

CAUTION - NOTICE TO CONTRACTOR

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IMPERVIOUS AREA CALCULATIONS

EXISTING SITE CONDITIONS

PERVIOUS AREA:	2,186 SF
IMPERVIOUS AREA:	35,845 SF
TOTAL SITE AREA:	38,031 SF
% IMPERVIOUS	= 94.3%

PROPOSED SITE CONDITIONS

PERVIOUS AREA:	6,647 SF
IMPERVIOUS AREA:	31,384 SF
TOTAL SITE AREA:	38,031 SF
% IMPERVIOUS	= 82.5%

FIRST FLUSH CALCULATION

TOTAL IMPERVIOUS AREA	= 31,384 SF
FIRST FLUSH	= 31,384 * 0.34" / 12 = 889 CF

WATER HARVESTING POND VOLUME CALCULATIONS

CONTOUR ELEVATION	AREA (SF)	VOLUME (CF)
5288.85	1,134 SF	699 CF
5288.00	510 SF	
TOTAL		699 CF
5288.50	654 SF	271 CF
5288.00	430 SF	287 CF
5287.00	144 SF	
TOTAL		558 CF
GRAND TOTAL		1,257 CF

CONCLUSION

This drainage management plan provides for grading and drainage elements which reduce the impact to downstream systems; are capable of safely passing the 100 year storm, do not burden downstream systems, and meet city requirements. With this submittal, we are requesting Building Permit approval.

Existing Clean Machine Car Wash Drainage Calculations

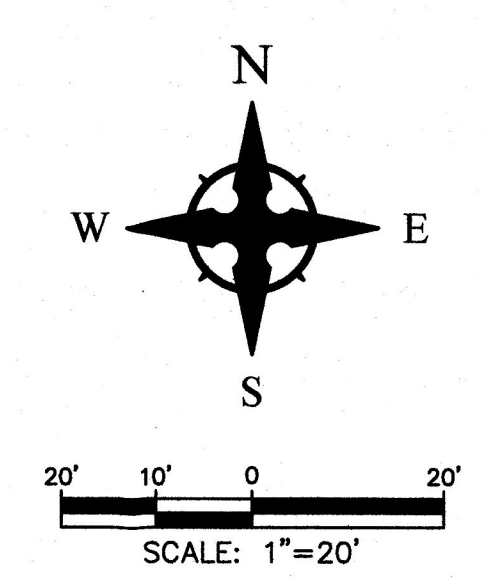
This table is based on the COA DPM Section 22.2, Zone 3

BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs)	Q(100) (inches)	WTE (inches)	V(100)200 (CF)	V(100)400 (CF)	V(100)1000 (CF)
			A	B	C	D						
Project Site	38031	0.87	0.0%	0.0%	5.7%	94.3%	4.93	4.30	2.30	7286	8482	12068
TOTAL	38031	0.87						4.30		7286	8482	12068

Proposed Clean Machine Car Wash Drainage Calculations

This table is based on the COA DPM Section 22.2, Zone 3

BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs)	Q(100) (inches)	WTE (inches)	V(100)200 (CF)	V(100)400 (CF)	V(100)1000 (CF)
			A	B	C	D						
Project Site	38031	0.87	0.0%	0.0%	17.5%	82.5%	4.75	4.14	2.17	6886	7932	11069
TOTAL	38031	0.87						4.14		6886	7932	11069



- LEGEND**
- 27.8 FLOW ARROW
 - FL27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
 - TC27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
 - FGH27.8 PROPOSED TOP OF CURB ELEVATIONS
 - FGI27.8 PROPOSED GRADE AT TOP OF WALL
 - 515 PROPOSED GRADE AT BOTTOM OF WALL
 - 515 EXISTING CONTOUR
 - EXISTING STORM DRAIN
 - FLOW LINE
 - RIDGE LINE

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final drainage management plan for the Redevelopment of Lot 3-A-1, Tijeras Place Improvement Company, Inc., located at 3016 Central Ave SE and near the southwest corner of Central Ave SE and San Pedro Dr SE in Albuquerque, NM. The project area contains approximately 0.87 acres. The site is located in COA Hydrologic Zone 3 and we found three existing relevant drainage reports for the site, including K18/D070, K18/D080, and K18/D091.

EXISTING HYDROLOGIC CONDITIONS

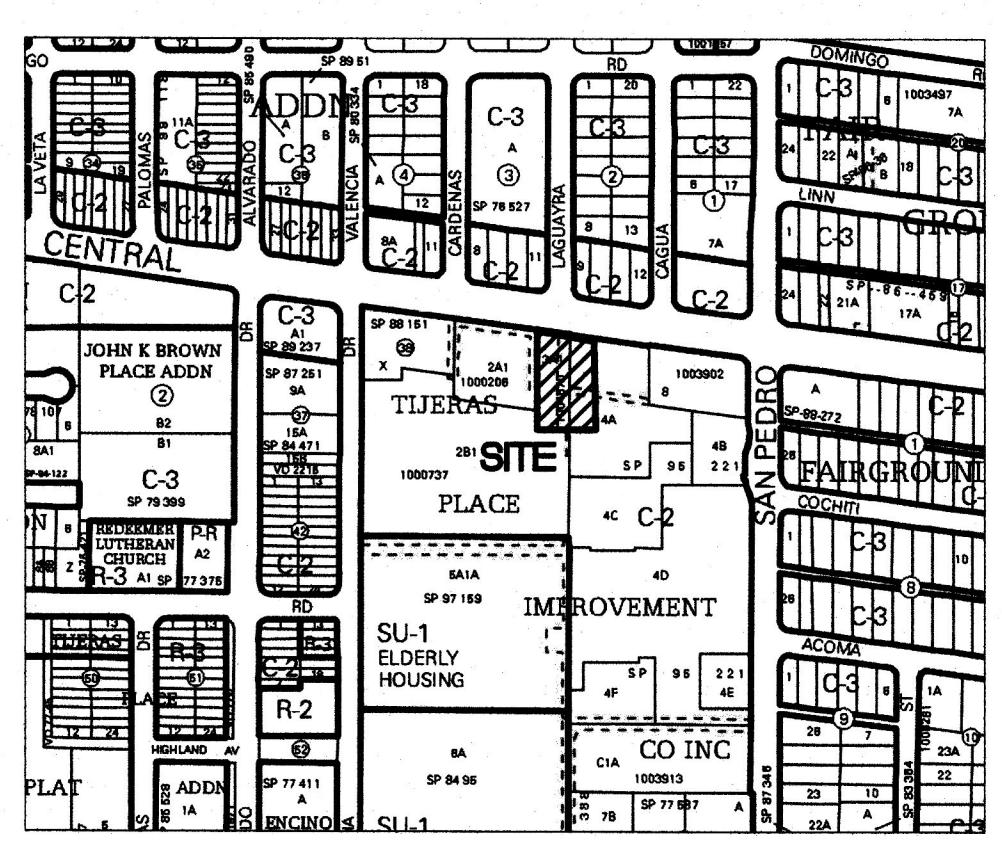
Per aerial photos dated 2006, the site used to contain a Furr's Cafeteria, a small retail building, and associated parking. Both buildings have since been razed. The site currently drains from east to west and accepts flows from the adjacent developments to the east including an old service station located at the southwest corner of Central and San Pedro. These flows turn south on-site and then drain over the top of an existing retaining wall (through openings in the concrete blocks) of the Valencia Court Apartments located at 200 Valencia Dr SE. These flows ultimately drain across the Valencia Court Apartments site to Valencia Dr per prior approved plans by Tierra West LLC and into a public storm drain system located in Valencia Dr. Per the Calculations table this sheet, the total existing flow leaving the site is 4.30 cfs during the 100-Yr, 6-Hr Storm Event. These flows do not include the existing off-site developed flows from the parking lot to the east to San Pedro Dr.

PROPOSED HYDROLOGIC CONDITIONS

The proposed site will continue to drain from east to west and then south over the existing retaining wall located on the Valencia Court Apartments as discussed above. There is a reduction in impervious area located on the site and the total discharge from the site will be reduced to 4.14 cfs per the Calculations Table this sheet. There is also a reduction of the 6-Hour storm volume equivalent to 400 CF due to the increase in landscape areas. These flows do not include the existing off-site developed flows from the parking lot to the east to San Pedro Dr.

FIRST FLUSH CALCULATIONS

Per the First Flush Calculations on this sheet, the total Water Harvesting Pond Volume required to be collected for the site is 889 CF. Per the Water Harvesting Pond Calculations table this sheet, we are actually retaining 1,257 CF of volume from the site which provides 368 CF of additional storage than required.



