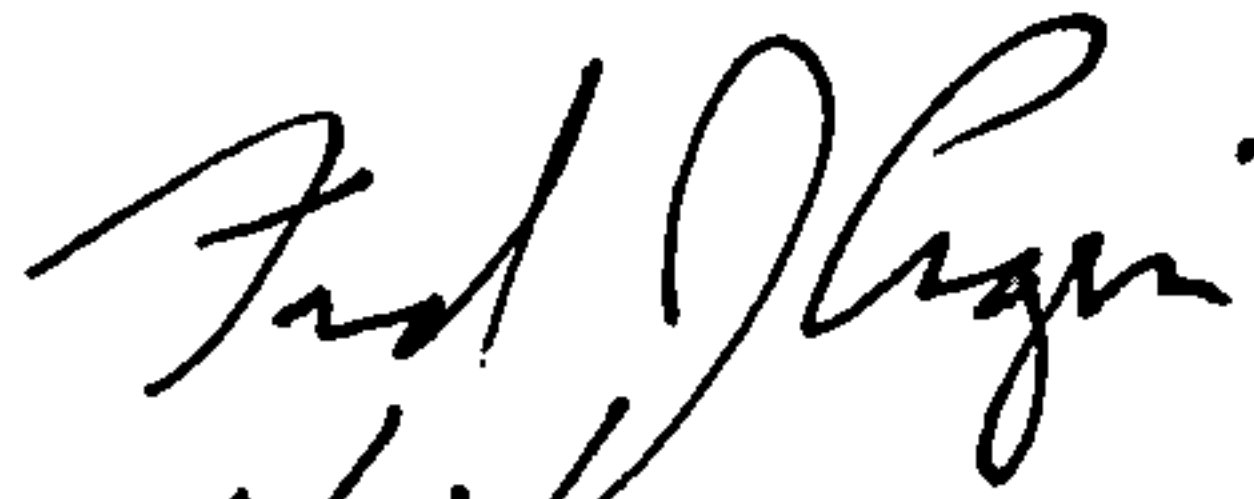
FINDINGS:

- An approved drainage report is required for DRC approval.
- Displaced volume must be accommodated on site.
- The finish floor elevation must be per the City's Flood Hazard Ordinance.
- Address all offsite flows impacting this site.
- Address the backwater effect from the two existing catch basins in Sunset Gardens.
- Identify the spillway elevation to Coors Blvd.
- The Procedure A Agreement will need to be modified to require a grading certification and the certification of the finish floor as a condition of City acceptance of the project.

Note: Flood insurance will more than likely be required for each residence.


THE UNDERSIGNED AGREES THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THEY ARE NOT REASONABLE OR THAT THEY ARE BASED ON INACCURATE INFORMATION.

SIGNED: **Fred J. Aguirre**
TITLE : **City Engineer**



6/16/00

SIGNED:
TITLE :

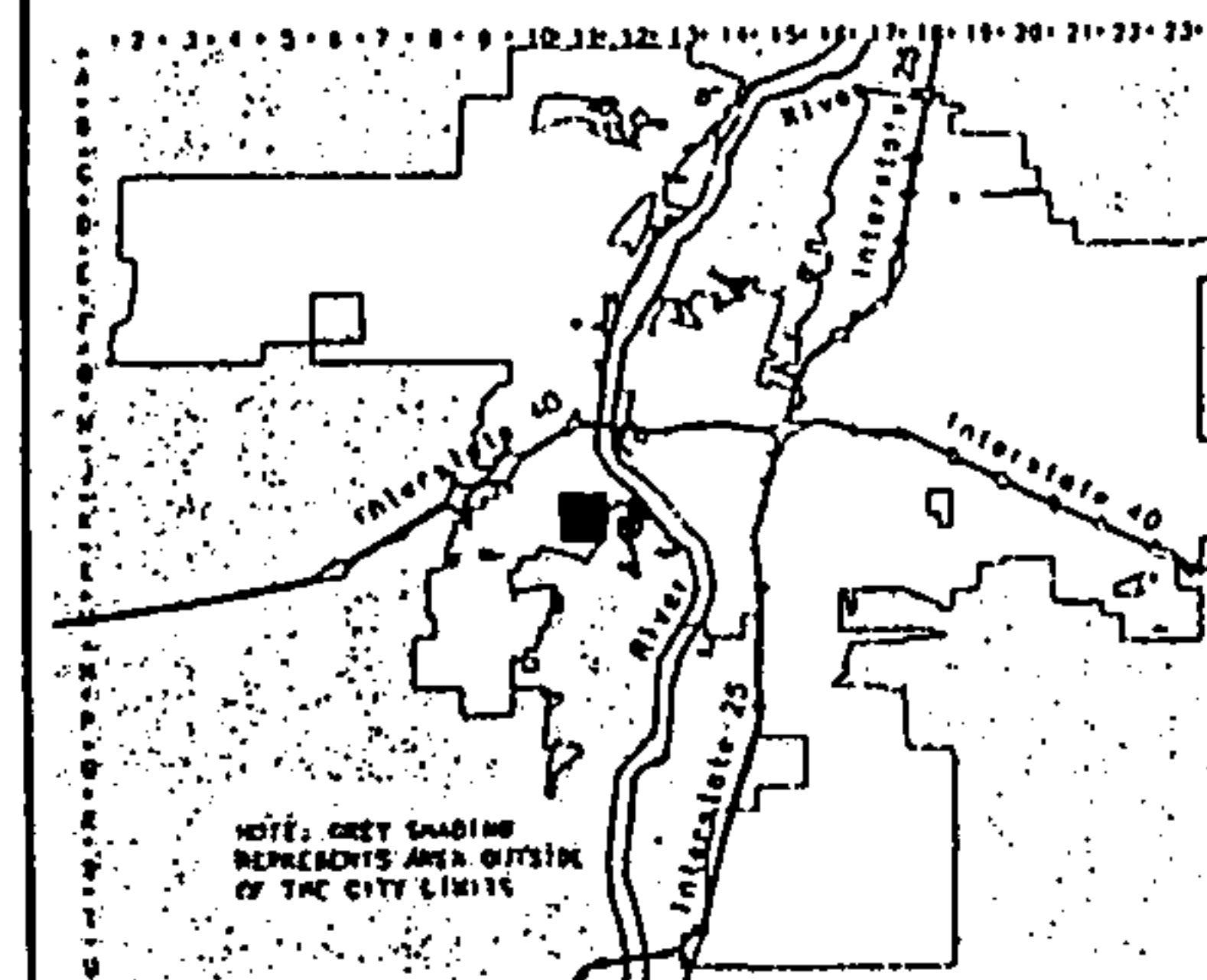
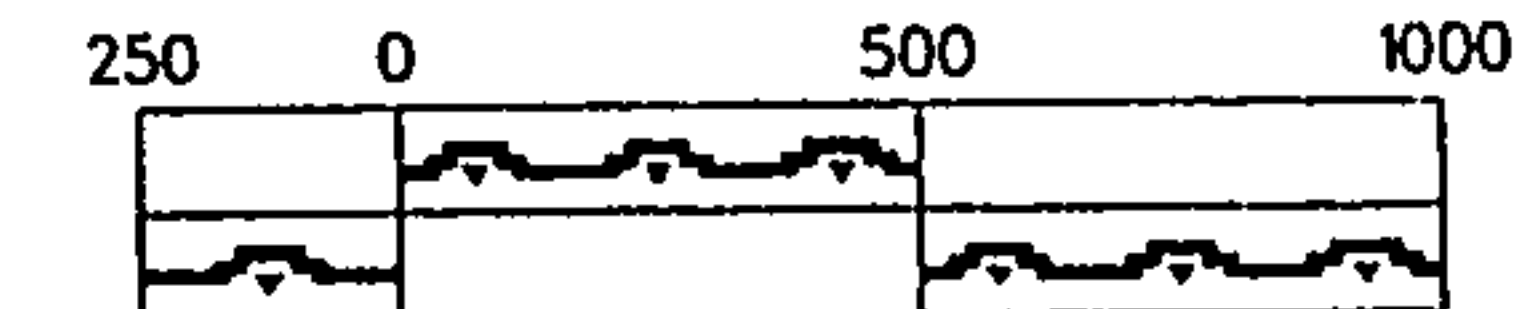


