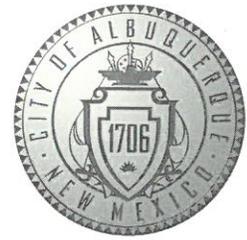


CITY OF ALBUQUERQUE



December 21, 2017

Jeffrey Wooten, P.E.
Wooten Engineering
1005 21st Street SE
Rio Rancho, NM 87124

**Re: Clean Machine Car Wash
6016 Central Ave. SE
30-Day Temporary Certificate of Occupancy- Transportation Development
Transportation Development Final Inspection
Architect's Stamp dated 11-02-16 (K18-D079)
Certification dated 12-05-17**

Dear Mr. Wootern,

Based upon the information provided in your submittal received 12-20-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

If you have any questions, please contact me at (505)924-3630.

Sincerely,

NM 87103

Logan Patz
Senior Engineer, Planning Department
Development Review Services

www.cabq.gov

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Clean Machine Car Wash **Building Permit #:** _____ **City Drainage #:** K18D079
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 3-A-1, Tijeras Place Improvement Company Inc., Project Area 0.87 Acres
City Address: 6016 Central Ave SE

Engineering Firm: Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.
Address: 1005 21st Street SE, Suite A5, Rio Rancho, NM 87124
Phone#: 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: Martin FM Grummer Architect **Contact:** Martin Grummer
Address: 331 Wellesley Place NE, Albuquerque, NM, 87106
Phone#: 505-265-2507 **Fax#:** N/A **E-mail:** mgrummer@centurylink.net

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:
 HYDROLOGY/ DRAINAGE
 TRAFFIC/ TRANSPORTATION
 MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:
 ENGINEER/ ARCHITECT CERTIFICATION
 CONCEPTUAL G & D PLAN
 GRADING PLAN
 DRAINAGE MASTER PLAN
 DRAINAGE REPORT
 CLOMR/LOMR
 TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 EROSION & SEDIMENT CONTROL PLAN (ESC)
 OTHER (SPECIFY) _____

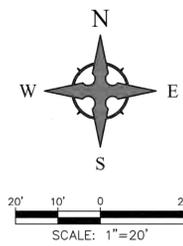
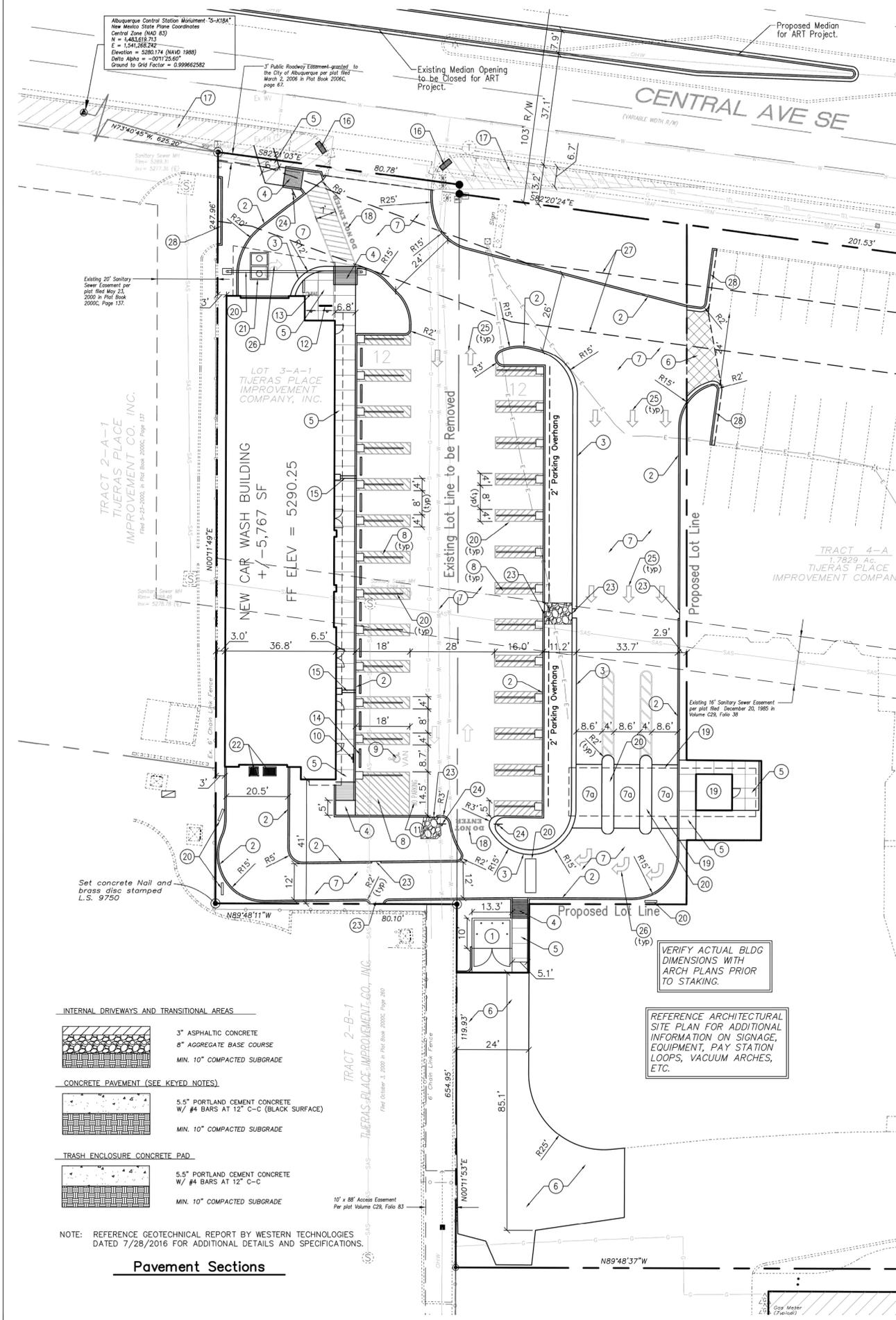
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
 BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY
 PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL
 SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 GRADING PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR
 PRE-DESIGN MEETING
 OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: 12/5/2017 By: Jeffrey T. Wooten, P.E.

