

## DRAINAGE INFORMATION SHEET

2000.037.1

PROJECT TITLE: EL MEZQUITE PARKING LOT \_\_\_\_\_ ZONE ATLAS/DRNG FILE # K18 /D079

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 3A TIJERAS PLACE IMPROVEMENT CO INC. \_\_\_\_\_

CITY ADDRESS: \_\_\_\_\_ CENTRAL AVENUE SE \_\_\_\_\_

ENGINEER: JEFF MORTENSEN &amp; ASSOCIATES, INC. CONTACT: \_\_\_\_\_ JEFF MORTENSEN \_\_\_\_\_

ADDRESS: 6010B MIDWAY PARK BLVD NE 87109 PHONE: \_\_\_\_\_ 345-4250 \_\_\_\_\_

OWNER: PETERSON PROPERTIES REAL ESTATE CONTACT: \_\_\_\_\_ DARRYL MILLET \_\_\_\_\_

ADDRESS: 2325 SAN PEDRO NE, SUITE 2-A \_\_\_\_\_ PHONE: \_\_\_\_\_ 884-3578 \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ N/A \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: JEFF MORTENSEN &amp; ASSOCIATES, INC. CONTACT: \_\_\_\_\_ JEFF MORTENSEN \_\_\_\_\_

ADDRESS: 6010B MIDWAY PARK BLVD. NE 87109 PHONE: \_\_\_\_\_ 345-4250 \_\_\_\_\_

CONTRACTOR: NOT SELECTED \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER \_\_\_\_\_

## PRE-DESIGN MEETING:

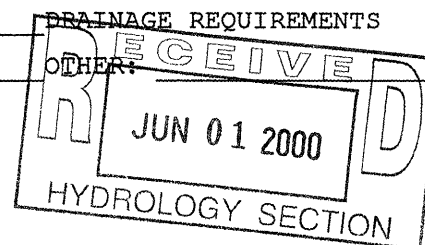
☐ YES  
☐ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☒ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT

DATE SUBMITTED: 06-01-2000

BY: JEFF MORTENSEN





# *City of Albuquerque*

June 15, 2000

Jeff Mortensen, P.E.  
Jeff Mortensen & Associates, Inc.  
6010 B Midway Park Blvd., NE  
Albuquerque, NM 87109

RE: GRADING PLAN FOR EL MEZQUITE PARKING LOT (K-18/D079)  
SUBMITTED FOR PAVING PERMIT APPROVAL

Dear Mr. Mortensen,

Based upon the information provided in your June 1, 2000, submittal, the project referred to above is approved for paving permit.

Once the construction is complete, an Engineer Certification, per the DPM checklist, will be required.

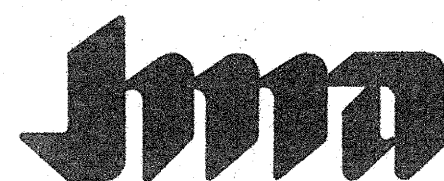
If you have any questions, please call me at 924-3988.

Sincerely,

*Stuart Reeder, P.E.*

Stuart Reeder, P.E.  
Hydrology Division

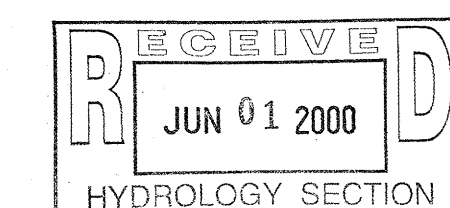
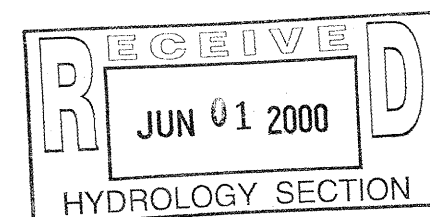
xc: Whitney Reiersen  
✓file



JEFF MORTENSEN & ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. N.E.  
ALBUQUERQUE, N.M. 87109  
ENGINEERS & SURVEYORS (050) 945-4250