Project Engineer

****NOTE** PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.**



GRAPHIC SCALE IN FEET



Zone Atlas Page K-11-Z

Map Amended through
September 16, 1999

DIANE HOELZER



CITY OF
Albuquerque

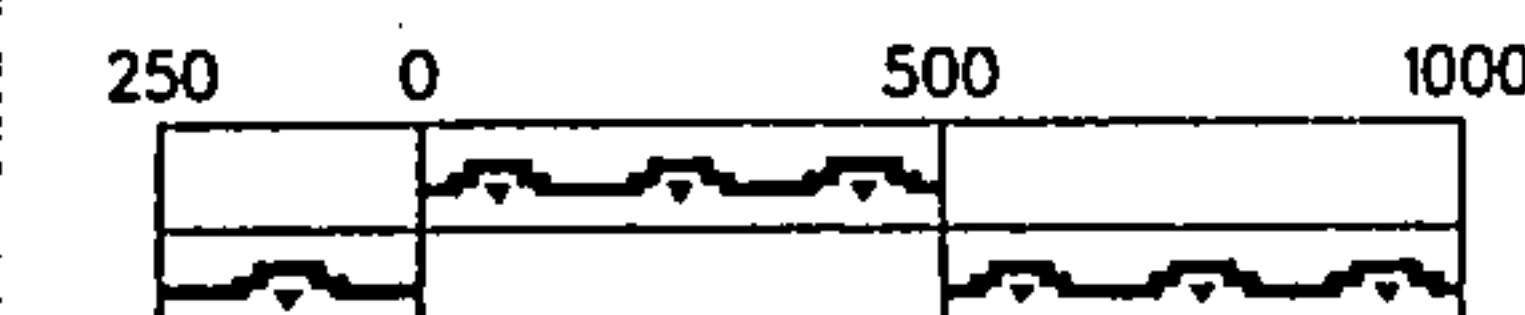
Albuquerque Geographic Information System
PLANNING DEPARTMENT

© Copyright 1999

AMY



GRAPHIC SCALE IN FEET



**CITY OF ALBUQUERQUE
DEVELOPMENT & BUILDING SERVICES CENTER
PUBLIC WORKS DEPARTMENT/HYDROLOGY**

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO: E-17 **DATE:** 05/11/2000
PLANNING DIVISION NOS: EPC: _____ **DRB:** _____
SUBJECT: LEE GALLES ON SAN MATEO
STREET ADDRESS (IF KNOWN): 6401 San Mateo Blvd. N.E.
SUBDIVISION NAME: TRACT A-1-A-2, TRIANGLE REALTY, INC., PARCELS B & C, LANDS OF HUGH B. WOODWARD

APPROVAL REQUESTED:

<p>____ PRELIMINARY PLAT</p> <p>____ SITE DEVELOPMENT PLAN</p> <p><u>XX</u> OTHER (Work Order)</p>	<p>____ FINAL PLAT</p> <p><u>XX</u> BUILDING PERMIT</p> <p>____ ROUGH GRADING</p>
---	--

WHO

REPRESENTING

<p>ATTENDANCE: <u>FRED AGUIRRE</u></p> <p><u>GRAEME MEANS</u></p>	<p><u>CITY OF ALBUQUERQUE</u></p> <p><u>JEFF MORTENSEN & ASSOCIATES, INC.</u></p>
--	---

FINDINGS:

Work Order required for public storm drain extension within existing 15' public drainage easement

No easement or platting requirements anticipated

Continued historic discharge is appropriate with NMSHTD approval

Drainage Report will include comprehensive site analysis and grading details for specific areas.

