

# CITY OF ALBUQUERQUE



November 8, 2016

Jeffrey Wooten  
Wooten Engineering  
1005 21<sup>st</sup> Street SE, Suite A5  
Rio Rancho, NM 87124

**Re: Clean Machine Car Wash  
6016 Central Ave SE  
Traffic Circulation Layout  
Engineer's 11-02-16 (K18-D079)**

Dear Mr. Wooten,

The TCL submittal received 11-02-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

As a condition of release of final C.O. the following items must be completed prior to release of Final Certificate of Occupancy.

1. Final acceptance and approval of the replat of tract 4-A1, 4-A-2 and 8-A section 24, township 10 north, range 3 east New Mexico Principal Meridian, City of Albuquerque, Tijeras Place Improvement Company, Inc. from DRB.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** \_\_\_\_\_  
**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

**TYPE OF SUBMITTAL:**

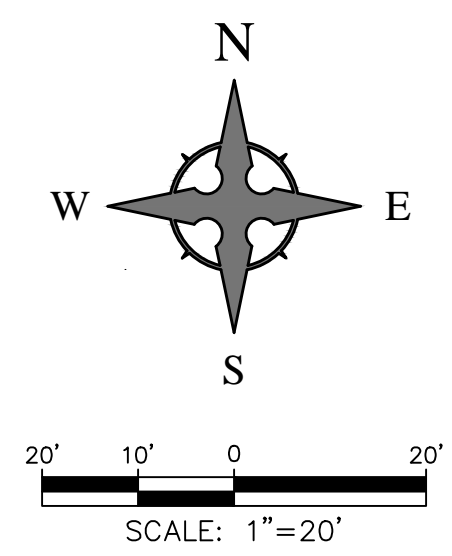
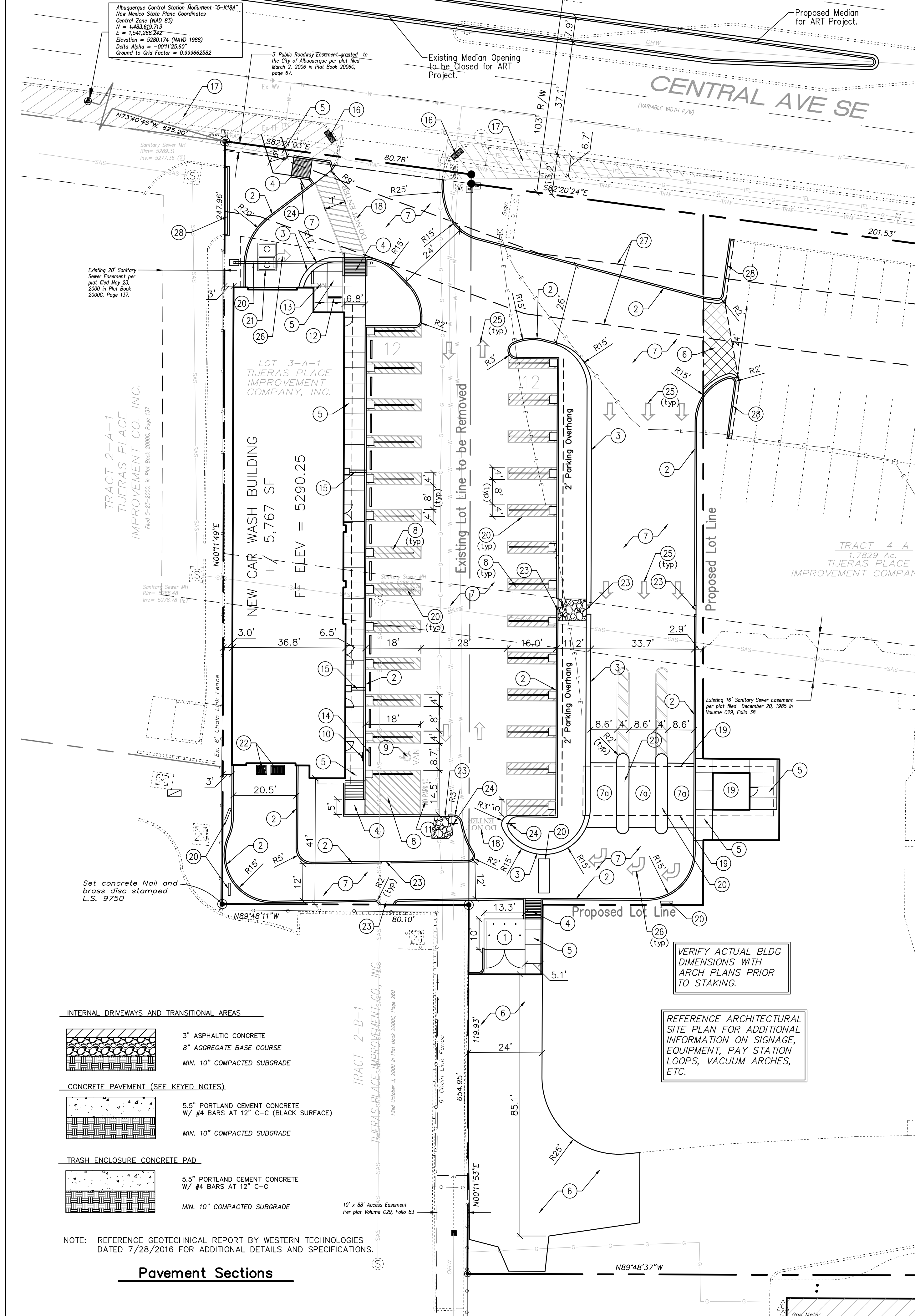
- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) \_\_\_\_\_

