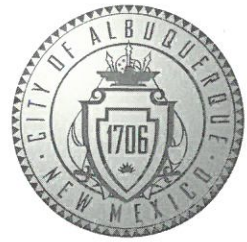


# CITY OF ALBUQUERQUE



December 21, 2017

Jeffrey Wooten, P.E.  
Wooten Engineering  
1005 21<sup>st</sup> Street SE  
Rio Rancho, NM 87124

**Re: Clean Machine Car Wash**  
**6016 Central Ave. SE**  
**30-Day Temporary Certificate of Occupancy- Transportation Development**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 11-02-16 (K18-D079)  
Certification dated 12-05-17

Dear Mr. Wooten,

Based upon the information provided in your submittal received 12-20-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Logan Patz  
Senior Engineer, Planning Department  
Development Review Services

LWP via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** Clean Machine Car Wash **Building Permit #:** **City Drainage #:** K18D079  
**DRB#:** **EPC#:** **Work Order#:**  
**Legal Description:** Lot 3-A-1, Tijeras Place Improvement Company Inc., Project Area 0.87 Acres  
**City Address:** 6016 Central Ave SE

**Engineering Firm:** Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.  
**Address:** 1005 21st Street SE, Suite A5, Rio Rancho, NM 87124  
**Phone#:** 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com

**Owner:** **Contact:**  
**Address:**  
**Phone#:** **Fax#:** **E-mail:**

**Architect:** Martin FM Grummer Architect **Contact:** Martin Grummer  
**Address:** 331 Wellesley Place NE, Albuquerque, NM, 87106  
**Phone#:** 505-265-2507 **Fax#:** N/A **E-mail:** mgrummer@centurylink.net

**Other Contact:** **Contact:**  
**Address:**  
**Phone#:** **Fax#:** **E-mail:**

Check all that Apply:

**DEPARTMENT:**  
☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**  
☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

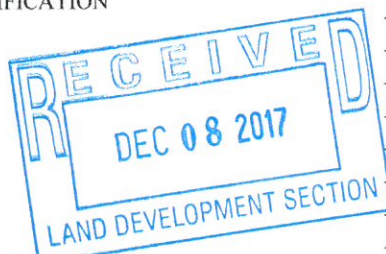
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

**DATE SUBMITTED:** 12/5/2017 **By:** Jeffrey T. Wooten, P.E.

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_



COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