## EXISTING CONDITIONS AND DRAINAGE PLAN EL MEZQUITE PARKING LOT

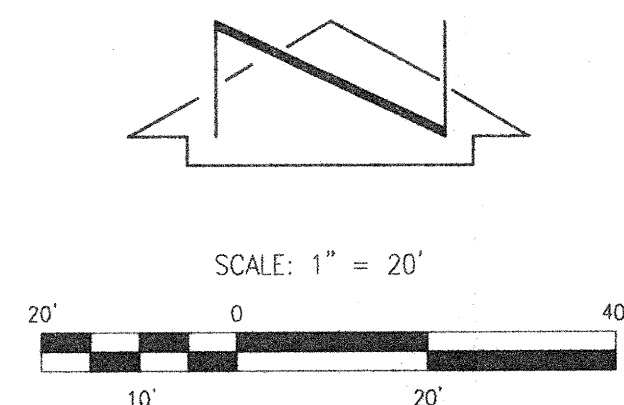
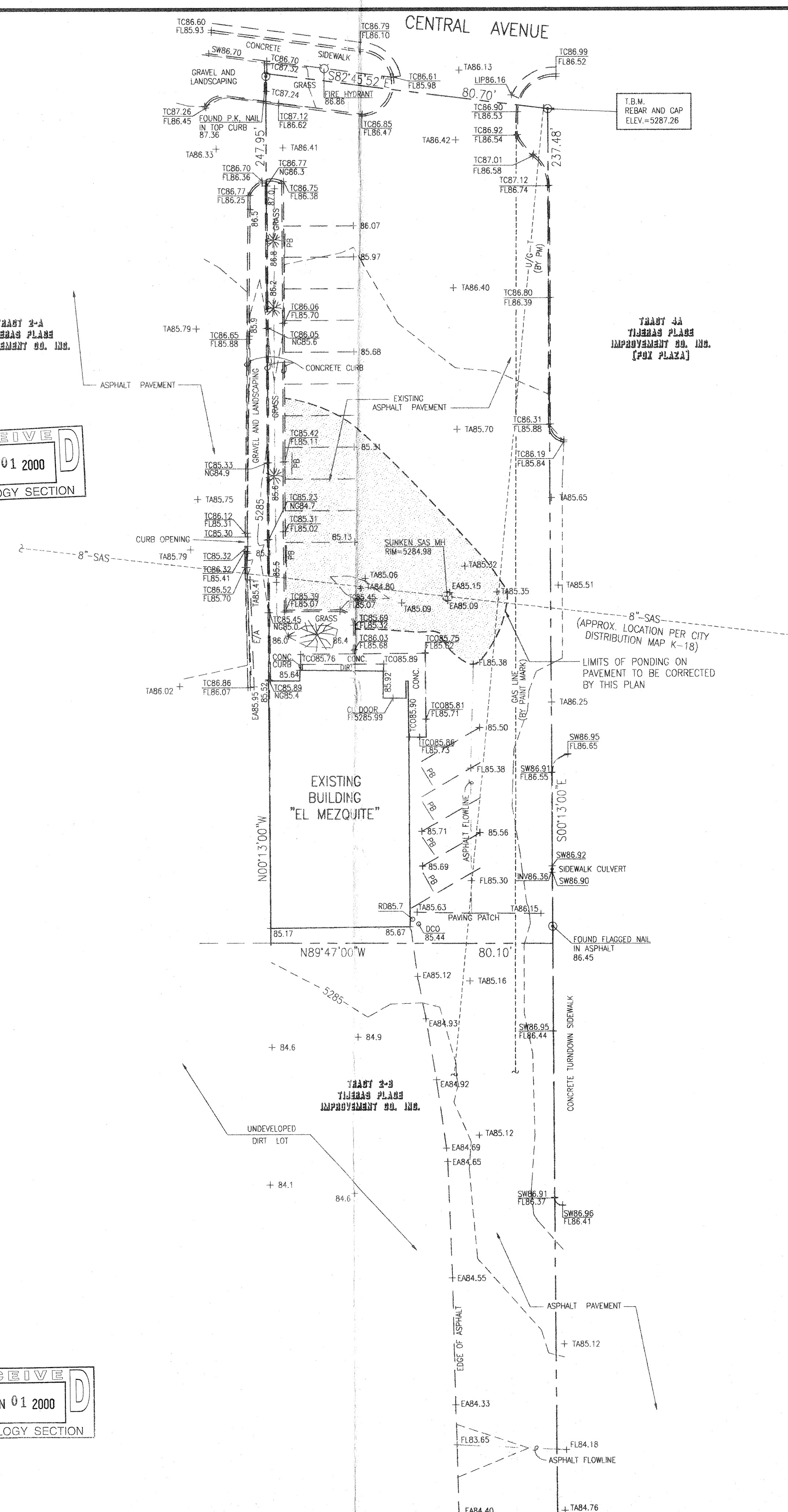
SURVEYED BY	DESIGNED BY	DRAWN BY	APPROVED BY	NO.	DATE	BY	REVISIONS	JOB NO.	DATE	SHEET	OF
R.J.E.	J.G.M.	S.G.H., J.Y.R.	J.G.M.					2000.037.1	5-2000	1	2



TRACT 3-A  
TUERAS PLACE  
IMPROVEMENT CO., INC.

TRACT 3A  
TUERAS PLACE  
IMPROVEMENT CO., INC.  
(FOX PLAZA)

TRACT 3-B  
TUERAS PLACE  
IMPROVEMENT CO., INC.



### PROJECT BENCHMARK

STATION IS A 3 1/2" ALUMINUM TABLET SET IN A DRILL HOLE FLUSH WITH THE CONCRETE MEDIAN. THE STATION IS STAMPED "ACS, 5-K188" AND IS LOCATED AT THE INTERSECTION OF CENTRAL AVENUE AND SAN PEDRO DRIVE APPROXIMATELY 52' WEST OF THE CENTERLINE OF SAN PEDRO DRIVE IN THE MEDIAN IN CENTRAL AVE.  
ELEVATION = 5290.33 FEET (M.S.L.D.)

### T.B.M.

TOP OF REBAR AND CAP LOCATED AT THE NORTHEAST PROPERTY CORNER OF TRACT 3 AS SHOWN ON THE DRAWING.  
ELEVATION = 5287.26 FEET (M.S.L.D.)