Site will continue to accept and convey offsite flows from San Mateo storm drain


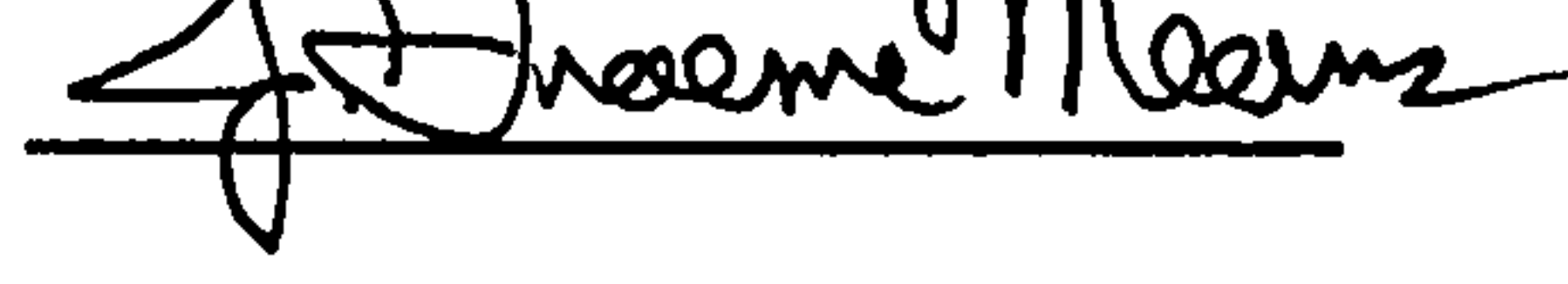
Offsite flows currently entering from San Mateo will be diverted around site by new waterblock and conveyed within San Mateo

Report must demonstrate that waterblock will not adversely impact downstream conditions

Work will not alter existing floodplain

Owner will request meeting with Far North Shopping Center to address discharge to San Mateo in violation of their approved Grading Plan

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

<p>SIGNED: <u></u></p> <p>TITLE: _____</p> <p>DATE: <u>5-18-00</u></p>	<p>SIGNED: <u></u></p> <p>TITLE: _____</p> <p>DATE: <u>05-19-00</u></p>
---	---

****NOTE** PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL**

JWA NO. 2000.024.2

CITY OF ALBUQUERQUE
DEVELOPMENT & BUILDING SERVICES CENTER
PUBLIC WORKS DEPARTMENT/HYDROLOGY

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO: E-17 DATE: 05/11/2000
PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: LEE GALLES ON SAN MATEO
STREET ADDRESS (IF KNOWN): 6401 San Mateo Blvd. N.E.
SUBDIVISION NAME: TRACT A-1-A-2, TRIANGLE REALTY, INC., PARCELS B & C, LANDS OF HUGH B. WOODWARD

APPROVAL REQUESTED:

____ PRELIMINARY PLAT ____ SITE DEVELOPMENT PLAN <u>XX</u> OTHER (Work Order)	____ FINAL PLAT <u>XX</u> BUILDING PERMIT ____ ROUGH GRADING
---	--

WHO

REPRESENTING

ATTENDANCE: <u>FRED AGUIRRE</u>	CITY OF ALBUQUERQUE
<u>GRAEME MEANS</u>	<u>JEFF MORTENSEN & ASSOCIATES, INC.</u>

FINDINGS:

Work Order required for public storm drain extension within existing 15' public drainage easement

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SIGNED: <u><i>Fred Aguirre</i></u>	SIGNED: _____
TITLE: _____	TITLE: _____
DATE: <u>5-18-00</u>	DATE: _____

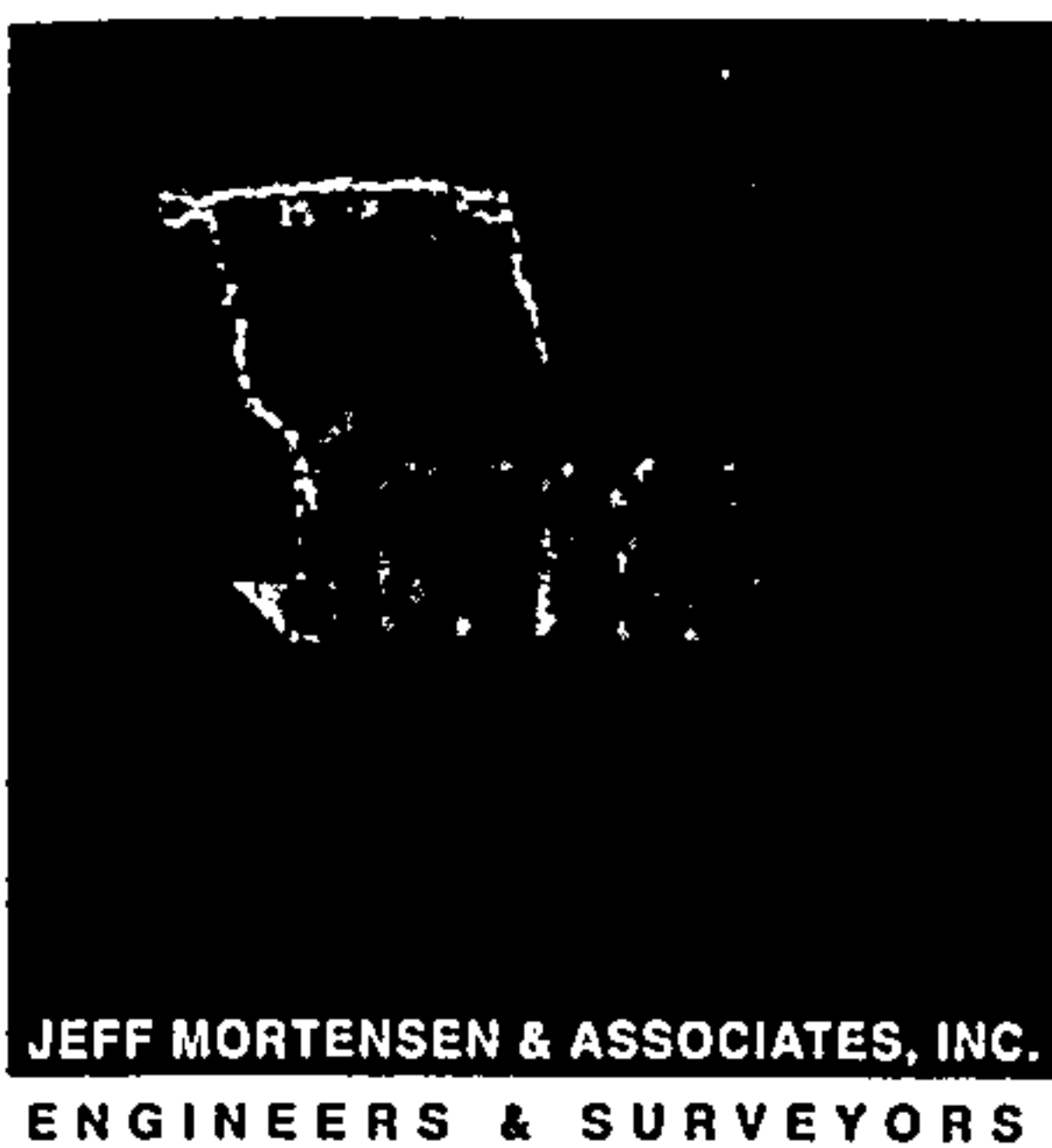
****NOTE**** PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL

Recd. 5/19/00 for Graeme Means.
2 sheets.
Christy J. Means

P-V 5/19/00
2:30p

Graeme Means
to sign

orig. to him
copies for our file w/
attach ltr



6010-B MIDWAY

PARK BLVD. NE

ALBUQUERQUE

NEW MEXICO

8 7 1 0 9

P R I N C I P A L S

JEFFREY G. MORTENSEN, P.E.