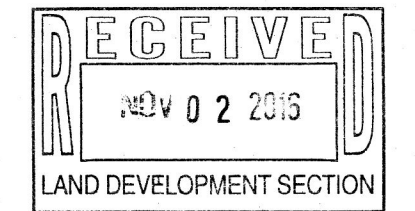
VICINITY MAP Zone Atlas K-18
NTS
LEGAL DESCRIPTION
Lot 3-A-1, Tijeras Place Improvement Company, Inc.
Project Area = +/- 0.87 Acres



FIRM MAP 35001C0354H, COA Hydrologic Zone 3
Per FIRM Map 35001C0354H, dated August 16, 2012, the site is not located in the 'Zone X Floodplain' and determined to be outside the 0.2% chance Annual Floodplain area.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
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Phone: (505) 980-3560

MARTIN FM GRUMMER ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87108
(505) 265-2007

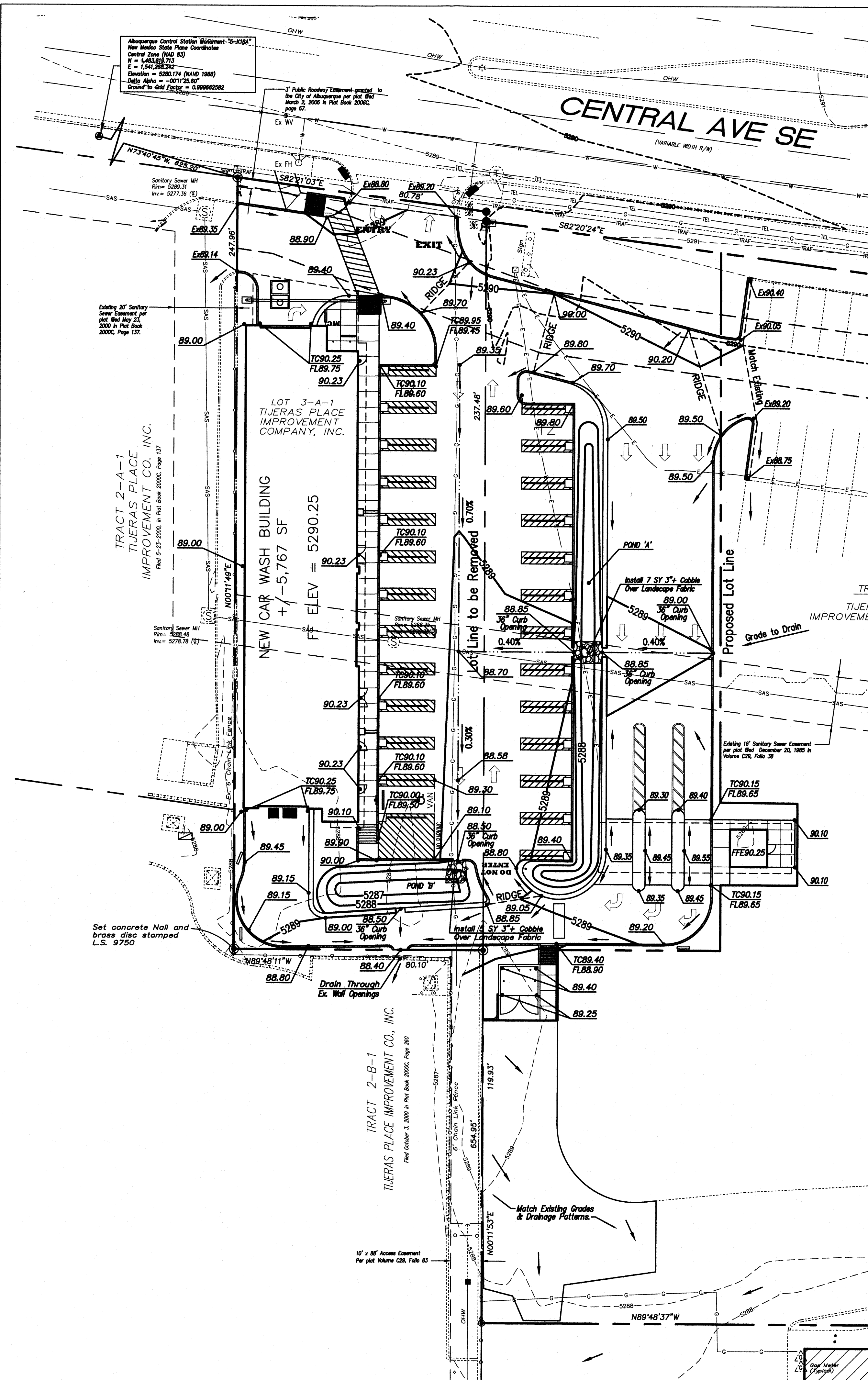
CLEAN MACHINE CARWASH
6016 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87108

DATE: 12 SEPT 2016
DRAWN BY: JTW
CHECKED BY: JTW
VERIFIED BY: JTW

GRADING PLAN

SHEET NO: C201

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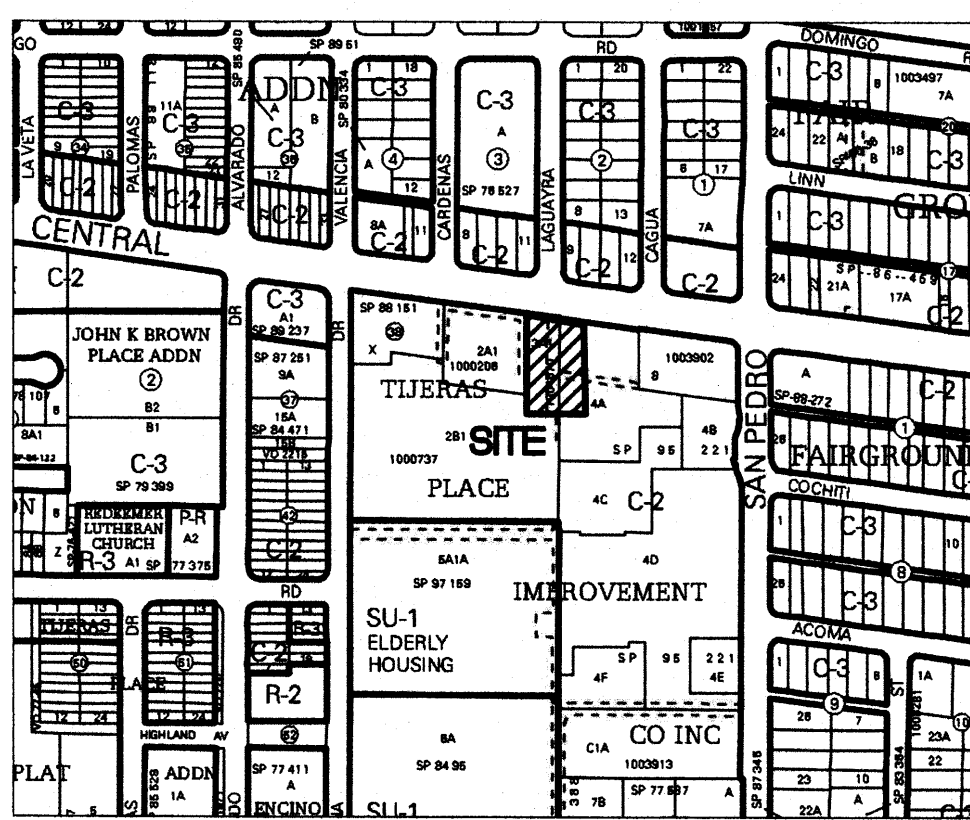
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VICINITY MAP Zone Atlas K-18

LEGAL DESCRIPTION

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Existing Clean Machine Car Wash Drainage Calculations										
This table is based on the COA DPM Section 22.2, Zone:3										
BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/sec.)	Q(100) (CFS)	WTE (inches)	V(100)240 (CF)
Project Site	38031	0.87	0.0%	0.0%	5.7%	94.3%	4.93	4.30	2.30	7286
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MARTIN M. CRUMMER ARCHITECT

JEFFREY TODD WOOD
NEW MEXICO
16892
PROFESSIONAL ENGINEER
9/15/2016

CLEAN MACHINE CARWASH
6016 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87108