### LEGAL DESCRIPTION

TRACT 3A, LAND OF THE TUERAS PLACE IMPROVEMENT CO., INC. (N.S.L.)

### LEGEND

DC	DOUBLE SANITARY SEWER CLEAN-OUT
EA	EDGE OF ASPHALT
FL	FLOWLINE
IN	INVERT
NG	NATURAL GRADE
PB	PARKING BUMPER
PM	PAINT MARK
RD	ROOF DRAIN
SAS	SANITARY SEWER MANHOLE
SW	TOP OF SIDEWALK
TA	TOP OF ASPHALT
TC	TOP OF CURB
TCO	TOP OF CONCRETE
U/G T	UNDERGROUND TELEPHONE LINE
+	EXISTING SPOT ELEVATION
+	SMALL DECIDUOUS TREE
+	DECIDUOUS TREE

### NOTE:

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY INFORMATION IS TAKEN FROM PLAT OF TRACT 3A, LAND OF THE TUERAS PLACE IMPROVEMENT CO., INC. (N.S.L.)

### DRAINAGE PLAN

### I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED ALONG EAST CENTRAL AVENUE IN THE SOUTHEAST HEIGHTS, REPRESENTS A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA. THE DRAINAGE CONCEPT WILL BE TO MAINTAIN THE STATUS QUO. THE CONTINUED FREE DISCHARGE OF RUNOFF IN A MANNER CONSISTENT WITH EXISTING DRAINAGE PATTERNS IS PROPOSED.

THIS SUBMITTAL IS MADE IN SUPPORT OF A GRADING AND PAVING PLAN FOR THE REPAIR AND RECONSTRUCTION OF AN EXISTING PARKING LOT SERVING A COMMERCIAL SITE.

### II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF SAN PEDRO SE AND EAST CENTRAL AVENUE. THE CURRENT LEGAL DESCRIPTION IS TRACT 3A, TUERAS PLACE IMPROVEMENT CO., INC. AS SHOWN BY PANEL 354 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER 20, 1996, THIS SITE LIES PARTIALLY WITHIN A DESIGNATED FLOOD HAZARD ZONE (ZONE A). PANEL 354 IDENTIFIES AN AO (DEPTH 1) ZONE WITHIN EAST CENTRAL AVENUE OVERLAPPING THE ROADWAY SLIGHTLY TO THE SOUTH ONTO PRIVATE PROPERTY. THE PORTION OF THE SITE AFFECTED BY THIS PLAN DOES NOT LIE WITHIN THE AO ZONE AND HENCE WILL NOT HAVE ANY AFFECT ON THAT ZONE. AS STATED ABOVE, THIS PROJECT INVOLVES REPAIRING A PORTION OF THE SITE THAT CURRENTLY EXISTS AS PAVED ACCESS AND PARKING. THE SITE IS A PORTION OF FOX PLAZA, A SHOPPING CENTER SITE.

### III. BACKGROUND DOCUMENTS

REVIEW OF HYDROLOGY DEVELOPMENT DIVISION RECORDS INDICATES NO PREVIOUSLY SUBMITTED AND/OR APPROVED DRAINAGE SUBMITTALS FOR THIS SITE. ALTHOUGH THE SITE THAT LIES IMMEDIATELY WEST OF THE SITE APPEARS TO HAVE BEEN RECENTLY DEVELOPED, A DRAINAGE SUBMITTAL FOR THAT PROPERTY WAS NOT FOUND. THE MOST RECENT PLAN FOUND INVOLVES AN UPSTREAM PROPERTY SITUATED AT THE NORTHEAST CORNER OF THE SHOPPING CENTER SITE. THAT PLAN, K18-D70 PREPARED BY LEVI J. VALDEZ DATED 05-01-98 AND APPROVED 05-05-98, ACKNOWLEDGES THE "STATUS QUO" AS FOLLOWS:  
A. FREE DISCHARGE FROM EAST TO WEST  
B. REPLACEMENT OF EXISTING LAND TREATMENT "D" WITH EQUIVALENT AREAS OF NEW "D" WITHOUT COMPENSATION  
C. MAINTAIN AND HONOR EXISTING FLOW PATTERNS WITHOUT REGARD TO EXISTING PROPERTY LINES PROVIDED THAT THE EXISTING HYDROLOGY IS NOT ALTERED  
THIS SUBMITTAL WILL NOT DEVIATE FROM THIS PRECEDENT.

### IV. EXISTING CONDITIONS

AT PRESENT, THE FULLY DEVELOPED SITE SUPPORTS A SMALL BUTCHER SHOP WITH PAVED ACCESS AND PARKING. THE SITE DRAINS FROM NORTH TO SOUTH ONTO EXISTING SHOPPING CENTER PAVING. FROM THIS POINT, THE RUNOFF EVENTUALLY LEAVES THE SHOPPING CENTER PAVING AND FLOWS WEST ACROSS VACANT UNDEVELOPED PROPERTY TO ULTIMATELY DRAIN INTO VALENCIA DRIVE SE. AN EXISTING PAVED CITY STREET. FROM THIS POINT, RUNOFF FLOWS NORTH WITHIN THE IMPROVED STREET TO THE INTERSECTION WITH EAST CENTRAL AVENUE. FROM THIS POINT, RUNOFF FLOWS WEST WITHIN EAST CENTRAL AVENUE. THIS DRAINAGE PATTERN HAS BEEN IN EXISTENCE FOR AN EXTENSIVE PERIOD OF TIME. THE DEVELOPMENT OF THE SHOPPING CENTER SITE PREDATES THE REQUIREMENT FOR A DRAINAGE SUBMITTAL IN EFFECT FOR AT LEAST THE PAST TWENTY YEARS.

