

CITY OF ALBUQUERQUE



October 7, 2016

Wooten Engineering
Jeffrey Wooten P.E.
1005 21st Street SE, Suite A5
Rio Rancho, NM 87124

Re: Clean Machine Car Wash
6016 Central Ave. SE
Traffic Circulation Layout
Engineer's/Architect's Stamp 09-15-16 (K18-D079)

Dear Mr.

Based upon the information provided in your submittal received 09-15-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing access easements and rights of way width dimensions.
2. Identify the right of way width, medians, curb cuts, and street widths on Central.
3. Clarify existing property lines and proposed property lines.
 - DRB approval is required for proposed lot line and removal.
 - Provide shared access/access agreements for the refuse, J.D. Byrider entrance, and parking lot locations.
4. Show all drive aisle widths and radii. Some dimensions are not shown. Minimum lane widths are 12 feet minimum with a 25 foot minimum radius (inside edge) for all turns. (A 15 foot radius can be used with an increase in lane width to 14 feet).
5. A 5 ft. keyway is required for dead-end parking aisles.
6. Per the zoning code, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please provide details and dimensions.
7. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb. Parking areas shall have barriers which prevent vehicle encroachment and which shall be located two feet from any pedestrian walkway or landscaped area.
8. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
9. One-way vehicular paths require pavement directional signage. Please show detail and location of posted signs.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

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10. Work within the public right of way requires a work order with DRC approved plans.
11. Pedestrian path in front of building will need to be eight (8) feet per zoning code.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Monica Ortiz (505) 924-3981.

Sincerely,

Logan Patz
Traffic Engineer, Planning Dept.
Development Review Services

PO Box 1293

mao via: email
C: CO Clerk, File

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

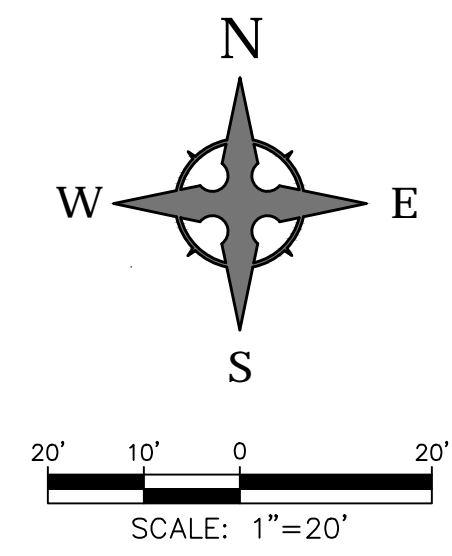
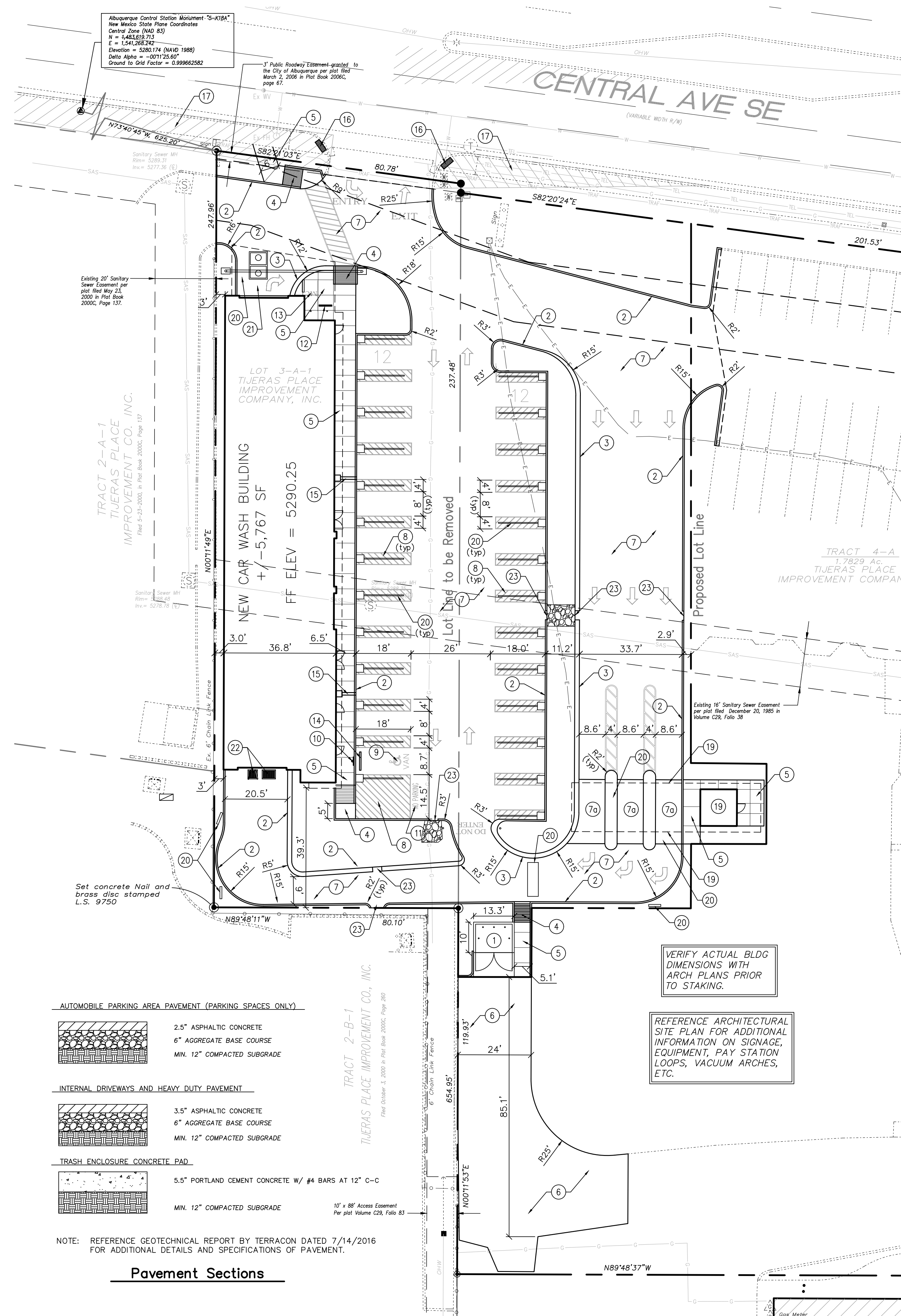
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