CHARLES G. CALA, JR., P.S.

J U A N M . C A L A

TEL:505-345-4250

FAX:505-345-4254

jmainc@swcp.com



2000.024.2

May 12, 2000

Fred Aguirre, P.E.
City Engineer
City of Albuquerque Public Works Department
600 Second Street N.W.
Plaza Del Sol – Second Floor
Albuquerque, NM 87102

Re: Lee Galles Pre-Design Meeting Recap

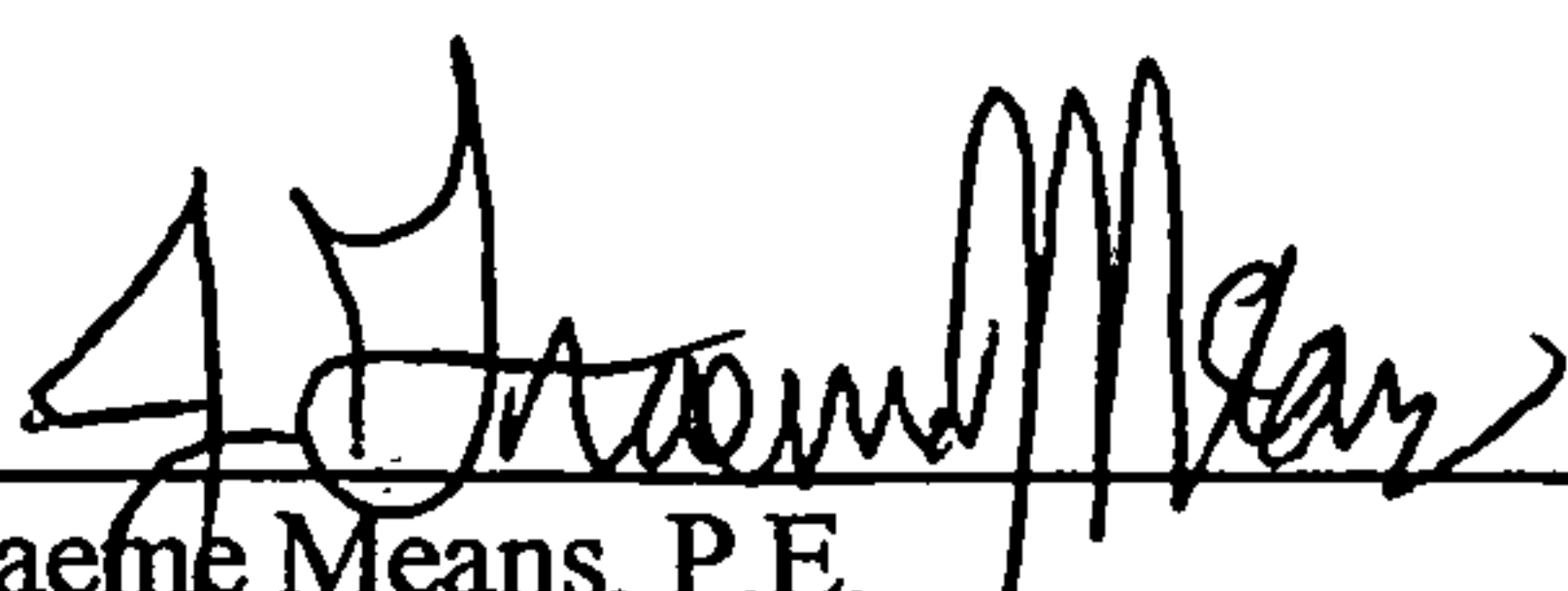
Dear Fred,

Transmitted herewith is a copy of the pre-design recap I prepared following our meeting yesterday. Please review it and let me know if you have any changes or comments so I can make the appropriate revisions. If it meets your approval, please let me know when I can pick up a signed copy. Thanks again for meeting with me.

Should you have any questions or comments concerning this transmittal or if I can be of any assistance to you, please do not hesitate to call.

Sincerely,

JEFF MORTENSEN & ASSOCIATES, INC.



J. Graeme Means, P.E.

GM: *
Enclosure

CONFERENCE RECAP

DATE: 8/25/00.
DRB:

ATTENDANCE: Fred J. Aguirre, PE-City Engineer
Sheila K. Johnson, AET; Richard J. Tietgens, PE; Kent Whitman, PE

RECEIVED
AUG 3 - 2000
HYDROLOGY SECTION



City of Albuquerque

March 30 2000

Jeff Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
6010B Midway Park NE
Albuquerque, NM 87109

RE: GRADING & DRAINAGE PLAN FOR FOX MEMORIAL PARK(K-18/D078)
ENGINEERS STAMP DATED 3/24/00 SUBMITTED FOR WORK ORDER
APPROVAL

Dear Mr. Mortensen,

Based upon the information provided in your March 24, 2000, submittal, the project referred to above is approved for Work Order. Please attach a copy of this approved plan to the construction sets, along with a copy of this approval letter prior to submission to the Design Review Committee (DRC) for their review.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
File

CITY OF ALBUQUERQUE
DEVELOPMENT & BUILDING SERVICES CENTER
PUBLIC WORKS DEPARTMENT/HYDROLOGY

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NUMBER: K18 DATE: 01/20/2000
CROSS REFERENCE NUMBERS: EPC DRB DRC 629391
SUBJECT: FOX MEMORIAL PARK PLAYGROUND RENOVATION
STREET ADDRESS: 700 ALVARADO DRIVE NE
SUBDIVISION NAME: BLOCK 16, TIJERAS PARK ADDITION
JMA PROJECT NO.: 990781