ALTHOUGH THE DRAINAGE OF THE SHOPPING CENTER SITE IS CHARACTERIZED AS FREE DISCHARGE, THE AREA IN FRONT OF THE BUTCHER SHOP IS QUITE FLAT AND THEREFORE PONDS RUNOFF ON THE EXISTING PAVING. THIS IS A CONSIDERABLE NUISANCE AS THE POND COVERS A LARGE AREA AT THE ENTRANCE TO THE BUILDING. THE LIMITS OF THE PONDING ARE OUTLINED ON THE EXISTING CONDITIONS PLAN AT LEFT.

OFFSITE FLOWS ARE RECEIVED FROM THE EAST. THE EXISTING SHOPPING CENTER OF WHICH THIS SITE IS A PART. OFFSITE FLOWS GENERATED BY THE SITE TO THE WEST, J.D.BYRIDER DRAIN FROM WEST TO EAST AND DISCHARGES INTO AN EXISTING LANDSCAPED AREA ALONG ITS EAST PROPERTY LINE. THE POND IS CURBED ALONG ITS EAST EDGE, A LINE COMMON WITH TRACT 3A. THE LANDSCAPED AREA APPEARS TO FUNCTION AS A RETENTION POND THAT OVERFLOWS TO THE SOUTH AWAY FROM TRACT 3A. DUE TO THE FACT THAT NO CHANGES ARE PROPOSED TO THE EXISTING LANDSCAPING FOR THE BUTCHER SHOP, OR MORE IMPORTANTLY, THE CURB ALONG THE COMMON PROPERTY LINE, THESE OFFSITE FLOWS WILL CONTINUE TO FLOW AS DESCRIBED ABOVE AND WILL NOT BE ADVERSELY AFFECTED BY THE PROPOSED REPAVING PROJECT. FURTHERMORE, THE OFFSITE FLOWS FROM THE UPSTREAM SHOPPING CENTER DEVELOPMENT WILL CONTINUE TO BE ACCEPTED AND CONVEYED THROUGH THIS SITE.

### V. DEVELOPED CONDITIONS

THE PROPOSED CONSTRUCTION CONSISTS OF THE REPAVING OF A PORTION OF THE SITE WITH THE INTENT TO PROVIDE THE POSITIVE DRAINAGE OF PAVED SURFACES. IN PRINCIPLE, NO NEW PAVING IS PROPOSED. IN FACT, THE GRADING AND PAVING PROPOSES THE OVERLAY OF THE EXISTING PAVING IN ORDER TO ACHIEVE POSITIVE DRAINAGE. RUNOFF WILL BE DISCHARGED TO THE SOUTH VIA THE EXISTING ACCESS DRIVE THAT LIES ALONG THE EAST SIDE OF THE BUTCHER SHOP. FROM THAT POINT, RUNOFF WILL FOLLOW THE FLOW PATH DESCRIBED ABOVE IN THE PRECEDING SECTION.