DATE: 12 SEPT 2016
DRAWN BY: JTJW
CHECKED BY: JTJW
VERIFIED BY: JTJW

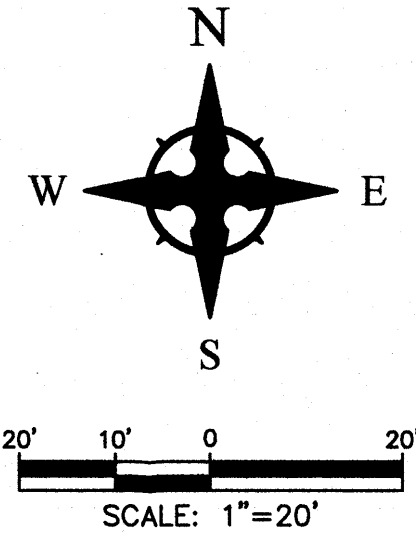
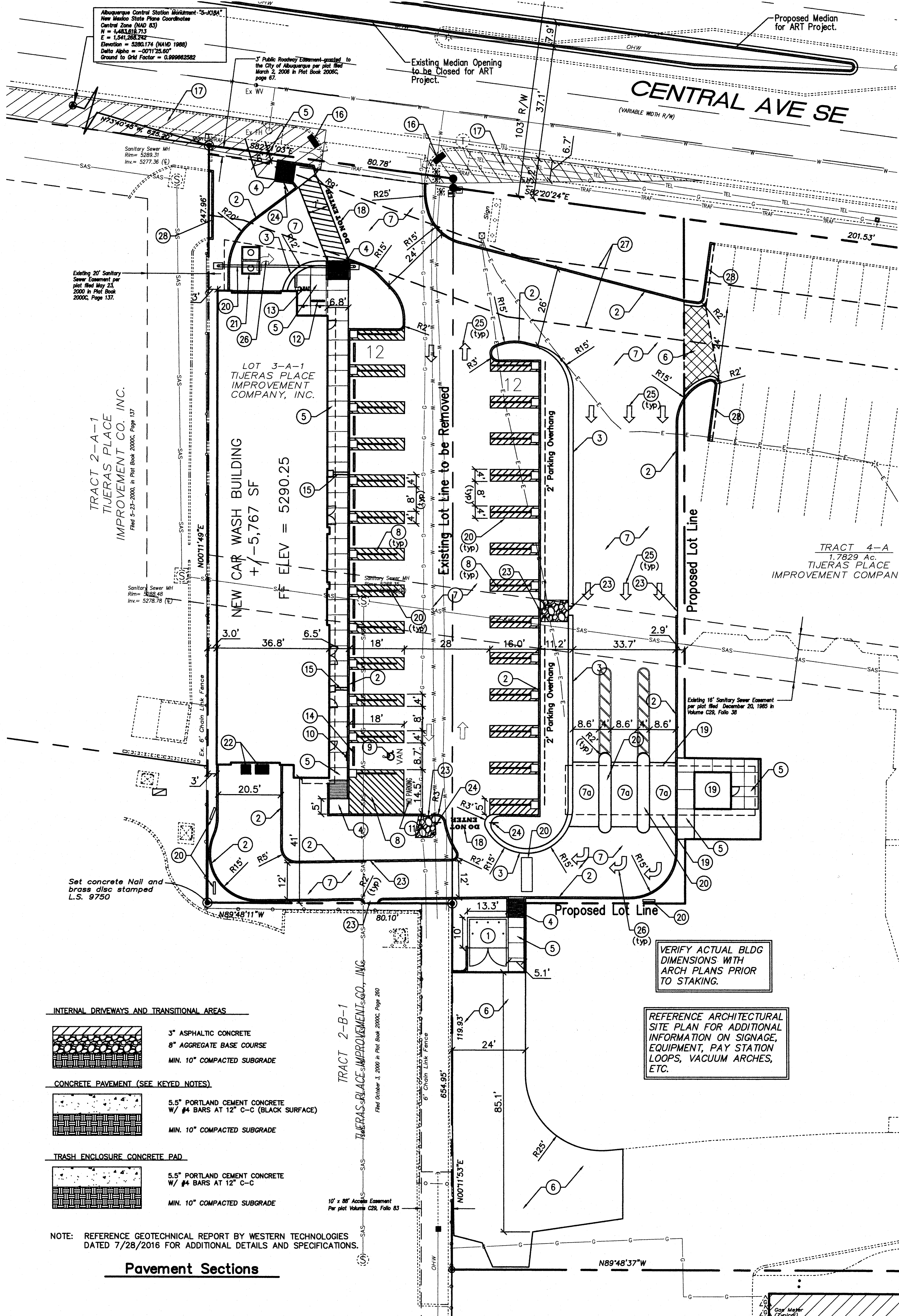
REVISIONS

NO.	DESCRIPTION

GRADING PLAN

SHEET NO:
C201

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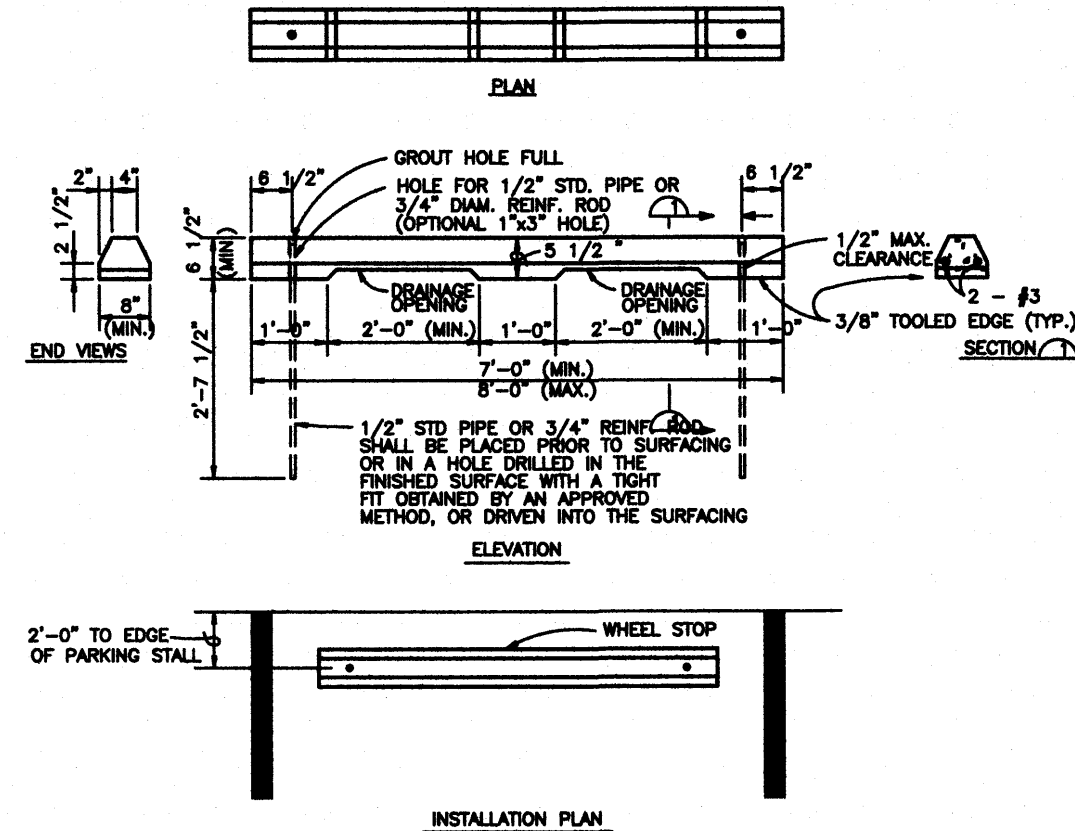
SITE INFORMATION

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

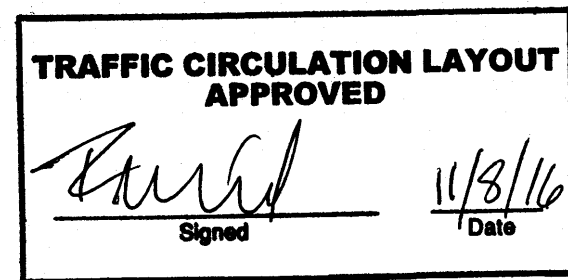
CONTRACTOR TO PROVIDE PARKING LOT STRIPING, FIRELANE AND HANDICAP STRIPING PER THESE PLANS AND CITY OF ALBUQUERQUE REQUIREMENTS.

TO PRESERVE THE PAINTING / STRIPING WITHIN PARKING AREAS, DO NOT APPLY PAINT UNTIL ALL OTHER POTENTIALLY DAMAGING CONSTRUCTION HAS BEEN COMPLETED.

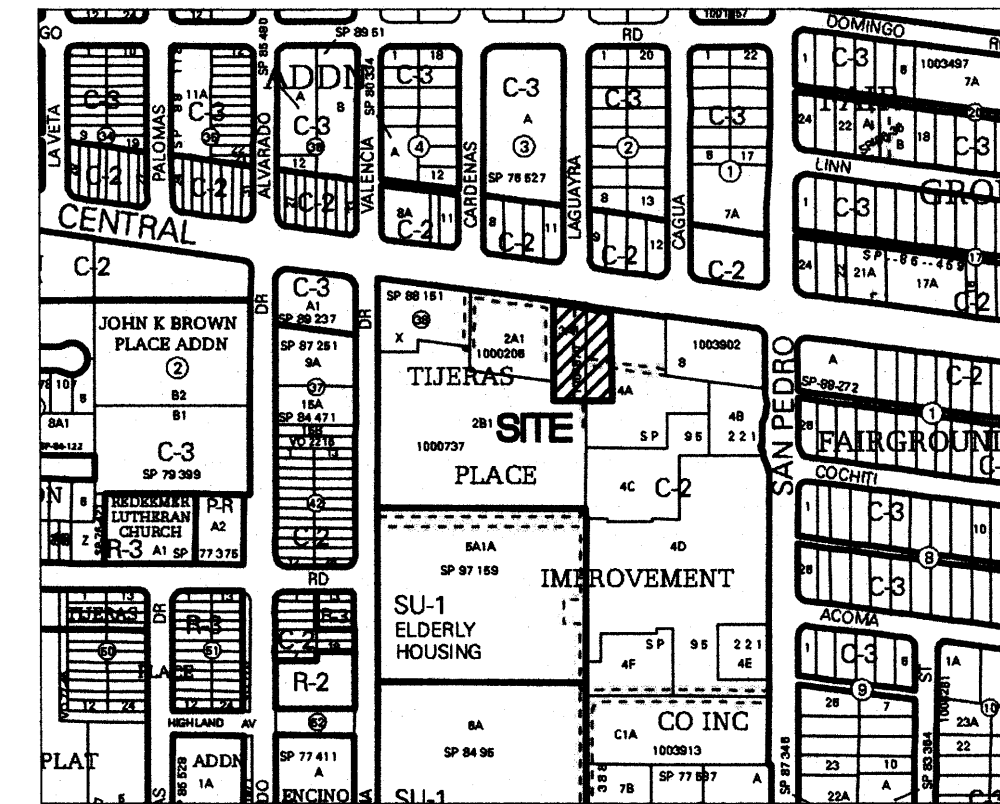
PARKING CALCULATIONS			
BUILDING AREA:		AREA (SQUARE FEET)	
SERVICE AREA		1,777 SF	
TUNNEL AREA		3,990 SF	
PARKING REQUIREMENTS:			
		RATIO	REQUIRED PROVIDED
SERVICE AREA		1/200 SF	9 spaces
TUNNEL AREA		1/1,000 SF	4 spaces
TOTAL			13 spaces 24 spaces
		REQUIRED	PROVIDED
HANDICAP PARKING		1 space	1 space
MOTORCYCLE PARKING		1 space	1 space
BICYCLE PARKING		2 spaces	3 spaces