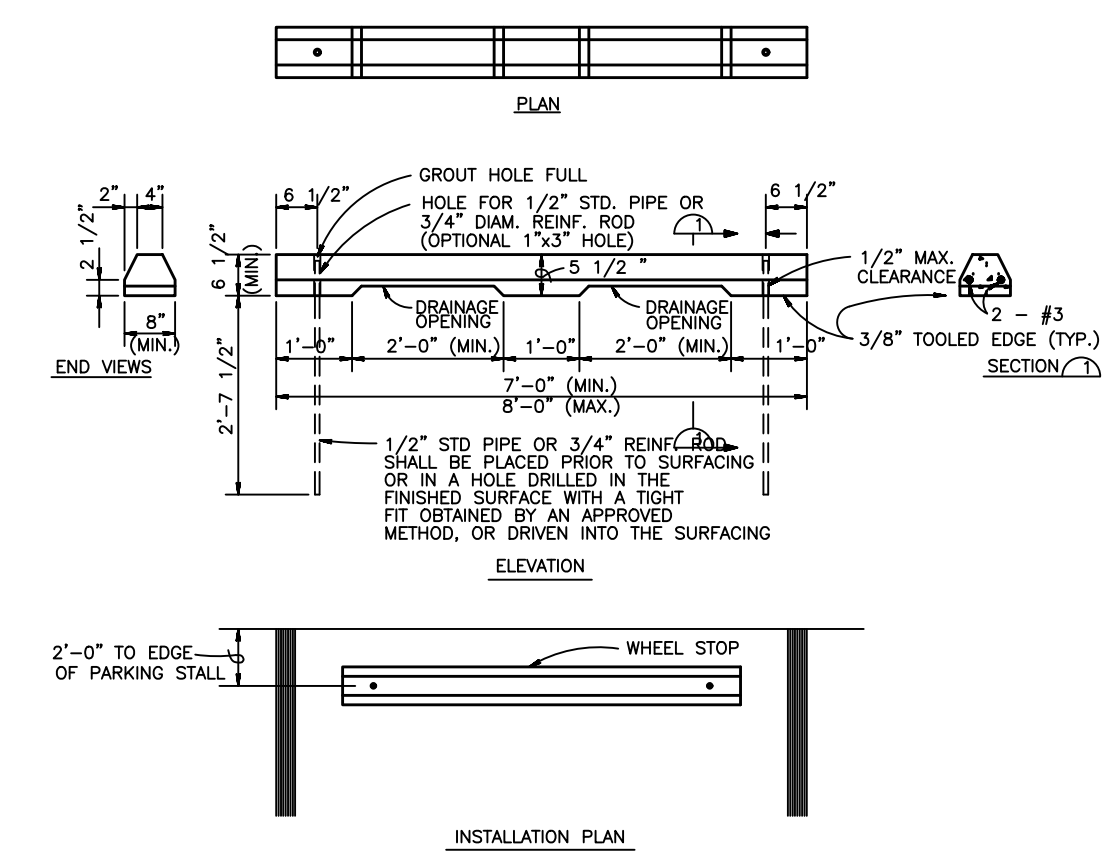
SITE INFORMATION.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