### VI. GRADING PLAN

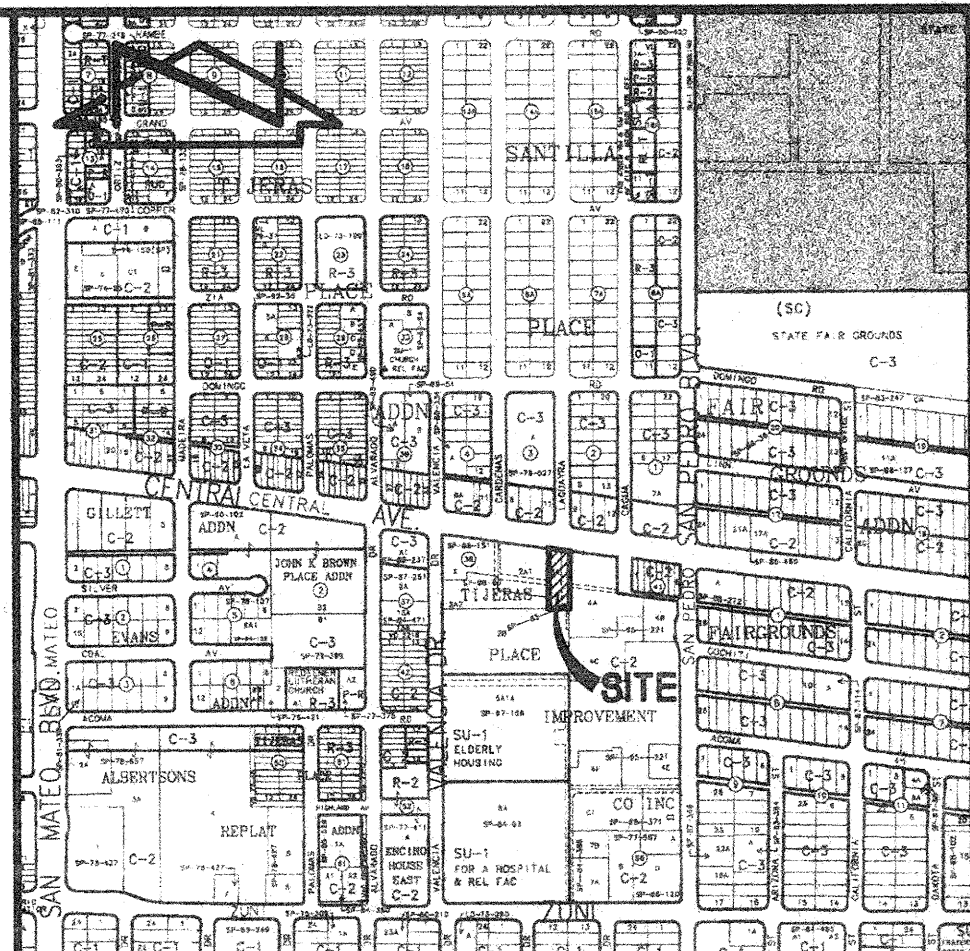
THE GRADING PLAN SHOWS 1.) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 2.) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 3.) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS, 4.) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 5.) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, THE SITE IS ALREADY DEVELOPED AS PART OF A COMMERCIAL SHOPPING CENTER. THE PROPOSED PAVING AFFECTS A MODEST PORTION OF THE SITE AND DOES NOT REPRESENT AN INCREASE IN IMPERVIOUS AREA NOR A DEPARTURE FROM THE EXISTING DRAINAGE PATTERN OF THE SITE. THIS PLAN FURTHER ILLUSTRATES THE DRAINAGE PATTERNS DESCRIBED IN THE SECTION ABOVE ALONG WITH THE LIMITS OF THE PROPOSED PAVING OVERLAY.

### VII. CALCULATIONS

DUE TO THE FACT THAT THE PROPOSED CONSTRUCTION WILL NOT RESULT IN THE CREATION OF ADDITIONAL IMPERVIOUS AREA ON THE SITE, CALCULATIONS HAVE NOT BEEN PERFORMED AS PART OF THIS SUBMITTAL. THE PROPOSED IMPROVEMENTS WILL INCREASE OR DECREASE THE AMOUNT OF RUNOFF GENERATED BY THE SITE.

### VIII. CONCLUSION

THE CONTINUED FREE DISCHARGE OF RUNOFF FROM THIS SITE IN ITS HISTORIC DRAINAGE PATH IS APPROPRIATE DUE TO THE FOLLOWING FACTORS:  
1. MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA  
2. NO INCREASE IN RUNOFF BEING GENERATED BY THE PROPOSED PAVING OVERLAY  
3. NO CHANGE ON DOWNSTREAM FLOOD ZONES OR CONDITIONS  
4. NO CHANGE IN HISTORIC DRAINAGE PATTERNS

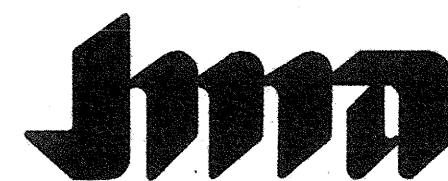


VICINITY MAP  
SCALE: 1" = 750'

