# CITY OF ALBUQUERQUE



December 13, 2017

Martin Grummer, RA Martin FM Grummer Architect 331 Wellesley Albuquerque, NM 87106

Re:

Clean Machine Car Wash

6016 Central Ave. SE

30-Day Temporary Certificate of Occupancy- Transportation Development

Transportation Development Final Inspection

Architect's Stamp dated 11-02-16 (K18-D079)

Certification dated 12-05-17

Dear Mr. Grummer,

Based upon the information provided in your submittal received 12-08-17, Transportation Development has no objection to the issuance of a <u>30-day Temporary Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>30-day Temporary Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

1. Construction fence shall be removed before the permanent CO will be issued.

NM 87103

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to <a href="mailto:PLNDRS@cabq.gov">PLNDRS@cabq.gov</a> prior to submittal. If you have any questions, please contact me at (505) 924-3630.

www.cabq.gov

Sincerely,

Logan Patz

Senior Engineer, Planning Dept. Development Review Services

LWP

via: email

C:

CO Clerk, File



# City of Albuquerque

### Planning Department

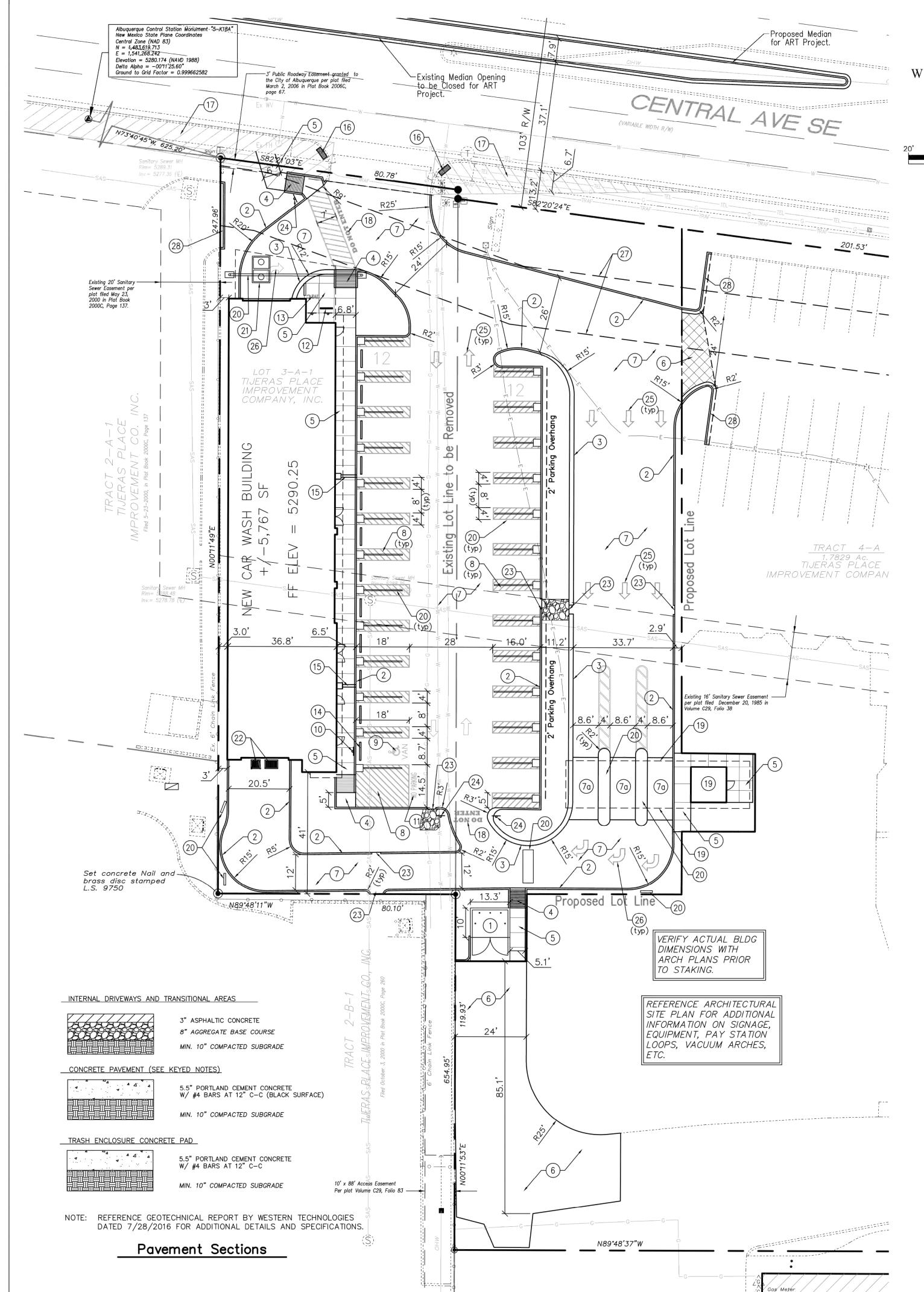
## Development & Building Services Division