Precast Concrete Wheel Stop
NTS



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



VICINITY MAP Zone Atlas K-18
NTS
LEGAL DESCRIPTION
Lot 3-A-1, Tijeras Place Improvement Company, Inc.
Project Area = +/-0.87 Acres
ZONING
C-2

- KEYED NOTES**
- DUMPSTER ENCLOSURE, PAD, & APRON. REF ARCHITECTURAL DETAILS SHEET A1.3.
 - INSTALL VERTICAL CURB PER ARCHITECTURAL DETAILS SHEET A1.3.
 - INSTALL ROLL CURB PER ARCHITECTURAL DETAILS SHEET A1.3.
 - INSTALL PARALLEL CURB RAMP PER MNDOT STD DWGS 608-001, SHEETS 1-12. DETECTABLE WARNING SURFACE NOT REQUIRED UNLESS WITHIN PUBLIC R/W.
 - INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
 - INSTALL ASPHALT PAVEMENT, SEE PAVING DETAILS THIS SHEET.
 - INSTALL COLORED CONCRETE PER PAVING DETAILS THIS SHEET. COLOR: BLACK.
 - USE 5'X5' DIAGONAL SCORING PATTERN ON BLACK CONCRETE PER ARCHITECTURAL PLANS.
 - INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). TWO COATS MINIMUM.
 - PAINTED WHEELCHAIR SYMBOL (BLUE) TO MEET ADA STANDARDS. TWO COATS MINIMUM.
 - INSTALL H/C SIGNAGE PER DETAIL ON SHEET A1.3. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. WHEN A POLE MOUNTED SIGN WILL NOT FIT WITHIN DESIGNATED AREA, SIGN SHALL BE BOLTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
 - PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. TWO COATS MINIMUM.
 - INSTALL BIKE RACK WITH THREE (3) SPACES PER DETAIL SHEET A1.3.
 - MOTORCYCLE PARKING (4.5'x10'). ADD PAINT LABELS AND SIGNAGE PER COA STDS. TWO COATS MINIMUM.
 - INSTALL PRE-CAST WHEEL STOP PER DETAIL THIS SHEET.
 - INSTALL 'SCUPPER THRU SIDEWALK' PER ARCHITECTURAL DETAILS SHEET A1.3.
 - INSTALL TRUNCATED DOMES AT EXISTING SIDEWALK CROSSING.
 - CLEAR SIGHT TRIANGLES (13'x90' TO RIGHT, 13'x350' TO LEFT) PER TRAFFIC ENGINEERING STANDARDS. LANDSCAPING & SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 - PAINT 'DO NOT ENTER' ON PAVEMENT. 24" MINIMUM HEIGHT. YELLOW PAINT. TWO COATS MINIMUM.
 - PAY STATION KIOSK BUILDING AND CANOPY. REF ARCHITECTURAL PLANS.
 - BOLLARDS, VACUUM ARCHES AND OTHER EQUIPMENT PER ARCHITECTURAL PLANS.
 - SAND / OIL SEPARATOR. REF SHEET C301 AND MEP PLANS.
 - CAR WASH DRAIN AND RAIL EQUIPMENT. REF ARCHITECTURAL PLANS.
 - CURB CUT FOR DRAINAGE. REF GRADING PLAN SHEET C201.
 - 'DO NOT ENTER' SIGN PER DETAIL 8, SHEET A1.3.
 - PAINT THROUGH ARROW PER FIGURE 3B-21 OF THE MUTCD. TWO COATS MINIMUM.
 - PAINT RIGHT TURN ARROW PER FIGURE 3B-21 OF THE MUTCD. TWO COATS MINIMUM.
 - PROPOSED 20' WIDE PUBLIC SAS EASEMENT TO ABCWUA.
 - MEDIAN CURB / GUTTER PER COA STD DWG 2415B.

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6016 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87108

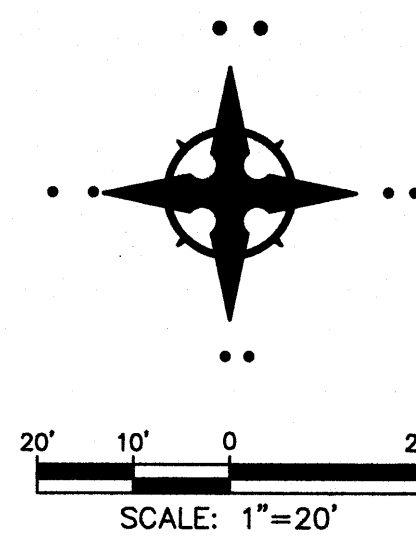
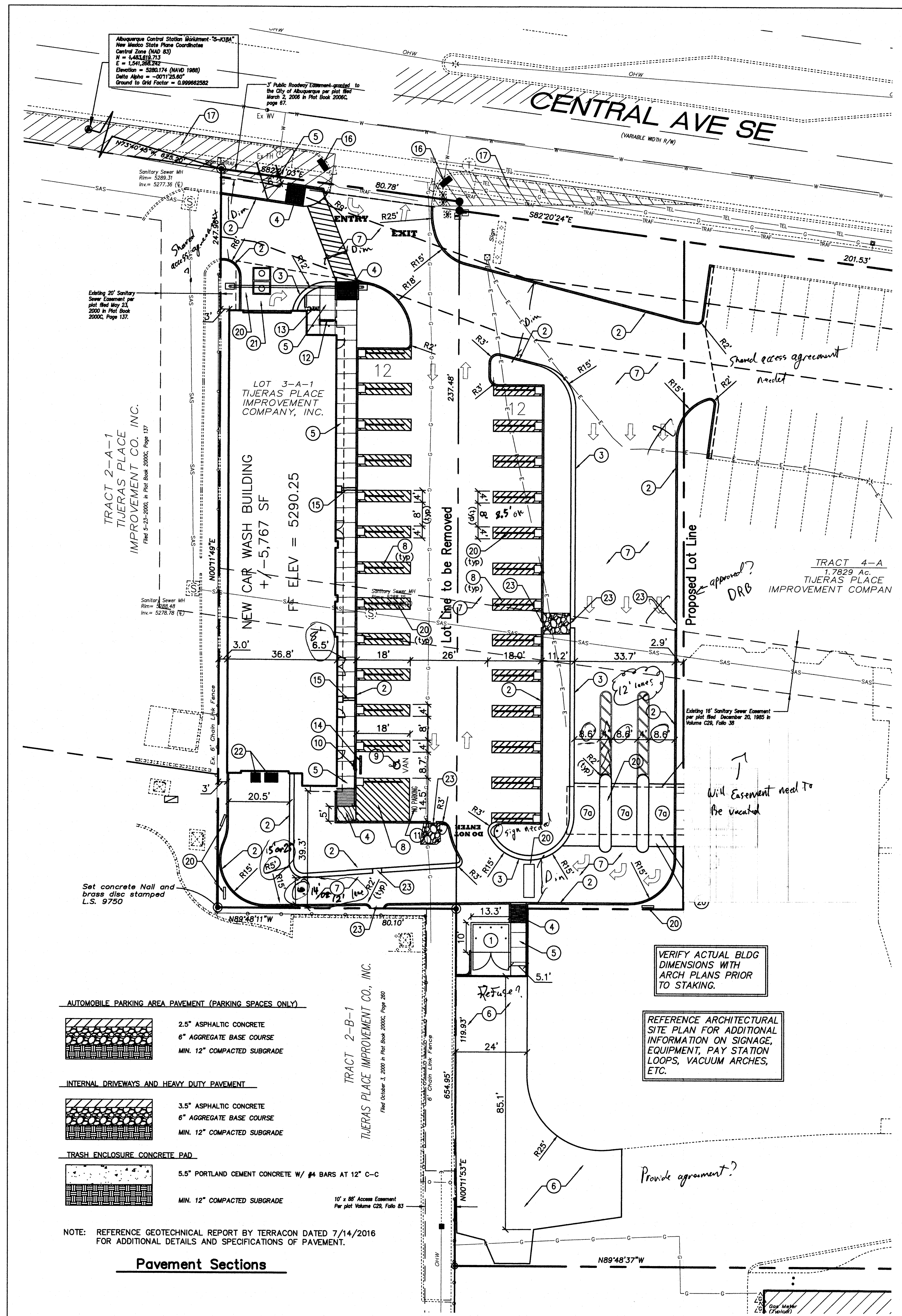
DATE: 12 SEPT 2016
DRAWN BY: JTW
CHECKED BY: JTW
VERIFIED BY: JTW