K-18





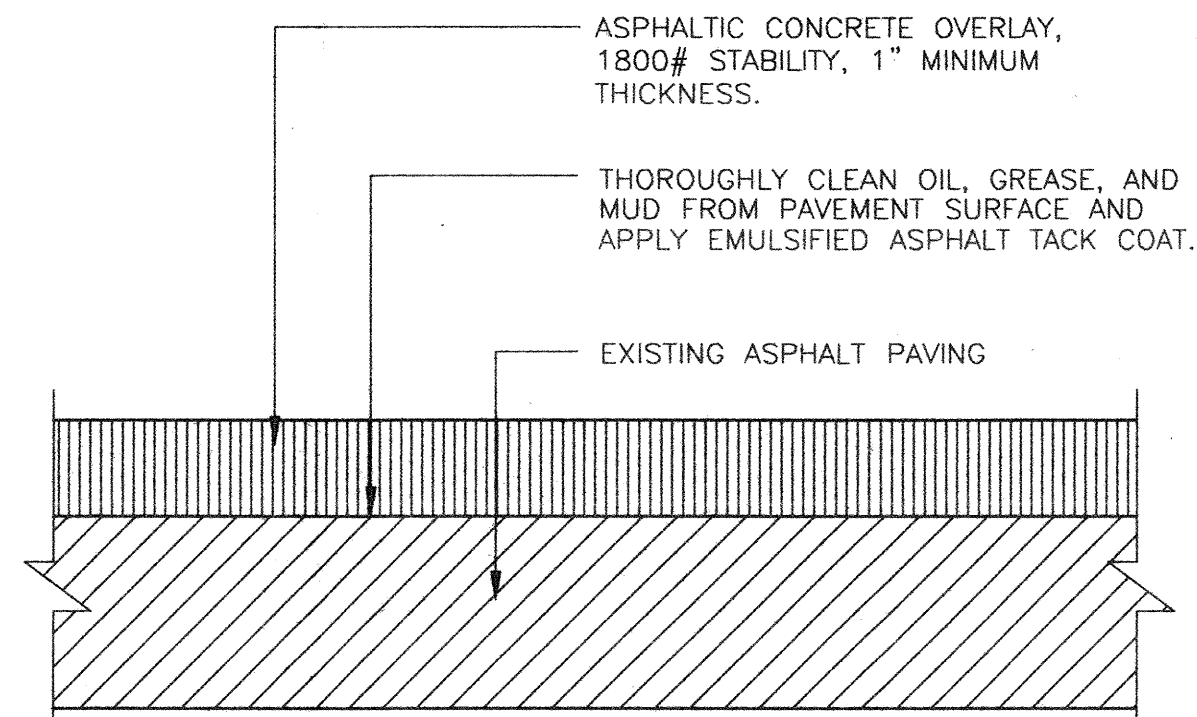
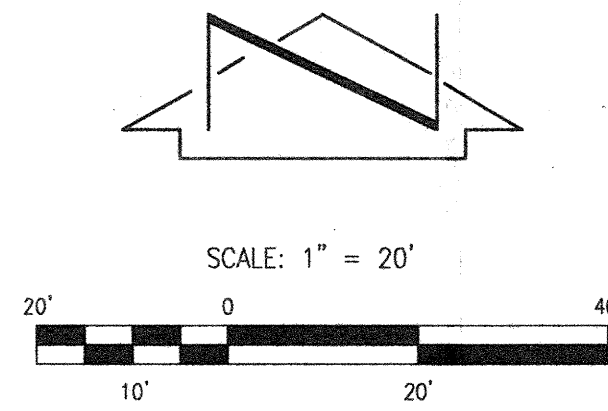
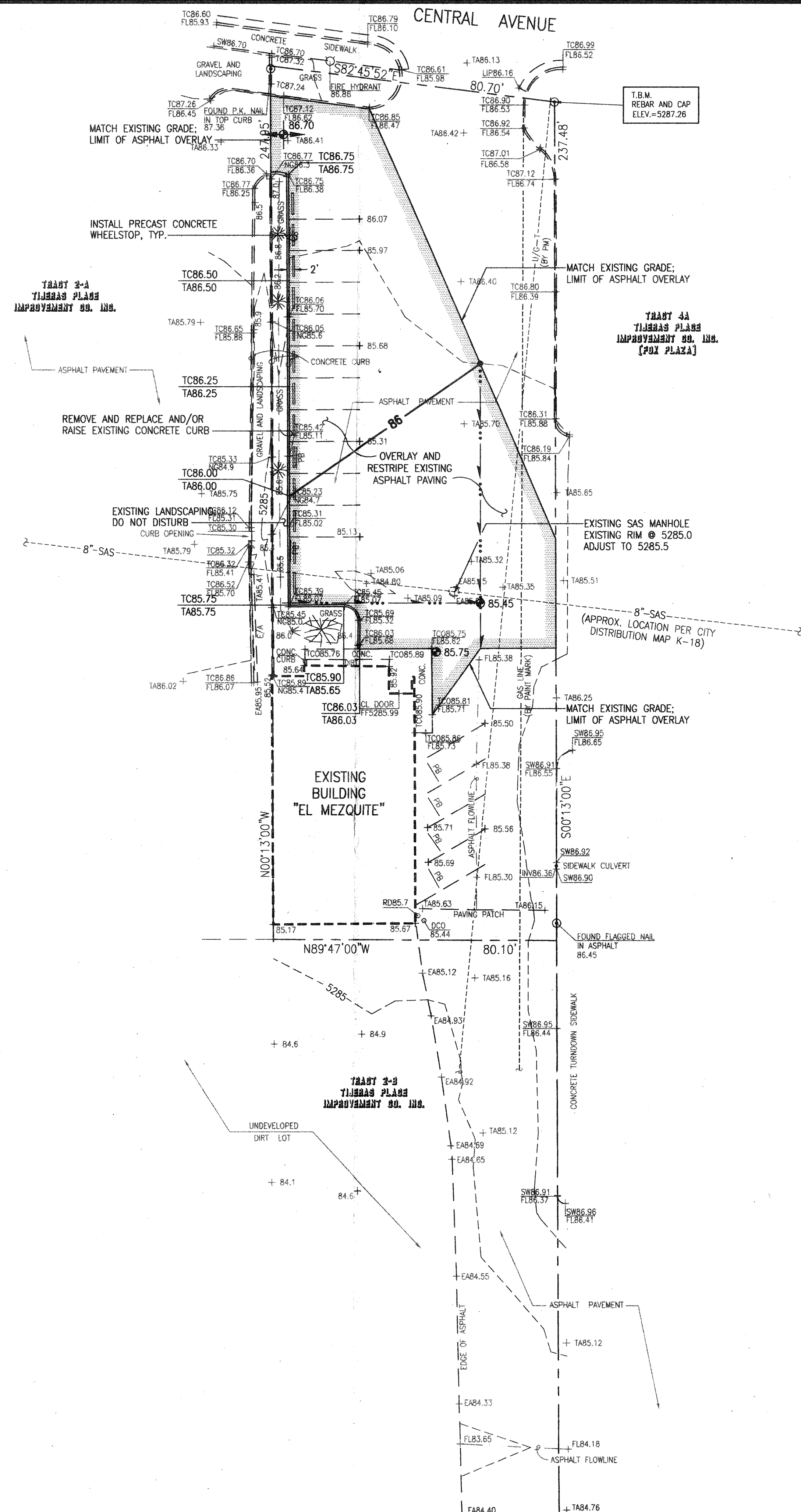