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

SITE INFORMATION

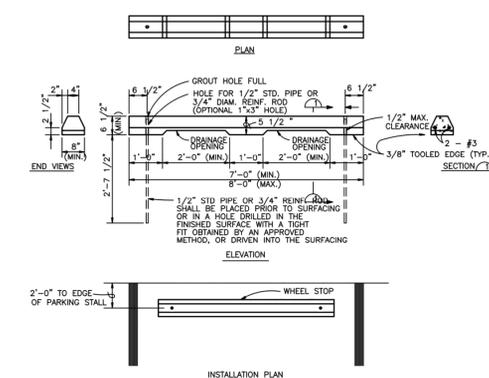
CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR TO PROVIDE PARKING LOT STRIPING, FIRELANE AND HANDICAP STRIPING PER THESE PLANS AND CITY OF ALBUQUERQUE REQUIREMENTS.

TO PRESERVE THE PAINTING / STRIPING WITHIN PARKING AREAS, DO NOT APPLY PAINT UNTIL ALL OTHER POTENTIALLY DAMAGING CONSTRUCTION HAS BEEN COMPLETED.

PARKING CALCULATIONS

BUILDING AREA:	AREA (SQUARE FEET)	
SERVICE AREA	1,777 SF	
TUNNEL AREA	3,990 SF	
PARKING REQUIREMENTS:	RATIO	REQUIRED
SERVICE AREA	1/200 SF	9 spaces
TUNNEL AREA	1/1,000 SF	4 spaces
TOTAL		13 spaces
	REQUIRED	PROVIDED
HANDICAP PARKING	1 space	1 space
MOTORCYCLE PARKING	1 space	1 space
BICYCLE PARKING	2 spaces	3 spaces



Precast Concrete Wheel Stop
NTS

Logan Patz

Digitally signed by Logan Patz, o=COA, ou=Planning Transportation, email=Lpatz@CABQ.GOV, c=US
Date: 2016.11.09 13:01:06 -07'00'

TCL CERTIFICATION

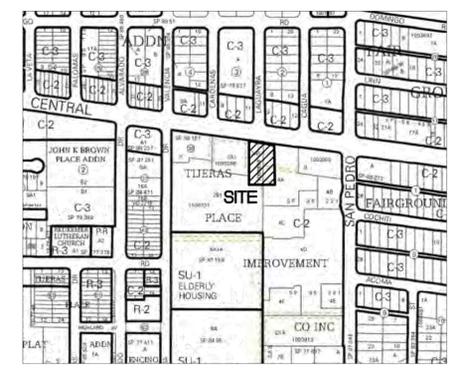
I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/2/2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JEFFREY T. WOOTEN, P.E. OF THE FIRM WOOTEN ENGINEERING. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 11/16/2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE IMPROVEMENTS BUILT ARE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. ANY DISCREPANCIES WERE PREVIOUSLY BROUGHT TO THE ATTENTION OF THE CONTRACTOR AND CORRECTIONS HAVE BEEN MADE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY (FINAL C.O.).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE SITE IMPROVEMENTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892



Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, N.M. 87124
Phone: (505) 980-3560

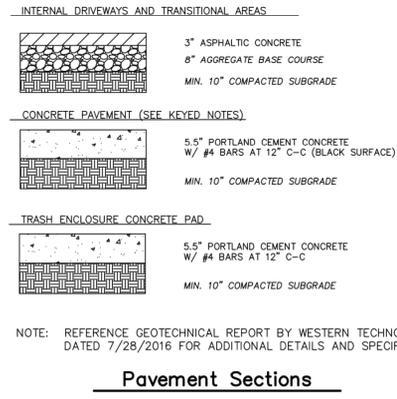


VICINITY MAP Zone Atlas K-18
NTS

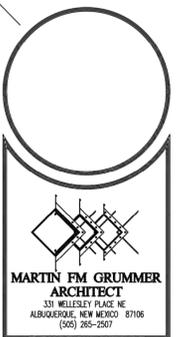
LEGAL DESCRIPTION
Lot 3-A-1, Tijeras Place Improvement Company, Inc.
Project Area = +/-0.87 Acres

ZONING
C-2

- KEYED NOTES**
- DUMPSTER ENCLOSURE, PAD, & APRON. REF ARCHITECTURAL DETAILS SHEET A1.3.
 - INSTALL VERTICAL CURB PER ARCHITECTURAL DETAILS SHEET A1.3.
 - INSTALL ROLL CURB PER ARCHITECTURAL DETAILS SHEET A1.3.
 - INSTALL PARALLEL CURB RAMP PER NMDOT STD DWGS 608-001, SHEETS 1-12. DETECTABLE WARNING SURFACE NOT REQUIRED UNLESS WITHIN PUBLIC R/W.
 - INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
 - INSTALL ASPHALT PAVEMENT, SEE PAVING DETAILS THIS SHEET.
 - INSTALL COLORED CONCRETE PER PAVING DETAILS THIS SHEET. COLOR: BLACK.
 - USE 5'X5' DIAGONAL SCORING PATTERN ON BLACK CONCRETE PER ARCHITECTURAL PLANS.
 - INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). TWO COATS MINIMUM.
 - PAINTED WHEELCHAIR SYMBOL (BLUE) TO MEET ADA STANDARDS. TWO COATS MINIMUM.
 - INSTALL H/C SIGNAGE PER DETAIL ON SHEET A1.3. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. WHEN A POLE MOUNTED SIGN WILL NOT FIT WITHIN DESIGNATED AREA, SIGN SHALL BE BOLTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
 - PAINT WORDS "NO PARKING" WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. TWO COATS MINIMUM.
 - INSTALL BIKE RACK WITH THREE (3) SPACES PER DETAIL SHEET A1.3.
 - MOTORCYCLE PARKING (4.5'x10'). ADD PAINT LABELS AND SIGNAGE PER COA STDS. TWO COATS MINIMUM.
 - INSTALL PRE-CAST WHEEL STOP PER DETAIL THIS SHEET.
 - INSTALL "SCUPPER THRU SIDEWALK" PER ARCHITECTURAL DETAILS SHEET A1.3.
 - INSTALL TRUNCATED DOMES AT EXISTING SIDEWALK CROSSING.
 - PAY STATION KIOSK BUILDING AND CANOPY. REF ARCHITECTURAL PLANS.
 - BOLLARDS, VACUUM ARCHES AND OTHER EQUIPMENT PER ARCHITECTURAL PLANS.
 - SAND / OIL SEPARATOR. REF SHEET C301 AND MEP PLANS.
 - CAR WASH DRAIN AND RAIL EQUIPMENT. REF ARCHITECTURAL PLANS.
 - CURB CUT FOR DRAINAGE. REF GRADING PLAN SHEET C201.
 - "DO NOT ENTER" SIGN PER DETAIL 8, SHEET A1.3.
 - PAINT THROUGH ARROW PER FIGURE 3B-21 OF THE MUTCD. TWO COATS MINIMUM.
 - PAINT RIGHT TURN ARROW PER FIGURE 3B-21 OF THE MUTCD. TWO COATS MINIMUM.
 - PROPOSED 20' WIDE PUBLIC SAS EASEMENT TO ABCWUA.
 - MEDIAN CURB / GUTTER PER COA STD DWG 2415B.



ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWING ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



MARTIN FM GRUMMER ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507

11/2/2016

CLEAN MACHINE CARWASH
6016 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87108

DATE: 12 SEPT 2016
DRAWN BY: JTW
CHECKED BY: JTW
VERIFIED BY: JTW

NO.	REVISIONS

SITE PLAN

SHEET NO:
C101