TYPE OF APPROVAL

<u> </u> PRELIMINARY PLAT	<u> </u> FINAL PLAT
<u> </u> SITE DEVELOPMENT PLAN	<u> </u> BUILDING PERMIT
<u> X </u> OTHER <u> </u> DRC <u> </u>	<u> </u> ROUGH GRADING

<u>ATTENDEE:</u>	<u>ORGANIZATION:</u>	<u>PHONE:</u>
FRED AGUIRRE	CITY	924-3999
JEFF MORTENSEN	JMA	345-4250

FINDINGS:

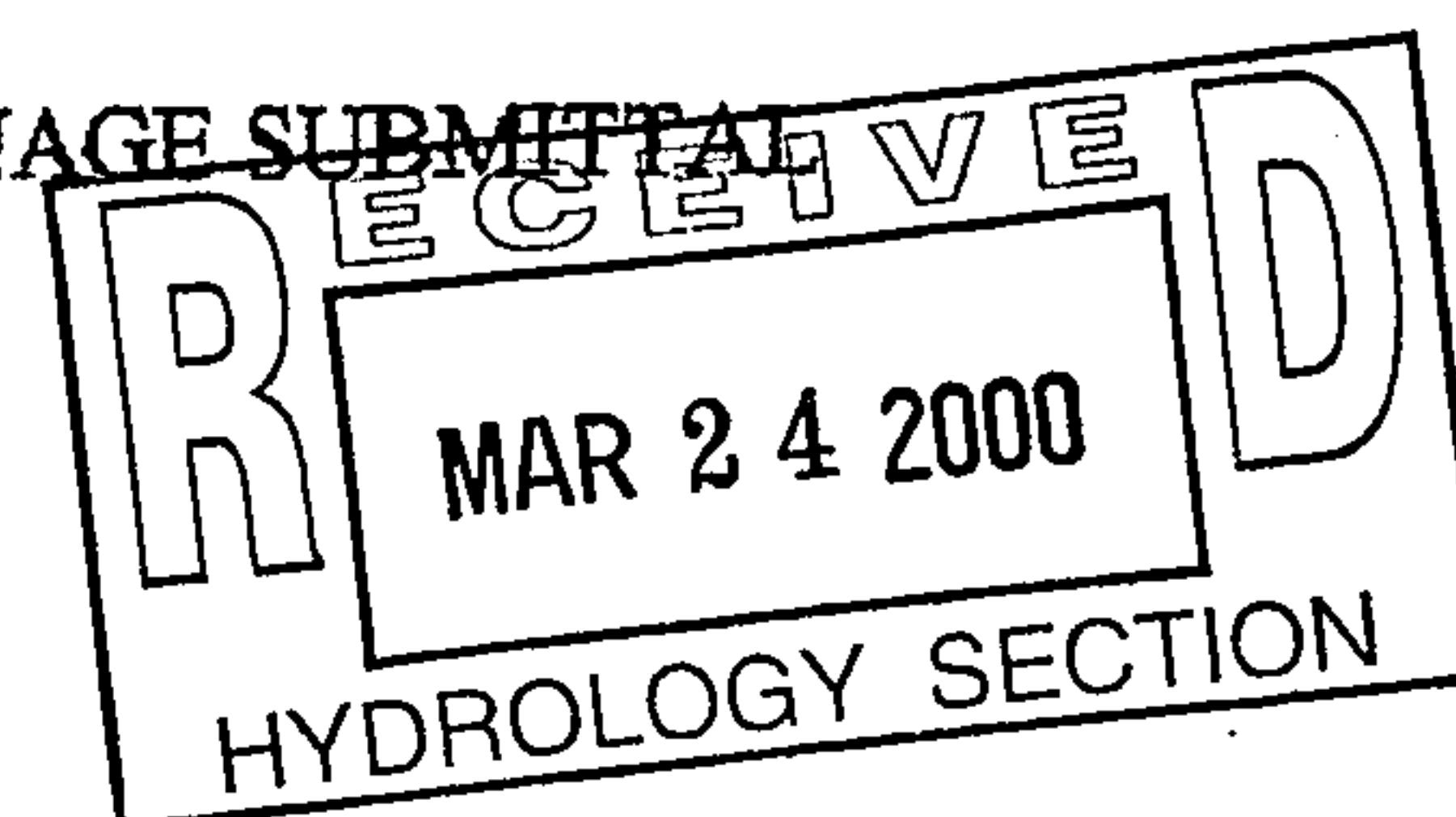
1. SITE IS AN EXISTING CITY PARK (DEVELOPED) WITHIN INFILL AREA
2. DRAINAGE SUBMITTAL REQUIRED FOR DRC APPROVAL; SUBMIT TO HYDROLOGY FOR REVIEW AND APPROVAL/RECORD KEEPING
3. DRAINAGE PLAN (NARRATIVE) MUST ADDRESS THE FOLLOWING:
 - a. FLOODPLAIN IN SAN JUAN RD. NE
 - b. EVALUATION OF EXISTING CONDITIONS BASED UPON SITE VISIT AND TOPOGRAPHIC SURVEY PROVIDED BY OWNER
 - c. DISCUSSION OF PROPOSED GRADING AS DESIGNED BY LANDSCAPE ARCHITECT AND EVALUATION OF THE IMPACTS OF THE PROPOSED WORK ON SITE DRAINAGE AND DOWNSTREAM CONDITIONS
4. BECAUSE OF LIMITED SCOPE OF WORK ILLUSTRATED BY JANUARY 10, 2000 SCHEMATIC DESIGN DRAWINGS, CALCULATIONS WILL NOT BE REQUIRED; A QUALITATIVE ANALYSIS OF CONDITIONS IS SUITED TO THIS TYPE OF PROJECT

THE UNDERSIGNED AGREE THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE ONLY SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THE FINDINGS ARE NOT REASONABLE OR THAT THEY ARE BASED UPON INACCURATE INFORMATION