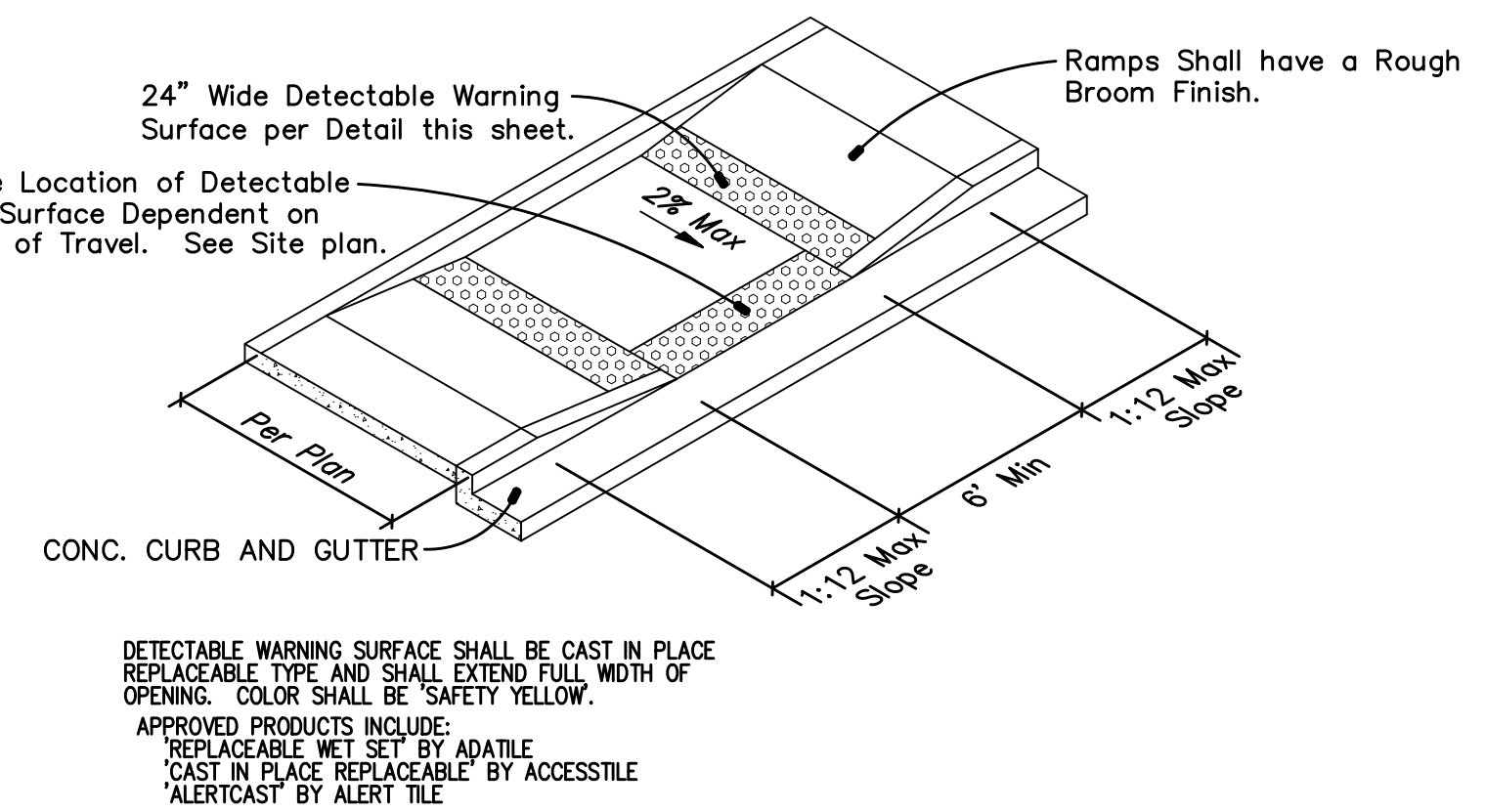
CONTRACTOR TO PROVIDE PARKING LOT STRIPING, FIRELANE AND HANDICAP STRIPING PER THESE PLANS AND CITY OF ALBUQUERQUE REQUIREMENTS.