JEFF MORTENSEN & ASSOCIATES, INC.  
 600-B MIDWAY PARK BLVD. NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 ENGINEERS SURVEYORS (505) 345-4250

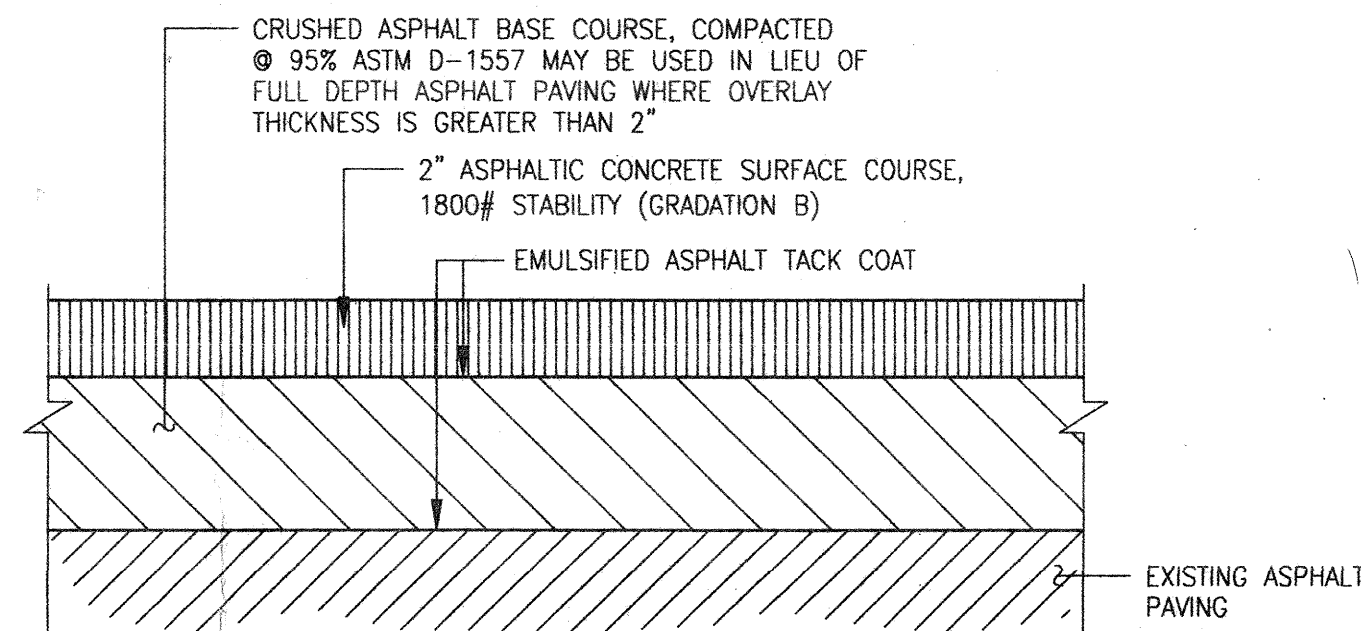
# GRADING AND REPAVING PLAN EL MEZQUITE PARKING LOT

DESIGNED BY J.G.M.  
 DRAWN BY J.Y.R.  
 APPROVED BY J.G.M.