SIGNED: [Signature]
TITLE:
DATE: 2-1-00

SIGNED: [Signature]
TITLE: Asst. Dir. of Public Works
DATE: 01/21/2000

NOTE: PROVIDE A COPY OF THIS RECAP WITH DRAINAGE SUBMITTAL



DRAINAGE INFORMATION SHEET

990782

PROJECT TITLE: FOX MEMORIAL PARK _____ ZONE ATLAS/DRNG FILE #_K18/1078

DRB #: _____ EPC #: _____ WORK ORDER #: 629391

LEGAL DESCRIPTION: _____ BLOCK 16, TIJERAS PARK ADDITION _____

CITY ADDRESS: _____ ALVARADO DRIVE NE _____

ENGINEER: JEFF MORTENSEN & ASSOCIATES, INC. CONTACT: JEFF MORTENSEN _____

ADDRESS: 6010B MIDWAY PARK BLVD NE, 87109 PHONE: 345-4250

OWNER: PARKS AND GENERAL SERVICES DEPT. CONTACT: DESIGN WORKSHOP _____

ADDRESS: 1801 4TH STREET NW _____ PHONE: 768-5300

ARCHITECT: DESIGN WORKSHOP _____ CONTACT: SEAN MALBY

ADDRESS: 901 RIO GRANDE NW, SUITE E130 PHONE: 243-8333

SURVEYOR: ALBUQUERQUE SURVEYING CONTACT: VLADIMIR JIRIK _____

ADDRESS: 2119 MENAUL NE 87107 PHONE: 884-2036

CONTRACTOR: NOT KNOWN _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:

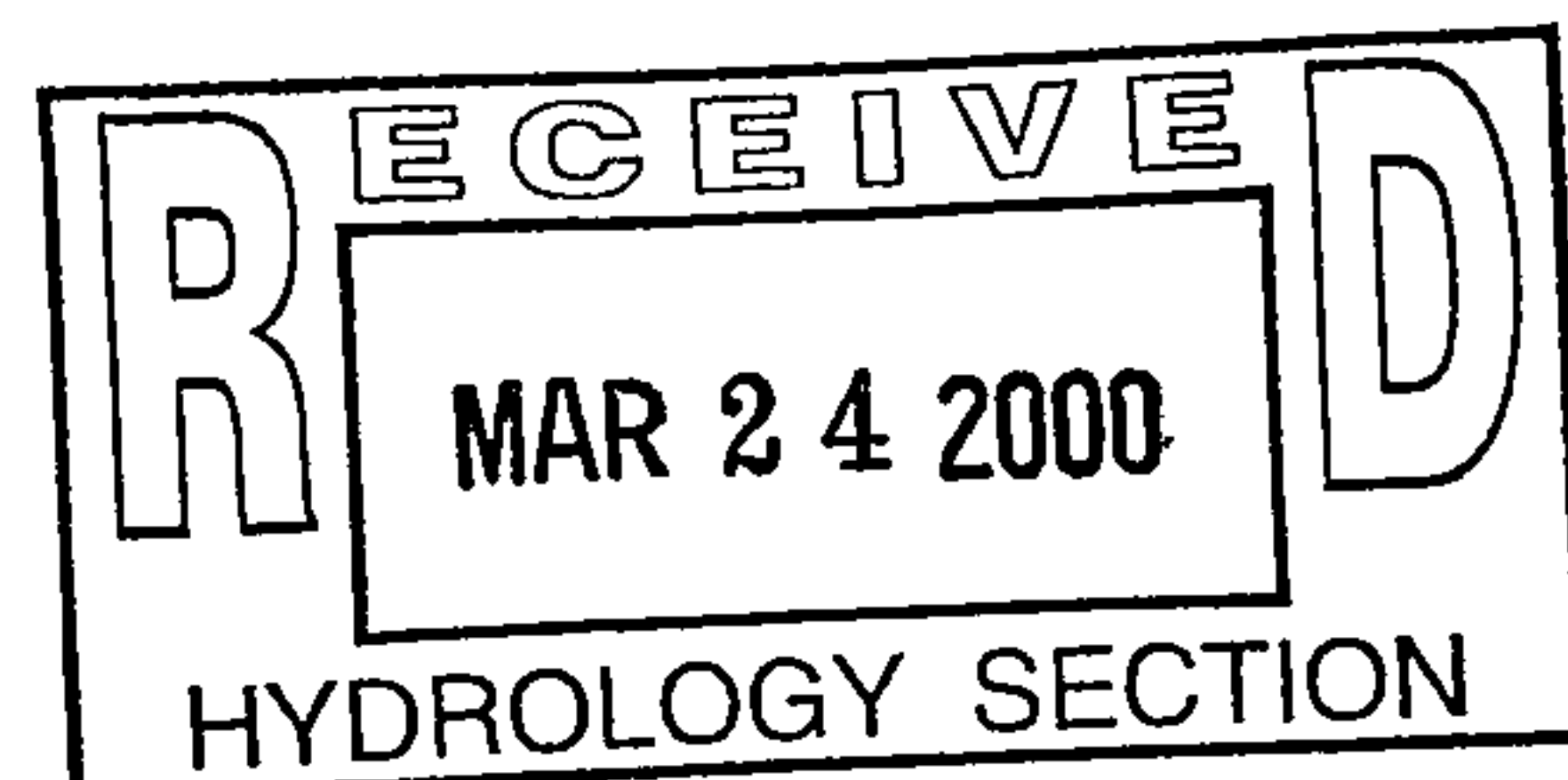
☒ YES
☐ NO
☒ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☒ OTHER: WORK ORDER _____ (SPECIFY)

DATE SUBMITTED: 03/24/2000

BY: JEFF MORTENSEN



10-23-01

1:30

FIGURE 6
CITY OF ALBUQUERQUE
NOTICE OF D.R.C. MEETING
10-16-01 ✓
(DATE)

DRB NO: _____
PROJECT NO: 629392
ZONE ATLAS: K-18

④

PROJECT NAME: Marion Fox Memorial Park Phase 2
LOCATION: Alvarado Dr & San Juan Rd NE

TYPE OF PROJECT: AHBA _____ CIP X PWC _____ SAD _____ ALL PRIVATE _____

Contact Person: Kim Romig Phone: 268-2266

Firm: Morrow, Pearson, Wilkinson, Ltd, Landscape Architects

COA Project Mang: Dorothy Vinsen Phone: 768-5355

Department: COA Park & Recreation

X Scheduled with the D.R.C. on 10-23-01 at 1:30 Plaza Del Sol/2nd Fl.
_____ No DRC Meeting Scheduled. Please return any comments by _____

The Project Is Scheduled For:

/ / Design Report Review	/ / Final Plan Review
/ / Pre-Design Meeting	/ / Signoff of Plans
<u>X</u> Preliminary Plan Review	/ / _____

The Project Relates To: NEED approved G&D Plan by SNA 3/00.
/ / Water / / San. Sewer / / Paving / / Storm Drainage X Landscape

The Attached Package Includes:

/D/ Drawings /S/ Spec's /E/ Estimate /R/ Report /M/ Memo Only

Indicated below are the Departments/Divisions that have received project documents and/or are invited to attend. It will be the Project Managers responsibility to notify consulting engineering firms of date and time of scheduled meetings.