REVISIONS	

SITE PLAN

SHEET NO:
C101

W E Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, N.M. 87124
Phone: (505) 980-3560



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

SITE INFORMATION

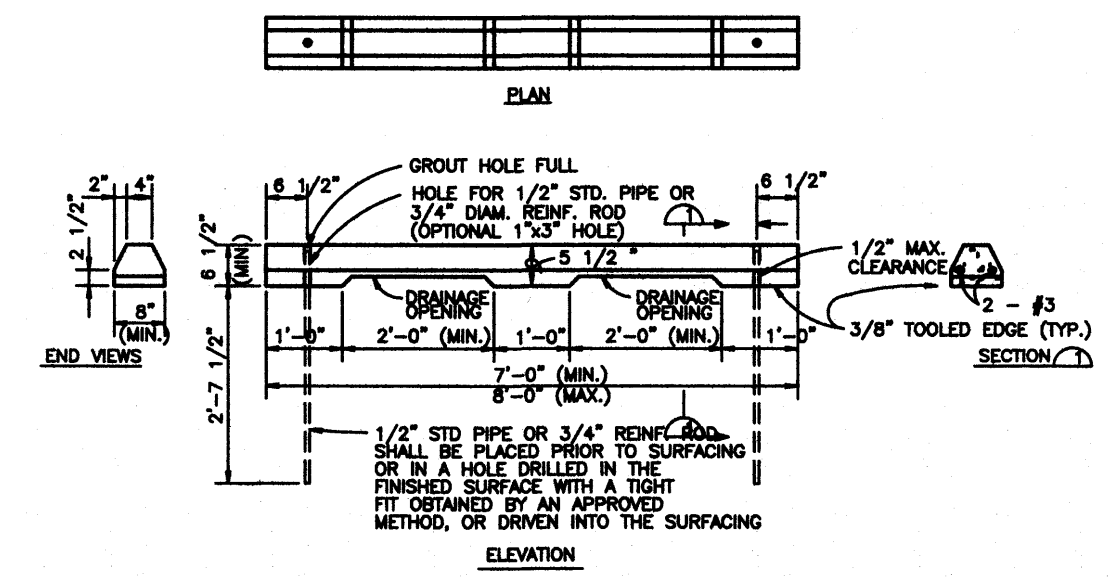
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CONTRACTOR TO PROVIDE PARKING LOT STRIPING, FIRELANE AND HANDICAP STRIPING PER THESE PLANS AND CITY OF ALBUQUERQUE REQUIREMENTS.

TO PRESERVE THE PAINTING / STRIPING WITHIN PARKING AREAS, DO NOT APPLY PAINT UNTIL ALL OTHER POTENTIALLY DAMAGING CONSTRUCTION HAS BEEN COMPLETED.

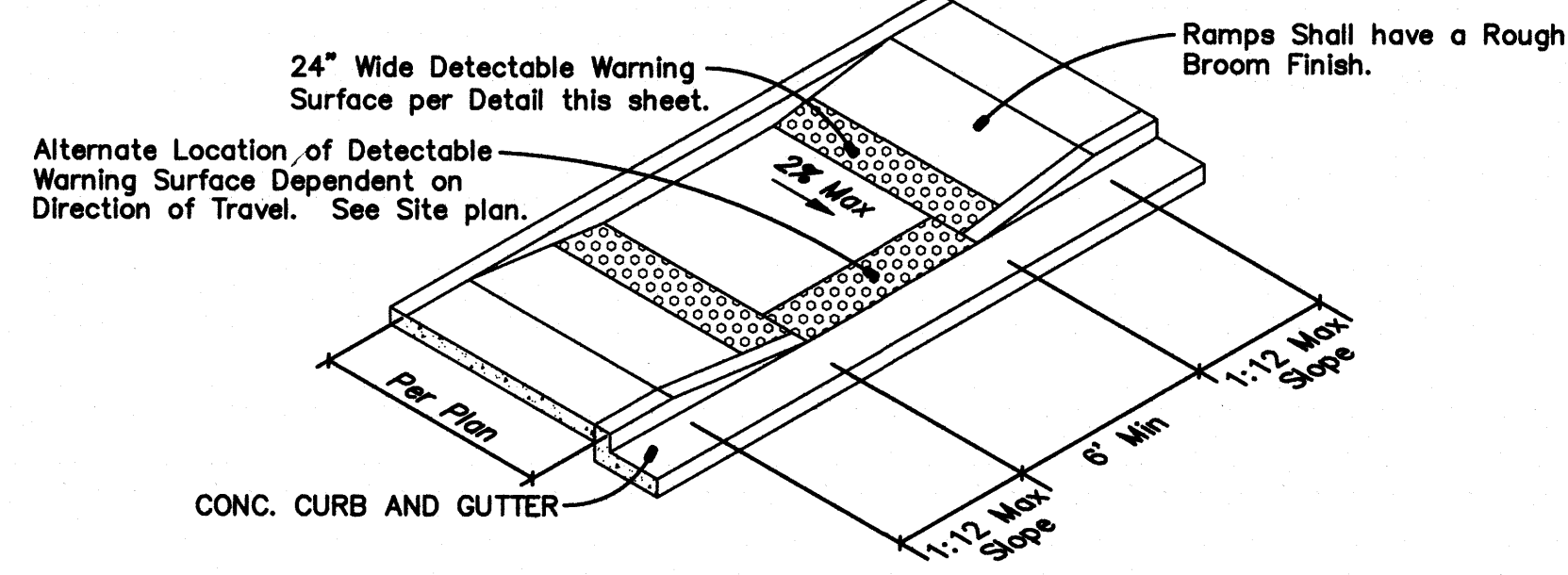
PARKING CALCULATIONS

BUILDING AREA:		AREA (SQUARE FEET)	
SERVICE AREA		1,777 SF	
TUNNEL AREA		3,990 SF	
PARKING REQUIREMENTS:		RATIO	REQUIRED
SERVICE AREA		1/200 SF	9 spaces
TUNNEL AREA		1/1,000 SF	4 spaces
TOTAL			13 spaces
		REQUIRED	PROVIDED
HANDICAP PARKING		1 space	1 space
MOTORCYCLE PARKING		1 space	1 space
BICYCLE PARKING		2 spaces	3 spaces



Precast Concrete Wheel Stop

NTS

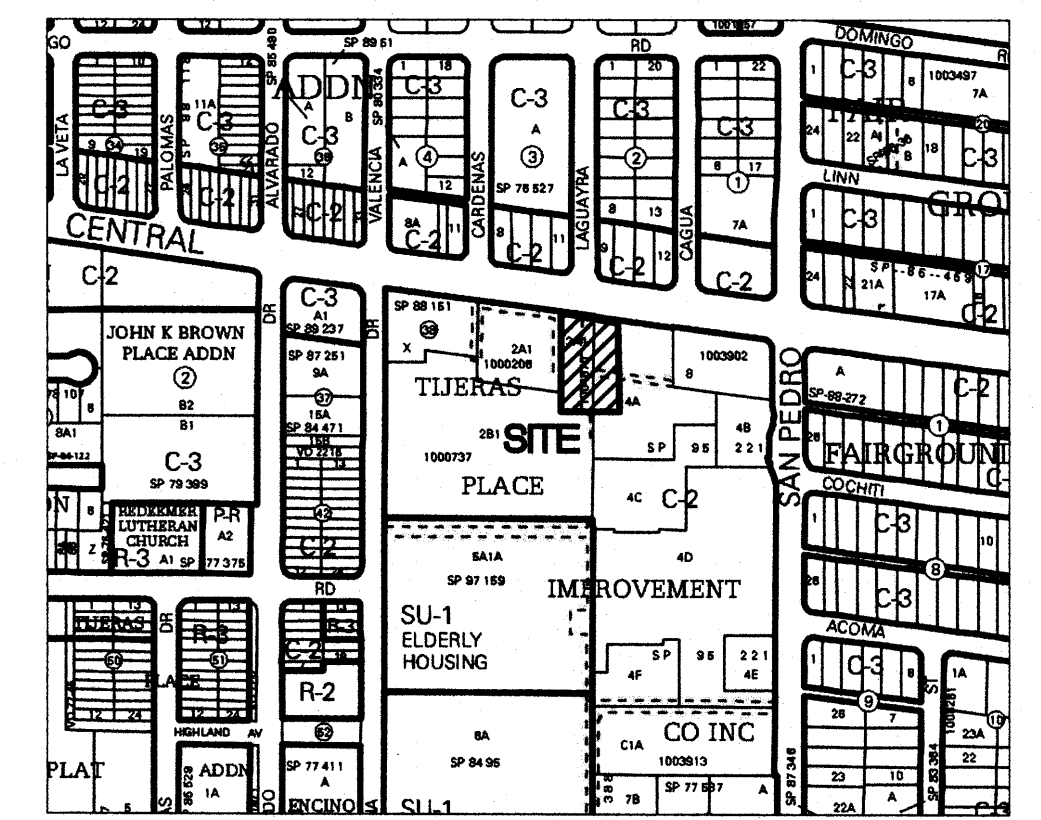


In-Line Wheelchair Ramp

PAVEMENT SECTIONS

AUTOMOBILE PARKING AREA PAVEMENT (PARKING SPACES ONLY)	
	2.5" ASPHALTIC CONCRETE 6" AGGREGATE BASE COURSE MIN. 12" COMPACTED SUBGRADE
INTERNAL DRIVEWAYS AND HEAVY DUTY PAVEMENT	
	3.5" ASPHALTIC CONCRETE 6" AGGREGATE BASE COURSE MIN. 12" COMPACTED SUBGRADE
TRASH ENCLOSURE CONCRETE PAD	
	5.5" PORTLAND CEMENT CONCRETE W/ #4 BARS AT 12" C-C MIN. 12" COMPACTED SUBGRADE

NOTE: REFERENCE GEOTECHNICAL REPORT BY TERRACON DATED 7/14/2016 FOR ADDITIONAL DETAILS AND SPECIFICATIONS OF PAVEMENT.