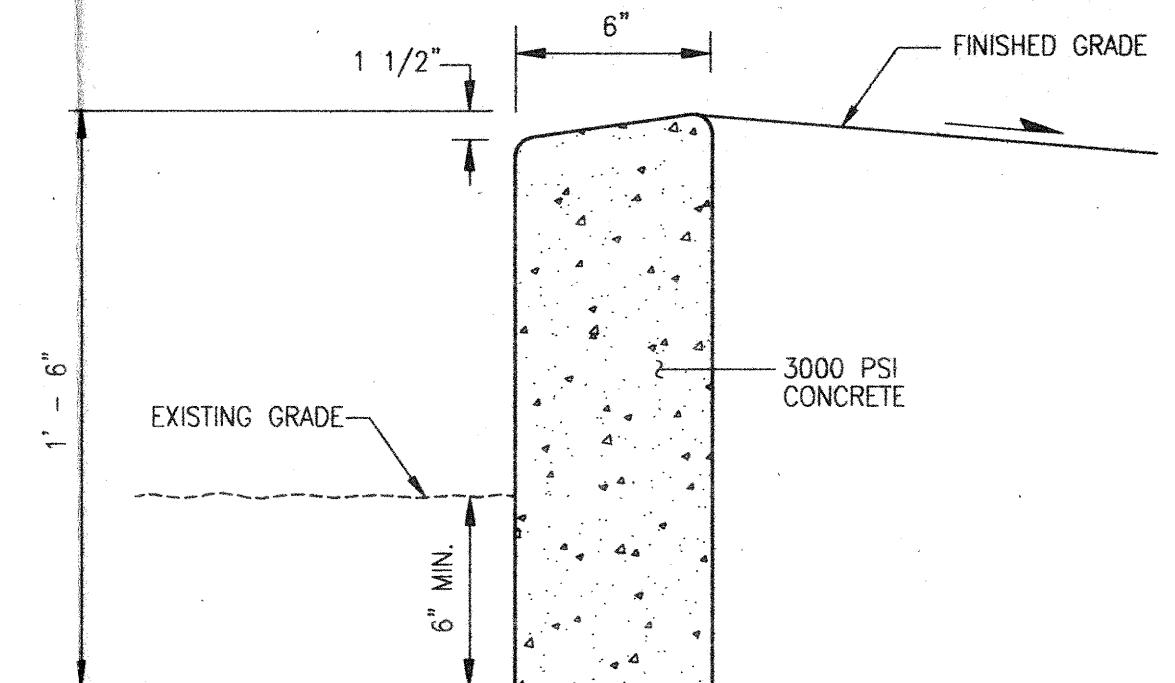
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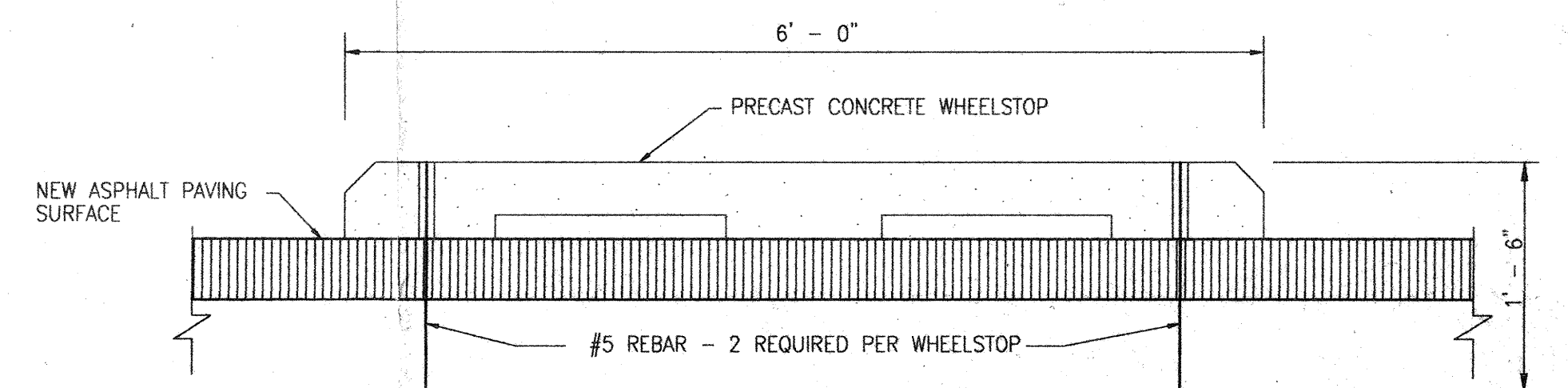
TYPICAL OVERLAY PAVEMENT SECTION  
 SCALE: 1" = 4"



ALTERNATIVE OVERLAY PAVEMENT SECTION  
 SCALE: 1" = 5"



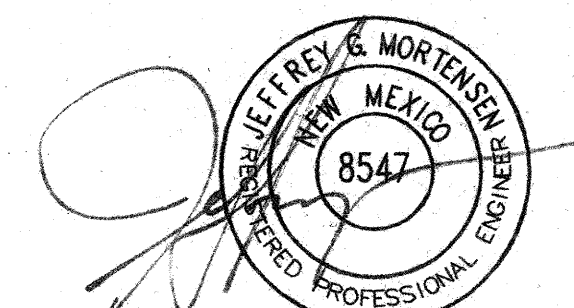
HEADER CURB  
 SCALE: 1" = 6"



WHEEL STOP SECTION  
 SCALE: 1" = 10"

## LEGEND

DCO	DOUBLE SANITARY SEWER CLEAN-OUT
EA: E/A	EDGE OF ASPHALT
FL	FLOWLINE
INV.	INVERT
NS	NATURAL GRADE
PB	PARKING BUMPER
PM	PAINT MARK
RD	ROOF DRAIN
SAS MH	SANITARY SEWER MANHOLE
SW	TOP OF SIDEWALK
TA	TOP OF ASPHALT
TC	TOP OF CURB
TCO	TOP OF CONCRETE
U/G T	UNDERGROUND TELEPHONE LINE
+ 85.31	EXISTING SPOT ELEVATION
	SMALL DECIDUOUS TREE
	DECIDUOUS TREE
TA	TOP OF ASPHALT
TC	TOP OF CURB
86	PROPOSED CONTOUR
---	PROPOSED FLOW LINE



06-01-2000