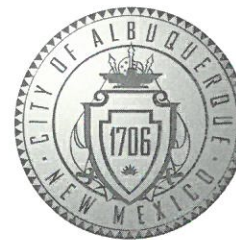


CITY OF ALBUQUERQUE



December 13, 2017

Martin Grummer, RA
Martin FM Grummer Architect
331 Wellesley
Albuquerque, NM 87106

Re: Clean Machine Car Wash
6016 Central Ave. SE
30-Day Temporary Certificate of Occupancy- Transportation Development
Transportation Development Final Inspection
Architect's Stamp dated 11-02-16 (K18-D079)
Certification dated 12-05-17

Dear Mr. Grummer,

Based upon the information provided in your submittal received 12-08-17, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. Construction fence shall be removed before the permanent CO will be issued.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Clean Machine Car Wash **Building Permit #:** _____ **City Drainage #:** K18D079
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 3-A-1, Tijeras Place Improvement Company Inc., Project Area 0.87 Acres
City Address: 6016 Central Ave SE

Engineering Firm: Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.
Address: 1005 21st Street SE, Suite A5, Rio Rancho, NM 87124
Phone#: 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: Martin FM Grummer Architect **Contact:** Martin Grummer
Address: 331 Wellesley Place NE, Albuquerque, NM, 87106
Phone#: 505-265-2507 **Fax#:** N/A **E-mail:** mgrummer@centurylink.net

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

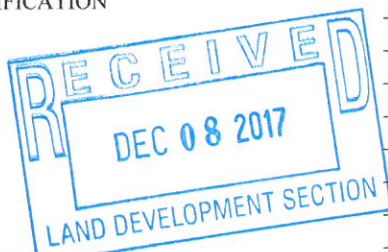
- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 12/5/2017 **By:** Jeffrey T. Wooten, P.E.

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