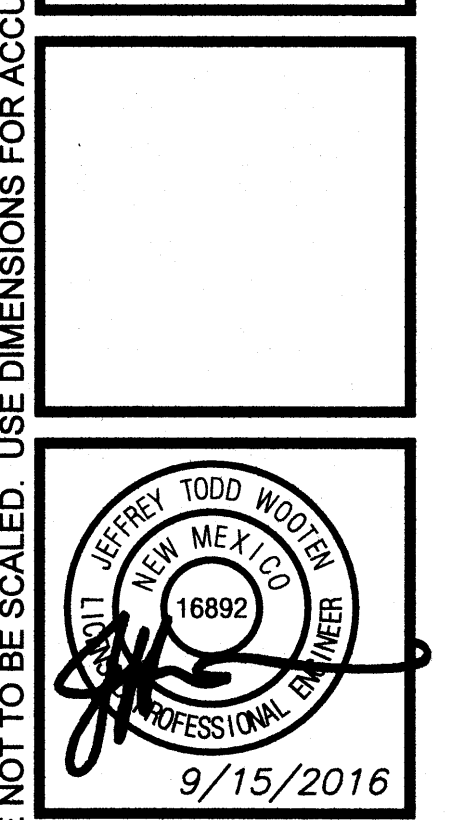
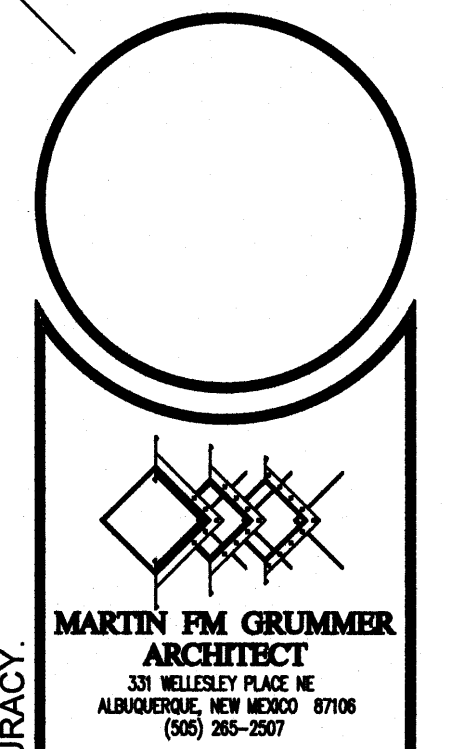
VICINITY MAP Zone Atlas K-18

LEGAL DESCRIPTION
Lot 3-A-1, Tijeras Place Improvement Company, Inc.
Project Area = +/-0.87 Acres

ZONING
C-2

KEYED NOTES

- DUMPSTER ENCLOSURE, PAD, & APRON. REF ARCHITECTURAL DETAILS SHEET A1.3.
- INSTALL VERTICAL CURB PER ARCHITECTURAL DETAILS SHEET A1.3.
- INSTALL ROLL CURB PER ARCHITECTURAL DETAILS SHEET A1.3.
- INSTALL CURB RAMP WITH TRUNCATED DOMES PER DETAIL THIS SHEET. MATCH ADJACENT SIDEWALK WIDTH.
- INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
- INSTALL ASPHALT PAVEMENT, SEE PAVING DETAILS THIS SHEET.
- INSTALL COLORED CONCRETE PER PAVING DETAILS THIS SHEET. COLOR: BLACK.
- USE 5'X5' DIAGONAL SCORING PATTERN ON BLACK CONCRETE PER ARCHITECTURAL PLANS.
- INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). TWO COATS MINIMUM.
- PAINTED WHEELCHAIR SYMBOL (BLUE) TO MEET ADA STANDARDS. TWO COATS MINIMUM.
- INSTALL H/C SIGNAGE PER DETAIL ON SHEET A1.3. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. WHEN A POLE MOUNTED SIGN WILL NOT FIT WITHIN DESIGNATED AREA, SIGN SHALL BE BOLTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- PAINT WORDS "NO PARKING" WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. TWO COATS MINIMUM.
- INSTALL BIKE RACK WITH THREE (3) SPACES PER DETAIL SHEET A1.3.
- MOTORCYCLE PARKING (4.5'x10'). ADD PAINT LABELS AND SIGNAGE PER COA STDS. TWO COATS MINIMUM.
- INSTALL PRE-CAST WHEEL STOP PER DETAIL THIS SHEET.
- INSTALL "SCUPPER THRU SIDEWALK" PER ARCHITECTURAL DETAILS SHEET A1.3.
- INSTALL TRUNCATED DOMES AT EXISTING SIDEWALK CROSSING.
- CLEAR SIGHT TRIANGLES (13'x90' TO RIGHT, 13'x350' TO LEFT) PER TRAFFIC ENGINEERING STANDARDS. LANDSCAPING & SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- NOT USED.
- PAY STATION KIOSK BUILDING AND CANOPY. REF ARCHITECTURAL PLANS.
- BOLLARDS, VACUUM ARCHES AND OTHER EQUIPMENT PER ARCHITECTURAL PLANS.
- SAND / OIL SEPARATOR. REF SHEET C301 AND MEP PLANS.
- CAR WASH DRAIN AND RAIL EQUIPMENT. REF ARCHITECTURAL PLANS.
- CURB CUT FOR DRAINAGE. REF GRADING PLAN SHEET C201.



CLEAN MACHINE CARWASH
6016 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87108

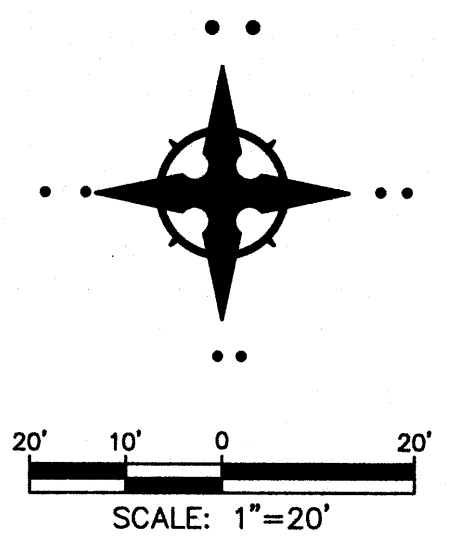
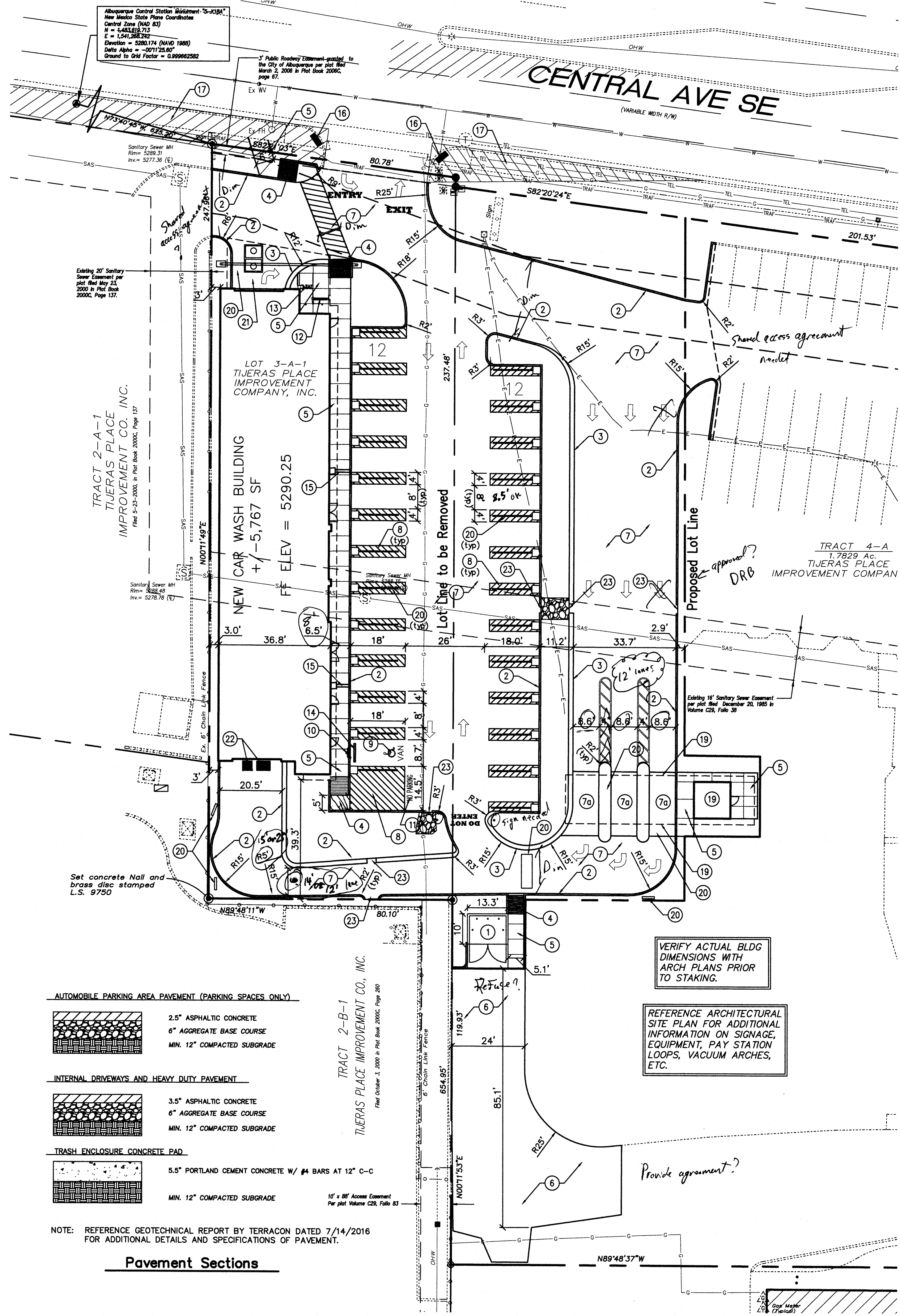
DATE: 12 SEPT 2016
DRAWN BY: JTW
CHECKED BY: JTW
VERIFIED BY: JTW