- PRE-DESIGN MEETING
- OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



**CAUTION - NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

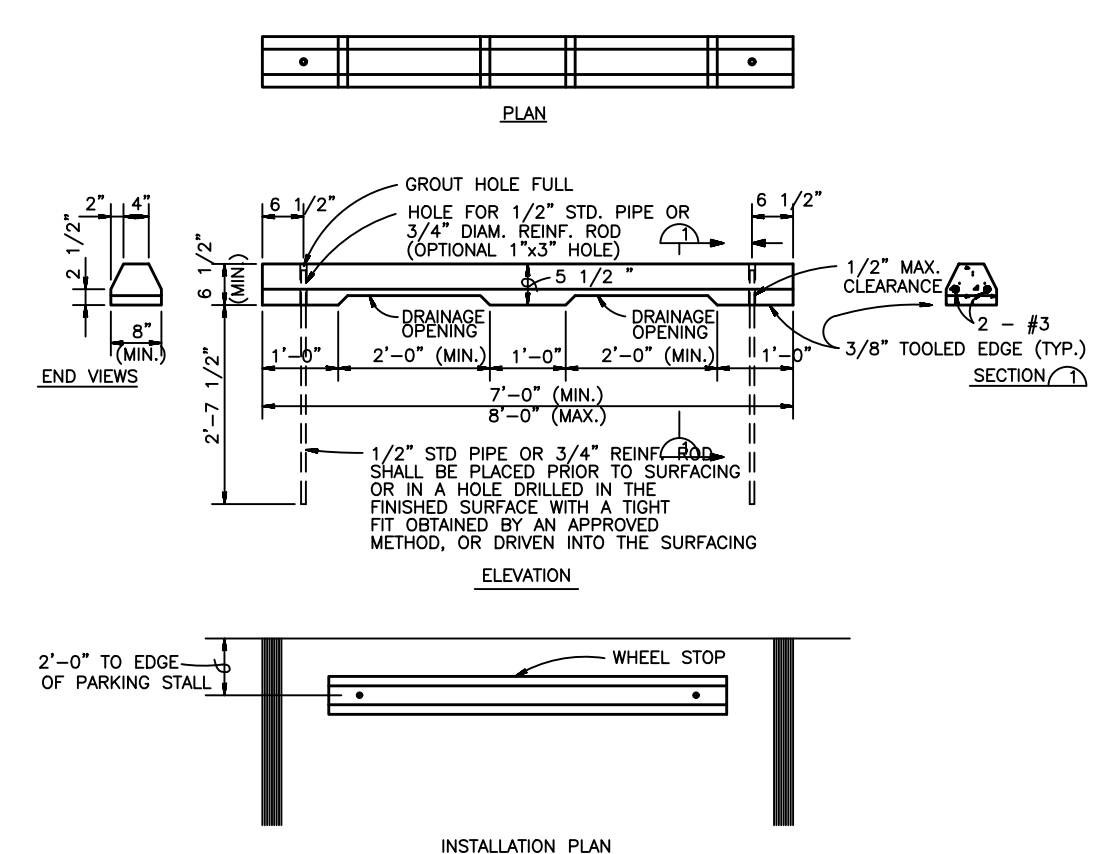
**SITE INFORMATION**

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

**CONTRACTOR TO PROVIDE PARKING LOT STRIPING, FIRELANE AND HANDICAP STRIPING PER THESE PLANS AND CITY OF ALBUQUERQUE REQUIREMENTS.**

TO PRESERVE THE PAINTING / STRIPING WITHIN PARKING AREAS, DO NOT APPLY PAINT UNTIL ALL OTHER POTENTIALLY DAMAGING CONSTRUCTION HAS BEEN COMPLETED.

PARKING CALCULATIONS			
BUILDING AREA:		AREA (SQUARE FEET)	
SERVICE AREA		1,777 SF	
TUNNEL AREA		3,990 SF	
PARKING REQUIREMENTS:		RATIO	REQUIRED PROVIDED
SERVICE AREA		1/200 SF	9 spaces
TUNNEL AREA		1/1,000 SF	4 spaces
<b>TOTAL</b>			<b>13 spaces 24 spaces</b>
		REQUIRED	PROVIDED
HANDICAP PARKING		1 space	1 space
MOTORCYCLE PARKING		1 space	1 space
BICYCLE PARKING		2 spaces	3 spaces