/D/ DRC Chairman	Project Review Section	All Drawings
/D/ Traffic Repres.	Transportation Development	All Drawings
/ / Utility Dev.	Utility Design	All AHBA Drawings
/D/ Utility Dev. (Billy G.)	Utility Design	All CIP Drawings
<u>X</u> Hydro Repres. <u>MURRAY</u>	Hydrology	All Drawings
/D/ Const. Repres.	Construction	All Drawings
/D/ Dave Harmon	Traffic Operations	All Drawings
/D/ Doug Dailey	Water (Shutoff Plan)	All Water Shutoff
/D/ Parks Repres.	Parks & Recreation	ALL Landscaping
/ / Andre Houle	Street Maintenance	All Paving
/ / Tom Murphy	Transit Department	All Drawings
/D/ Joe Luehring	Construction Coordinator	CIP/Memo
/ / Jim Fink	Line Maintenance	CIP & SAS/Memo
/ / George Gee	City Architect	Arch. Drawings
/ / Tom Ellis	Park Management	Parks/Community Ctrs/APS
/ / Gene Bustamante	General Services Dept.	Arch. Drawings
/ / Greg Smith	PWD/Legal	Specs Only
/ / Richard Sertich	Planning Department	CIP/Memos
/ / CIP Project Manager	CIP	CIP/Memos
/D/ Donald Bartlett	Risk Management	Arch. Drawings
/D/ <u>Dorothy Vinsen</u>	<u>Parks</u>	_____
/ / _____	_____	_____
/M/ Master Scheduler	Project Review Section	All Memos

10-16-01 2:50 Notified Dorothy of DRC 5-48 date & time by phone
DRC NOTIC. UPD 10/15/2001

629392

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

K-18/D78

PROJECT TITLE: Marion Fox Memorial Park ZONE MAP/DRG. FILE#: K-18-Z
DRB#: 6293.92 EPC#: N/A WORK ORDER #: N/A

LEGAL DESCRIPTION: All of block numbered sixteen (16), Tijeras Park Addition, as the same is shown and designated on said plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on August 9, 1949 in Book: C, page 158.

CITY ADDRESS: 700 Alvarado Dr. NE

ENGINEERING: Wilson & Company CONTACT: Edward Cordova
ADDRESS: 4900 Lang Avenue NE PHONE: (505) 348-4000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: City of Albuquerque CONTACT: Dorothy Bisson
ADDRESS: PO Box 1293 PHONE: (505) 768-5300
CITY, STATE: Albuquerque, NM ZIP CODE: 87103

ARCHITECT: Morrow Reardon Wilkinson CONTACT: Elizabeth Reardon
ADDRESS: 210 La Veta PHONE: (505) 268-2266
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

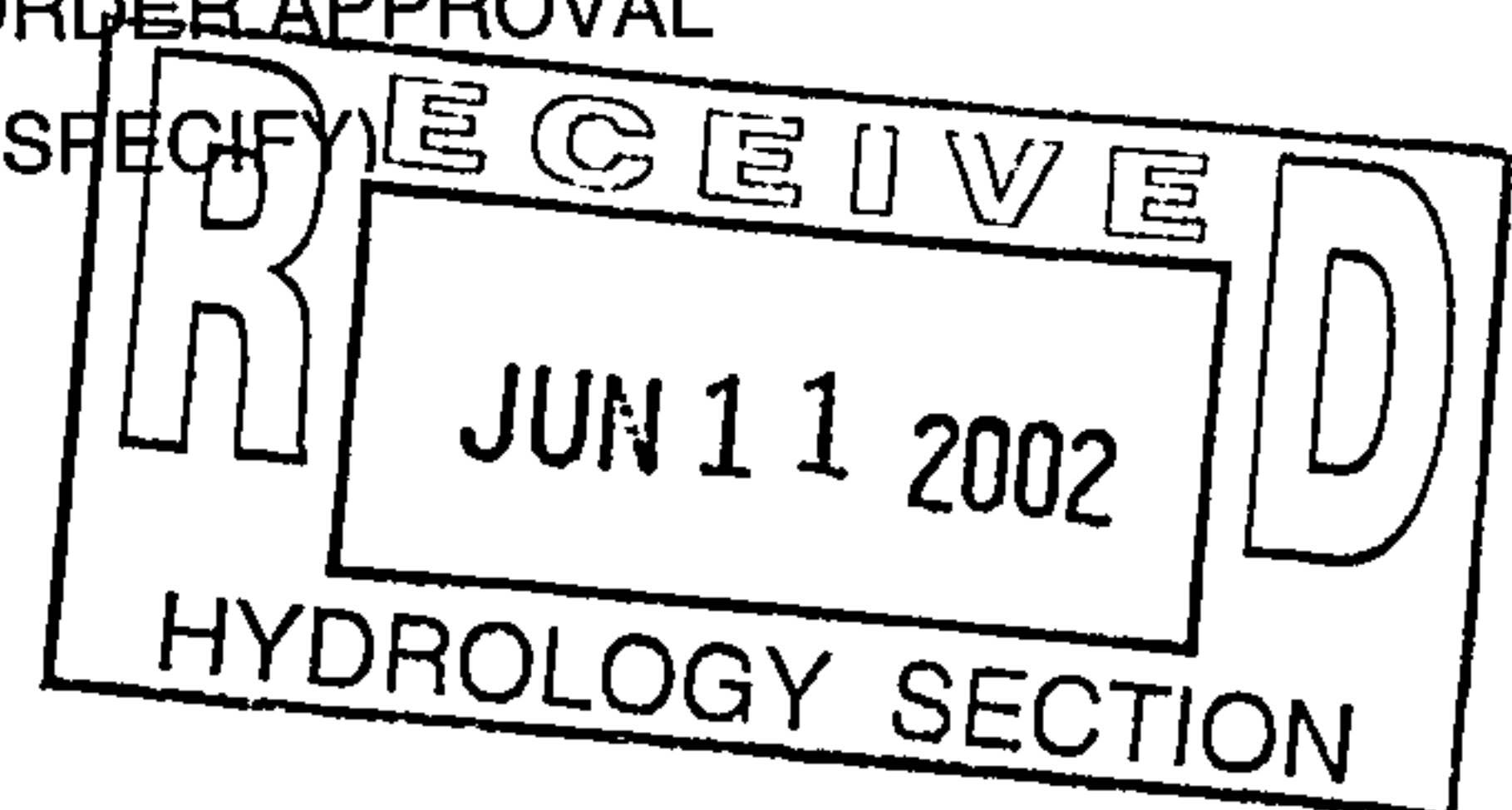
- ☒ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEERS CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB. APPR. SITE PLAN)
☐ OTHER - AS-BUILTS