REVISIONS	

SITE PLAN

SHEET NO:
C101

W E Wooten Engineering
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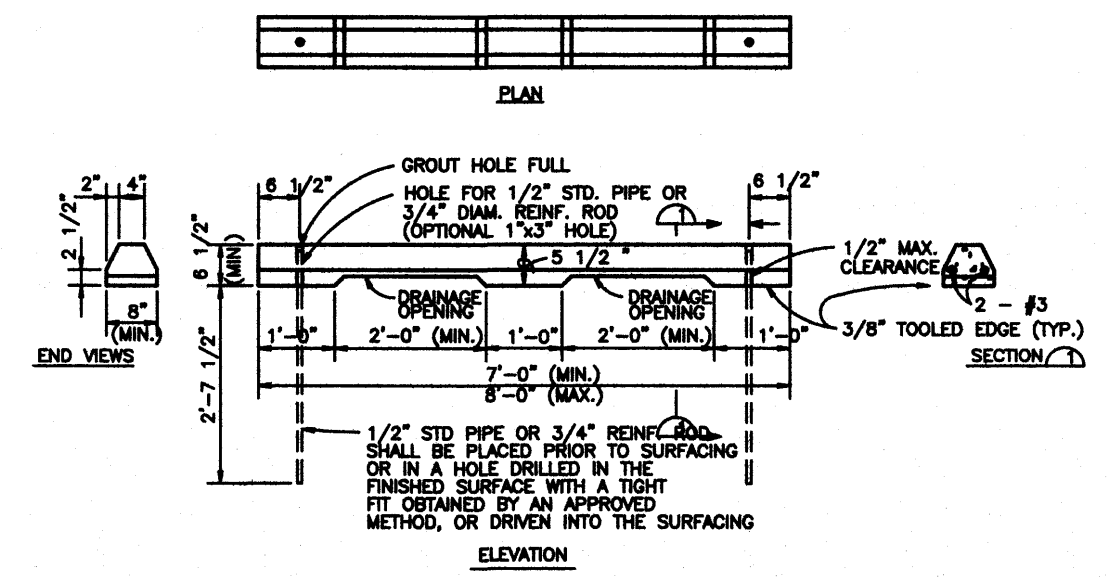
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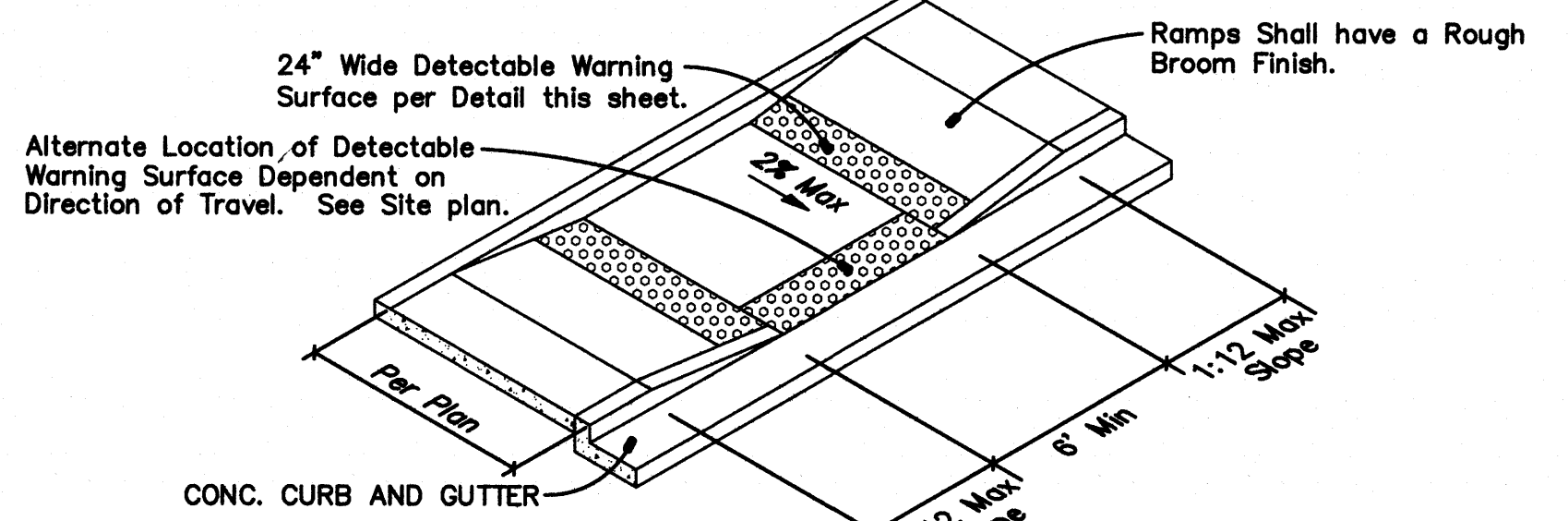
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Precast Concrete Wheel Stop

N.T.S.



In-Line Wheelchair Ramp

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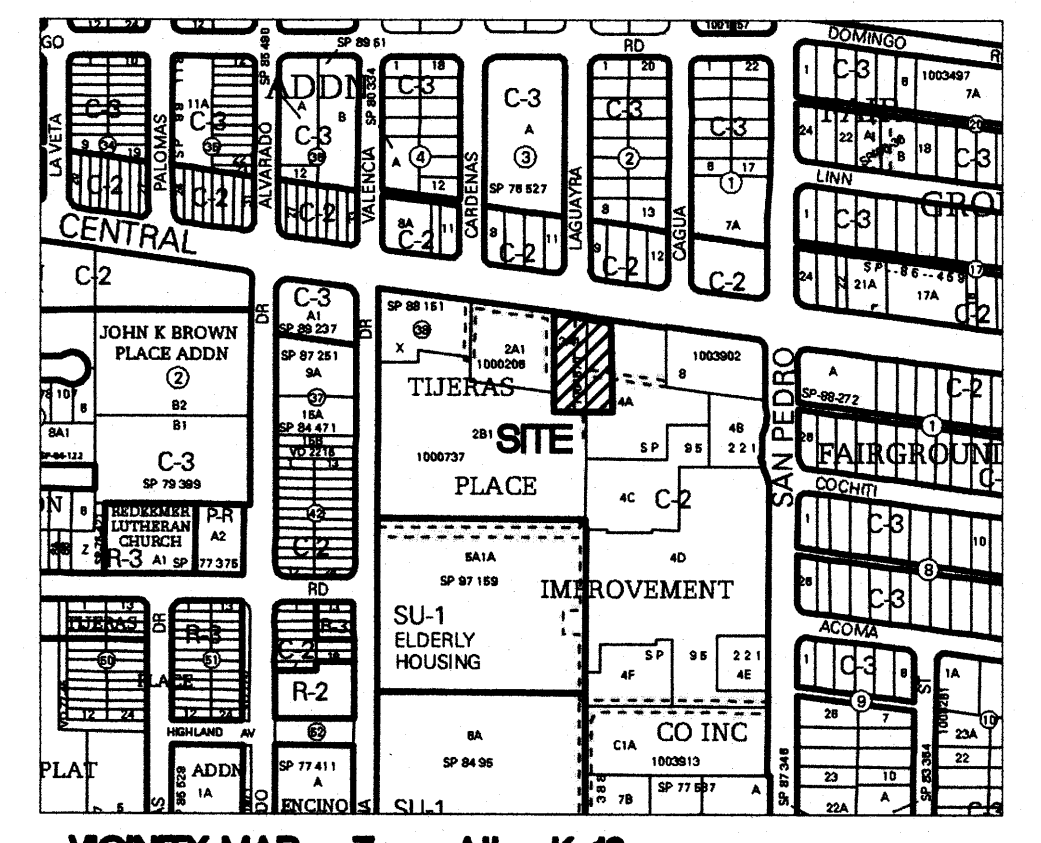
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Pavement Sections