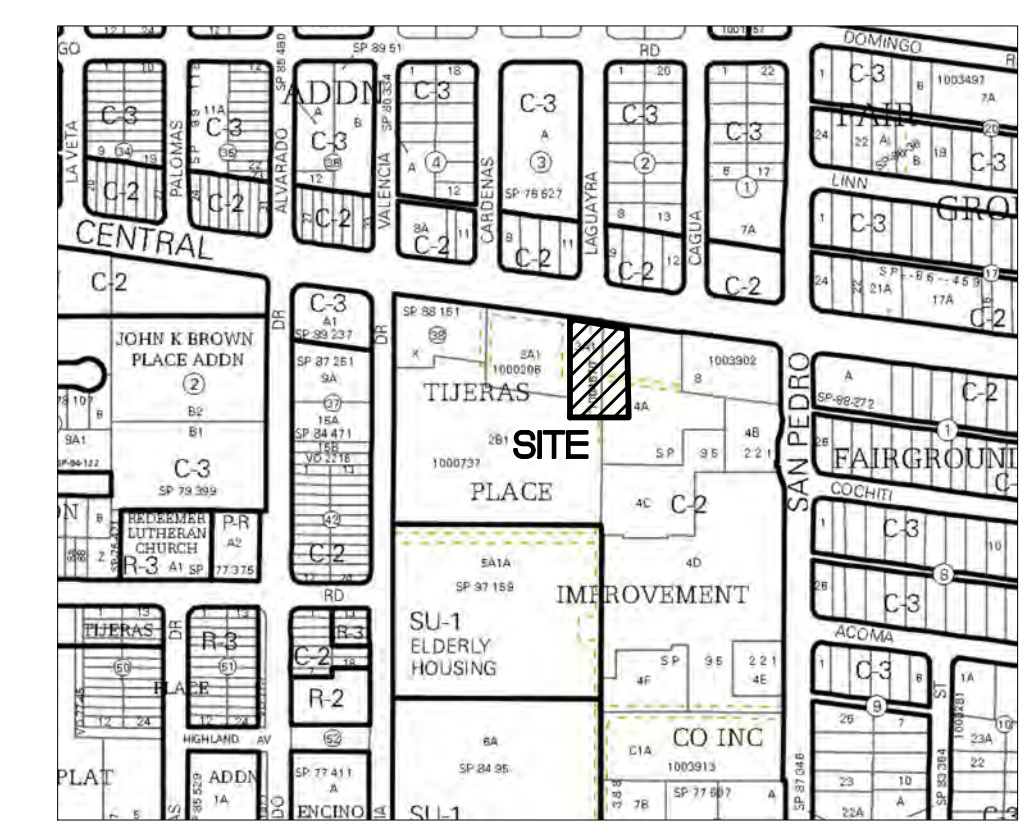


**Precast Concrete Wheel Stop**  
NTS

**TRAFFIC CIRCULATION LAYOUT APPROVED**

Signed \_\_\_\_\_ Date \_\_\_\_\_

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

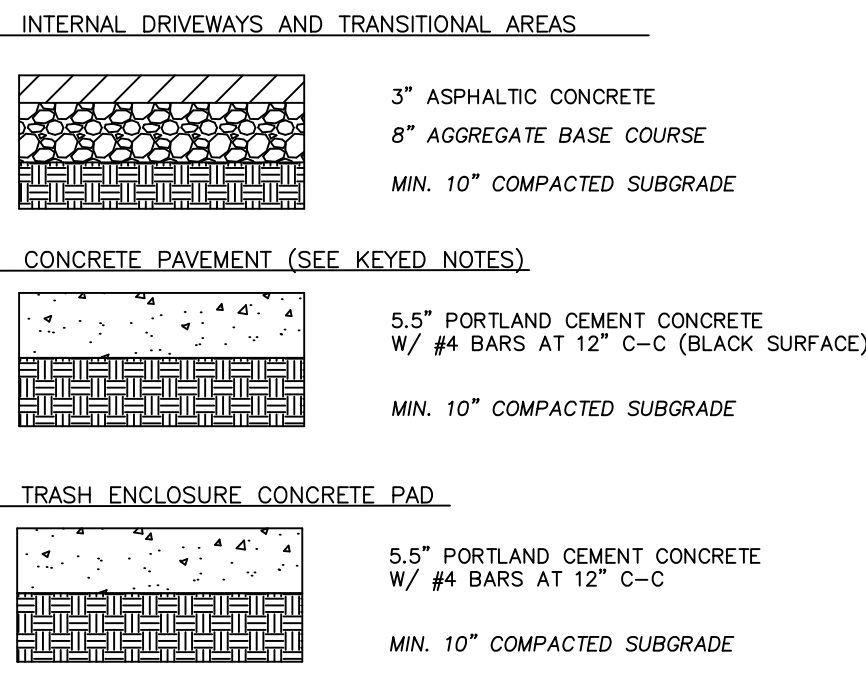


**VICINITY MAP** Zone Atlas K-18  
NTS

**LEGAL DESCRIPTION**  
Lot 3-A-1, Tijeras Place Improvement Company, Inc.  
Project Area = +/-0.87 Acres

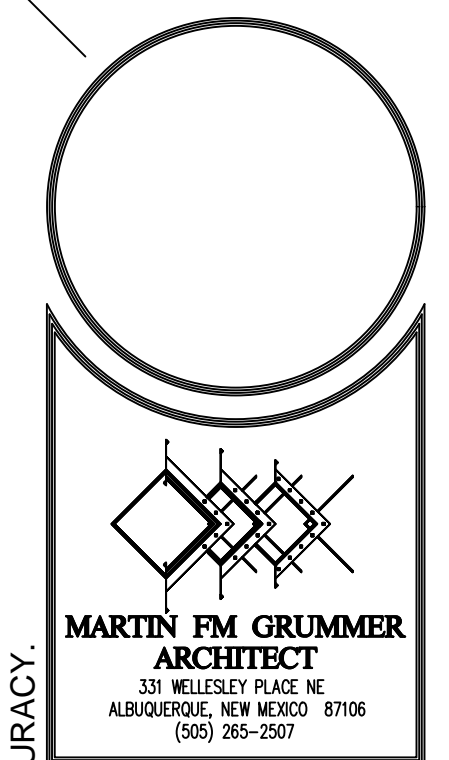
**ZONING**  
C-2

- KEYED NOTES**
- DUMPSTER ENCLOSURE, PAD, & APRON. REF ARCHITECTURAL DETAILS SHEET A1.3.
  - INSTALL VERTICAL CURB PER ARCHITECTURAL DETAILS SHEET A1.3.
  - INSTALL ROLL CURB PER ARCHITECTURAL DETAILS SHEET A1.3.
  - INSTALL PARALLEL CURB RAMP PER MDMOT STD DWGS 608-001, SHEETS 1-12. DETECTABLE WARNING SURFACE NOT REQUIRED UNLESS WITHIN PUBLIC R/W.
  - INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
  - INSTALL ASPHALT PAVEMENT, SEE PAVING DETAILS THIS SHEET.
  - INSTALL COLORED CONCRETE PER PAVING DETAILS THIS SHEET. COLOR: BLACK.
  - USE 5'X5' DIAGONAL SCORING PATTERN ON BLACK CONCRETE PER ARCHITECTURAL PLANS.
  - INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). TWO COATS MINIMUM.