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY (PERM.)
☐ CERTIFICATION OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED



Date Submitted: June 11, 2002 By: Edward S. Cordova

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

WILSON & COMPANY

4900 Lang Ave. NE
Albuquerque, NM 87109
P.O. Box 94000 87199-4000
505-348-4000

Albuquerque
Colorado Springs
Colton
Denver
Durango
Houston
Kansas City
Lenexa
Oklahoma City
Phoenix
Salina
Wichita

Letter of Transmittal

Date:

6/11/02

To:

BRAD BINGHAM

Attn:

Project Name:

Marion Fox Memorial Park Renovation

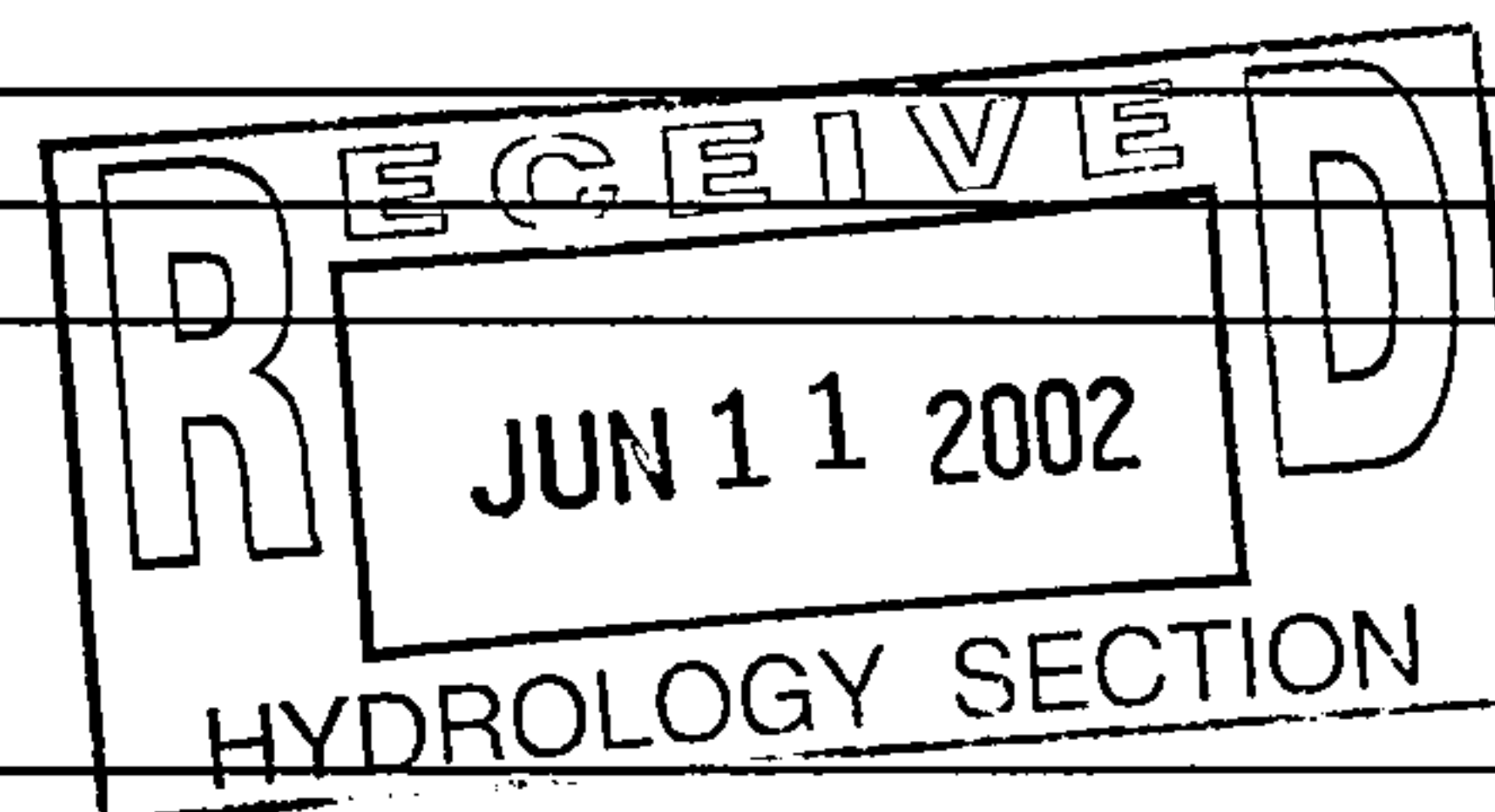
Project No.:

X7-210-005

We are sending you:

☒ Attached

☐ Under separate cover via



The following items:

☐ Originals

☐ Prints

☐

☐ Plans

☐ Samples

☐ Specifications

☐ Copy of letter

☐ Change order

Copies

Date

Description

2

Grading & Drainage Plan

These are transmitted as checked below:

☐ For approval

☐ For your use

☒ As required

☐ For review and comment

☐

☐ Approved as submitted

☐ Approved as noted

☐ Returned for corrections

☐ Resubmit ___ copies for review

☐ Submit ___ copies for distribution

☐ Return ___ corrected prints

Remarks:

BRAD,

GIVE ME A CALL, IF YOU HAVE ANY QUESTIONS.

Action requested:

Copies to:

Signed:

EDWARD CORDOVA

If enclosures are not as noted, kindly notify us at once.