VICINITY MAP Zone Atlas K-18

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C-2

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ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWING ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

CLEAN MACHINE CARWASH
6016 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87108

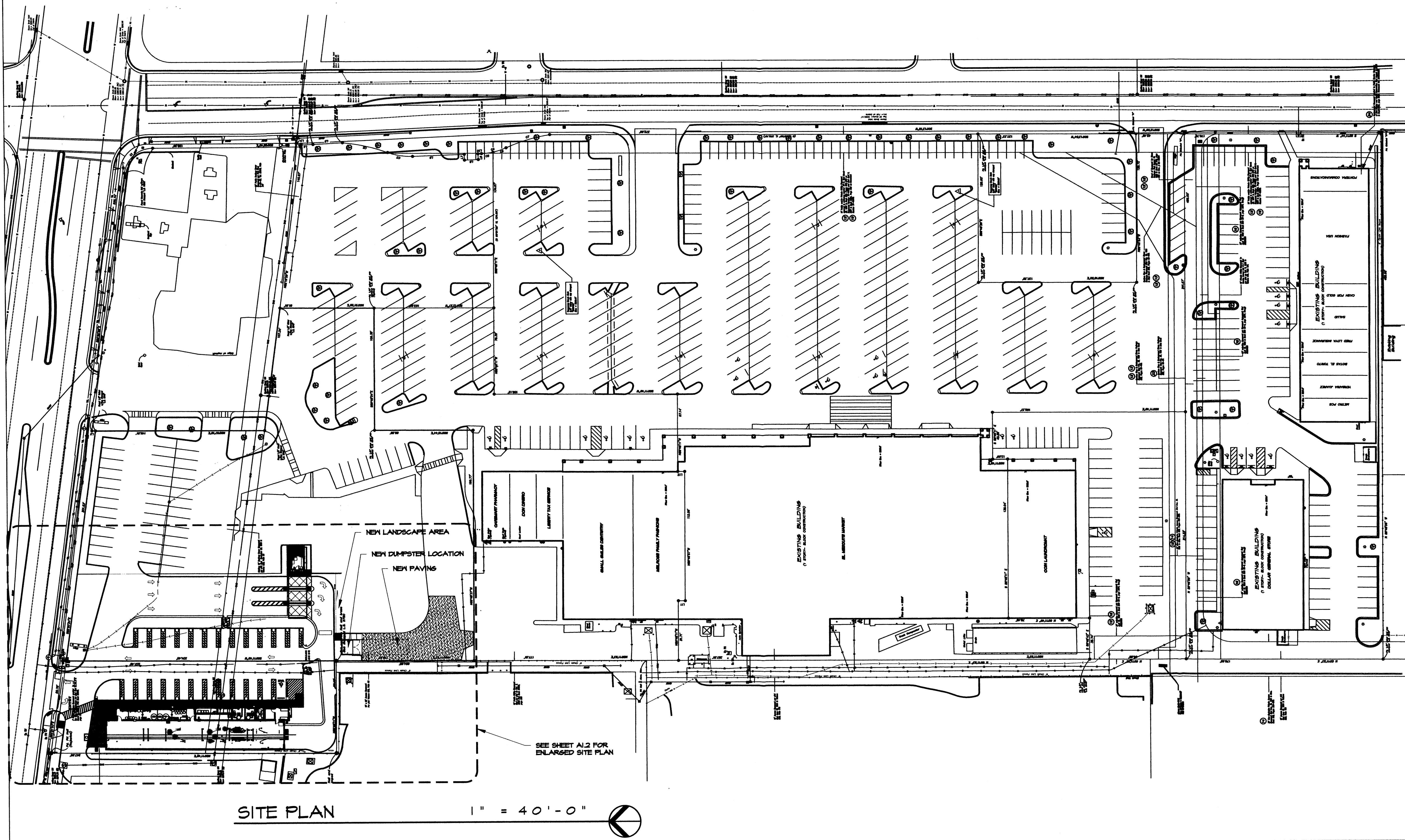
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DRAWN BY: JTW
CHECKED BY: JTW
VERIFIED BY: JTW

REVISIONS	

SITE PLAN

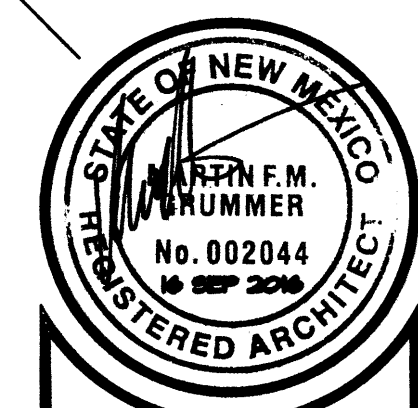
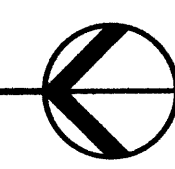
SHEET NO:
C101

Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, N.M. 87124
Phone: (505) 980-3560



SITE PLAN

1" = 40'-0"



MARTIN F.M. GRUMMER
ARCHITECT
101 WILSON PLACE NE
ALBUQUERQUE, NEW MEXICO 87108
(505) 265-2207

CLEAN MACHINE CARWASH
6016 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87108

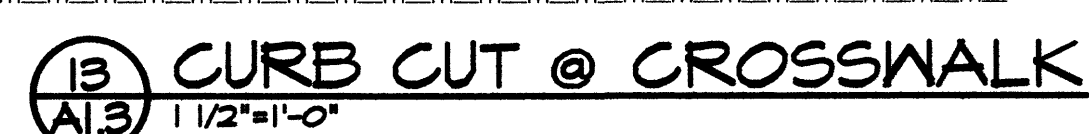
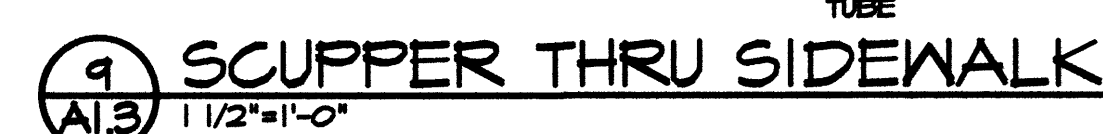
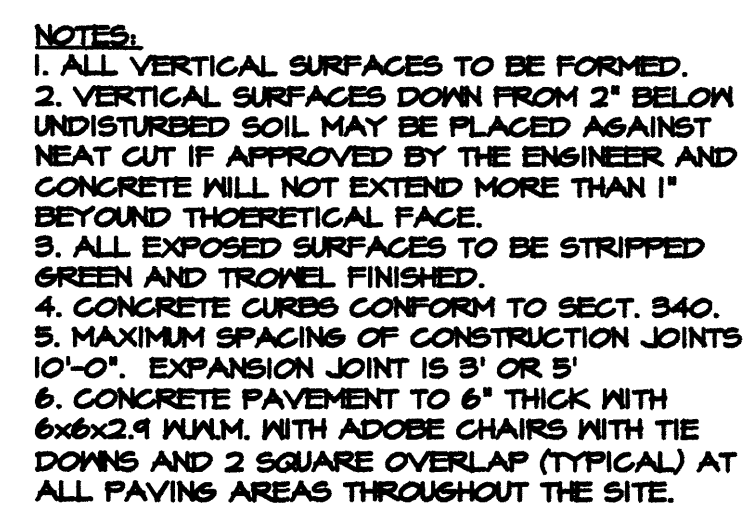
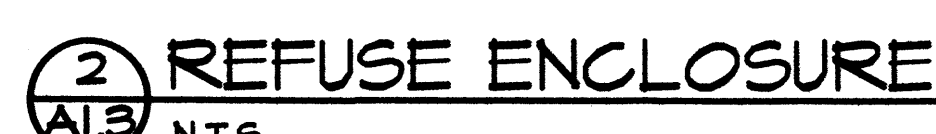
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DATE: 16 SEP 2016
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

REVISIONS

SHEET NO:
A1.1

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CLEAN MACHINE CARWASH
6016 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87108

SITE DETAILS

VERIFIED, IF THERE ARE DISCREPANCIES	DATE:	16 SEP 2016
	DRAWN BY:	MFMG
	CHECKED BY:	
	VERIFIED BY:	

REVISIONS	

SHEET NO:
A1.3