  - PAINTED WHEELCHAIR SYMBOL (BLUE) TO MEET ADA STANDARDS. TWO COATS MINIMUM.
  - INSTALL H/C SIGNAGE PER DETAIL ON SHEET A1.3. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. WHEN A POLE MOUNTED SIGN WILL NOT FIT WITHIN DESIGNATED AREA, SIGN SHALL BE BOLTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
  - PAINT WORDS "NO PARKING" WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. TWO COATS MINIMUM.
  - INSTALL BIKE RACK WITH THREE (3) SPACES PER DETAIL SHEET A1.3.
  - MOTORCYCLE PARKING (4.5'x10'). ADD PAINT LABELS AND SIGNAGE PER COA STDS. TWO COATS MINIMUM.
  - INSTALL PRE-CAST WHEEL STOP PER DETAIL THIS SHEET.
  - INSTALL TRUNCATED DOMES AT EXISTING SIDEWALK CROSSING.
  - CLEAR SIGHT TRIANGLES (13'x90' TO RIGHT, 13'x350' TO LEFT) PER TRAFFIC ENGINEERING STANDARDS. LANDSCAPING & SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
  - PAINT "DO NOT ENTER" ON PAVEMENT. 24" MINIMUM HEIGHT. YELLOW PAINT. TWO COATS MINIMUM.
  - PAY STATION KIOSK BUILDING AND CANOPY. REF ARCHITECTURAL PLANS.
  - BOLLARDS, VACUUM ARCHES AND OTHER EQUIPMENT PER ARCHITECTURAL PLANS.