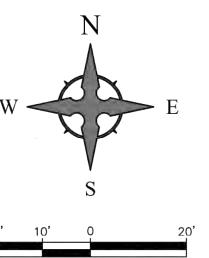
### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Clean Machine Car Wash		Building Permit #:	City Drainage #: KISOO
	PC#:		Work Order#:
Legal Description: Lot 3-A-1, Tijeras Place Improve	ement Company Inc., Project	t Area 0.87 Acres	
City Address: 6016 Central Ave SE			
Engineering Firm: Wooten Engineering			Contact: Jeffrey T. Wooten, P.E.
Address: 1005 21st Street SE, Suite A5, Rio Ranc			
Phone#: 505-980-3560 F	ax#: N/A		E-mail: jeffwooten.pe@gmail.com
Owner:			Contact:
Address:			
Phone#: F	ax#:		E-mail:
Architect: Martin FM Grummer Architect			Contact: Martin Grummer
Address: 331 Wellesley Place NE, Albuquerque, N	M, 87106		
Phone#: 505-265-2507 F	ax#: N/A	<u></u>	E-mail: mgrummer@centurylink.net
Other Contact:			Contact:
Address:			
Phone#: Fa			E-mail:
GRADING PLAN DRAINAGE MASTER PLAN	DEC 0 8 2017  DEVELOPMENT SECTION	SITE PLAN F SITE PLAN F FINAL PLAT SIA/ RELEAS FOUNDATIO GRADING PI SO-19 APPRO PAVING PER	SE OF FINANCIAL GUARANTEE N PERMIT APPROVAL ERMIT APPROVAL
TRAFFIC IMPACT STUDY (TIS)		WORK ORDER	
EROSION & SEDIMENT CONTROL PLAN	(ESC)	CLOMR/LOM	
OTHER (SPECIFY)		PRE-DESIGN N	MEETING CIFY)
IS THIS A RESUBMITTAL?: Yes X N	0		
DATE SUBMITTED: 12/5/2017	By: Jeffrey T. W	ooten, P.E.	

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_

COA STAFF:





SCALE: 1"=20'

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION
AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS
IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND,
WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE
INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST
48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION
OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE
PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

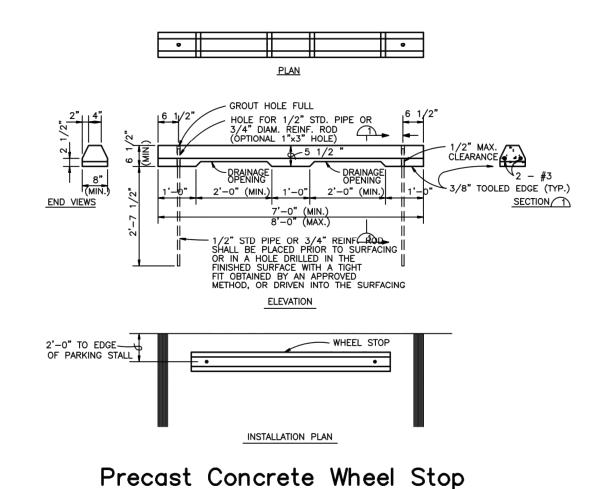
#### SITE INFORMATION

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR TO PROVIDE PARKING LOT STRIPING, FIRELANE AND HANDICAP STRIPING PER THESE PLANS AND CITY OF ALBUQUERQUE REQUIREMENTS.

TO PRESERVE THE PAINTING / STRIPING WITHIN PARKING AREAS, DO NOT APPLY PAINT UNTIL ALL OTHER POTENTIALLY DAMAGING CONSTRUCTION HAS BEEN COMPLETED.

PARKING CALCULATIONS						
BUILDING AREA:	AREA (SQUARE FEET)					
SERVICE AREA	1,777 SF					
TUNNEL AREA	3,990 SF					
PARKING REQUIREMENTS:	RATIO	REQUIRED	PROVIDED			
SERVICE AREA	1/200 SF	9 spaces				
TUNNEL AREA	1/1,000 SF	4 spaces				
TOTAL		13 spaces	24 spaces			
	REQUIRED	PROVIDED				
HANDICAP PARKING	1 space	1 space				
MOTORCYCLE PARKING	1 space	1 space				
BICYCLE PARKING	2 spaces	3 spaces				



# Logan Patz

Digitally signed by Logan Patz DN: cn=Logan Patz, o=COA, ou=Planning Transportation, email=Lpatz@CABQ.GOV, c=US Date: 2016.11.09 13:01:06 -07'00'

## TCL CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/2/2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JEFFREY T. WOOTEN, P.E. OF THE FIRM WOOTEN ENGINEERING. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 11/16/2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE IMPROVEMENTS BUILT ARE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. ANY DISCREPANCIES WERE PREVIOUSLY BROUGHT TO THE ATTENTION OF THE CONTRACTOR AND CORRECTIONS HAVE BEEN MADE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY (FINAL C.O.).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE SITE IMPROVEMENTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892





Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, N.M. 87124

Phono: (505) 080 2560



## VICINITY MAP Zone Atlas K-18

### LEGAL DESCRIPTION

Lot 3-A-1, Tijeras Place Improvement Company, Inc. Project Area = +/-0.87 Acres

### ZONING

### <u>KEYED NOTES</u>

1. DUMPSTER ENCLOSURE, PAD, & APRON. REF ARCHITECTURAL DETAILS SHEET

- 2. INSTALL VERTICAL CURB PER ARCHITECTURAL DETAILS SHEET A1.3.
- 3. INSTALL ROLL CURB PER ARCHITECTURAL DETAILS SHEET A1.3.
- 4. INSTALL PARALLEL CURB RAMP PER NMDOT STD DWGS 608-001, SHEETS 1-12. DETECTABLE WARNING SURFACE NOT REQUIRED UNLESS WITHIN PUBLIC R/W.
- 5. INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
- 6. INSTALL ASPHALT PAVEMENT, SEE PAVING DETAILS THIS SHEET.
- 7. INSTALL COLORED CONCRETE PER PAVING DETAILS THIS SHEET. COLOR: BLACK.

7a. USE 5'X5' DIAGONAL SCORING PATTERN ON BLACK CONCRETE PER ARCHITECTURAL PLANS.

8. INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). TWO COATS MINIMUM.

9. PAINTED WHEELCHAIR SYMBOL (BLUE) TO MEET ADA STANDARDS. TWO COATS MINIMUM.

10. INSTALL H/C SIGNAGE PER DETAIL ON SHEET A1.3. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. WHEN A POLE MOUNTED SIGN WILL NOT FIT WITHIN DESIGNATED AREA, SIGN SHALL BE BOLTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."

11. PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. TWO COATS MINIMUM.

12. INSTALL BIKE RACK WITH THREE (3) SPACES PER DETAIL SHEET A1.3.

13. MOTORCYCLE PARKING (4.5'x10'). ADD PAINT LABELS AND SIGNAGE PER COA STDS. TWO COATS MINIMUM.

14. INSTALL PRE-CAST WHEEL STOP PER DETAIL THIS SHEET.

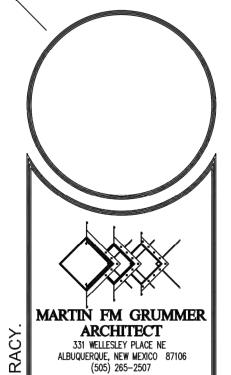
- 15. INSTALL 'SCUPPER THRU SIDEWALK' PER ARCHITECTURAL DETAILS SHEET A1.3.
- 16. INSTALL TRUNCATED DOMES AT EXISTING SIDEWALK CROSSING.

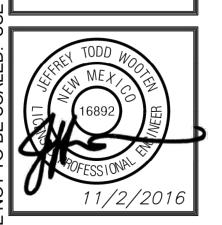
17. CLEAR SIGHT TRIANGLES (13'x90' TO RIGHT, 13'x350' TO LEFT) PER TRAFFIC ENGINEERING STANDARDS. LANDSCAPING & SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

- 18. PAINT 'DO NOT ENTER' ON PAVEMENT. 24" MINIMUM HEIGHT. YELLOW PAINT. TWO COATS MINIMUM.
- 19. PAY STATION KIOSK BUILDING AND CANOPY. REF ARCHITECTURAL PLANS.

20. BOLLARDS, VACUUM ARCHES AND OTHER EQUIPMENT PER ARCHITECTURAL PLANS

- 21. SAND / OIL SEPERATOR. REF SHEET C301 AND MEP PLANS.
- 22. CAR WASH DRAIN AND RAIL EQUIPMENT. REF ARCHITECTURAL PLANS.
- 23. CURB CUT FOR DRAINAGE. REF GRADING PLAN SHEET C201.
- 24. 'DO NOT ENTER' SIGN PER DETAIL 8, SHEET A1.3.
- 25. PAINT THROUGH ARROW PER FIGURE 3B-21 OF THE MUTCD. TWO COATS MINIMUM.
- 26. PAINT RIGHT TURN ARROW PER FIGURE 3B-21 OF THE MUTCD. TWO COATS MINIMUM.
- 27. PROPOSED 20' WIDE PUBLIC SAS EASEMENT TO ABCWUA.
- 28. MEDIAN CURB / GUTTER PER COA STD DWG 2415B.





CLEAN MACHINE CARWASH 6016 CENTRAL AVENUE SE ALBUQUERQUE, NM 8710

DATE:
12 SEPT 2016
DRAWN BY:
JTW
CHECKED BY:
JTW
VERIFIED BY:
JTW

REVISIONS

SITE PLAN

SHEET NO: C101