  - SAND / OIL SEPARATOR. REF SHEET C301 AND MEP PLANS.
  - CAR WASH DRAIN AND RAIL EQUIPMENT. REF ARCHITECTURAL PLANS.
  - CURB CUT FOR DRAINAGE. REF GRADING PLAN SHEET C201.
  - "DO NOT ENTER" SIGN PER DETAIL B, SHEET A1.3.
  - PAINT THROUGH ARROW PER FIGURE 3B-21 OF THE MUTCD. TWO COATS MINIMUM.
  - PAINT RIGHT TURN ARROW PER FIGURE 3B-21 OF THE MUTCD. TWO COATS MINIMUM.
  - PROPOSED 20' WIDE PUBLIC SAS EASEMENT TO ABCWUA.
  - MEDIAN CURB / GUTTER PER COA STD DWG 2415B.



NOTE: REFERENCE GEOTECHNICAL REPORT BY WESTERN TECHNOLOGIES DATED 7/28/2016 FOR ADDITIONAL DETAILS AND SPECIFICATIONS.

**Pavement Sections**



MARTIN M. GRUMMER  
ARCHITECT  
331 WELLESLEY PLACE NE  
ALBUQUERQUE, NEW MEXICO 87106  
(505) 985-2507

11/2/2016

CLEAN MACHINE CARWASH  
6016 CENTRAL AVENUE SE  
ALBUQUERQUE, NM 87108

DATE: 12 SEPT 2016  
DRAWN BY: JTW  
CHECKED BY: JTW  
VERIFIED BY: JTW

REVISIONS	

**SITE PLAN**

SHEET NO:  
**C101**

**WE** Wooten Engineering  
1005 21st St SE, Suite A5  
Rio Rancho, N.M. 87124  
Phone: (505) 980-3560

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWING ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.