TO PRESERVE THE PAINTING / STRIPING WITHIN PARKING AREAS, DO NOT APPLY PAINT UNTIL ALL OTHER POTENTIALLY DAMAGING CONSTRUCTION HAS BEEN COMPLETED.

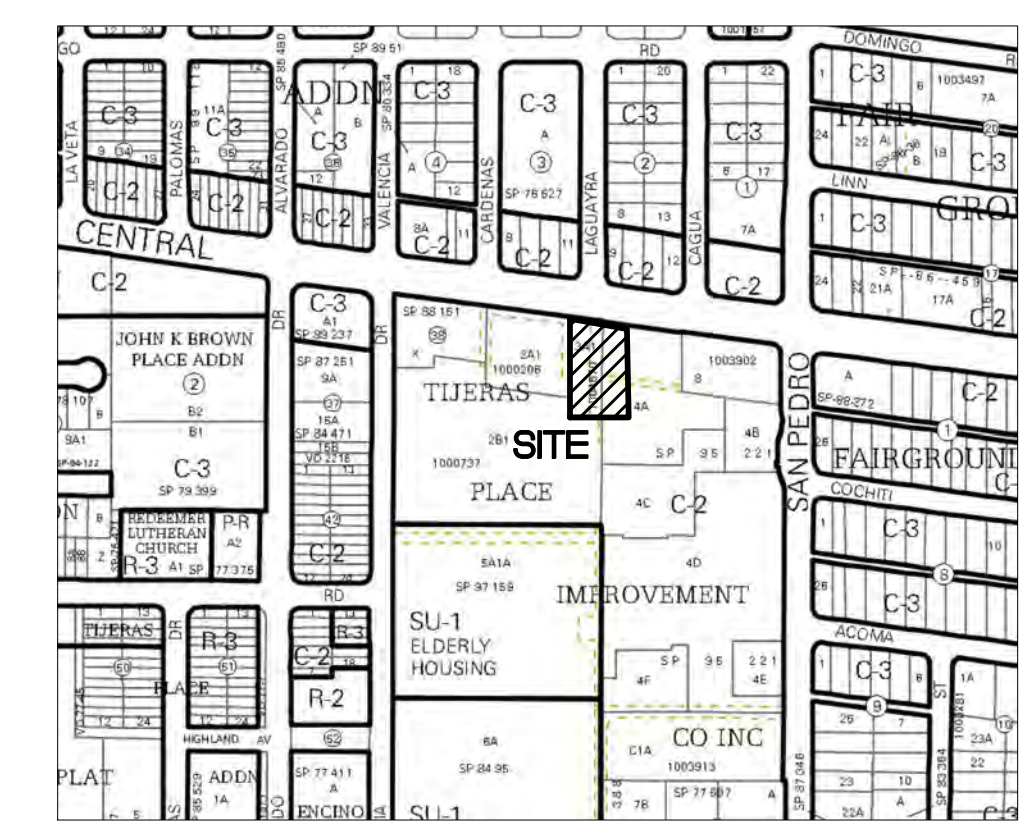
PARKING CALCULATIONS				
BUILDING AREA:		AREA (SQUARE FEET)		
SERVICE AREA		1,777 SF		
TUNNEL AREA		3,990 SF		
PARKING REQUIREMENTS:		RATIO	REQUIRED	PROVIDED
SERVICE AREA		1/200 SF	9 spaces	
TUNNEL AREA		1/1,000 SF	4 spaces	
TOTAL			13 spaces	24 spaces
			REQUIRED	PROVIDED
HANDICAP PARKING			1 space	1 space
MOTORCYCLE PARKING			1 space	1 space
BICYCLE PARKING			2 spaces	3 spaces



Precast Concrete Wheel Stop
NTS



In-Line Wheelchair Ramp



VICINITY MAP Zone Atlas K-18

LEGAL DESCRIPTION

Lot 3-A-1, Tijeras Place Improvement Company, Inc.
Project Area = +/-0.87 Acres

ZONING
C-2

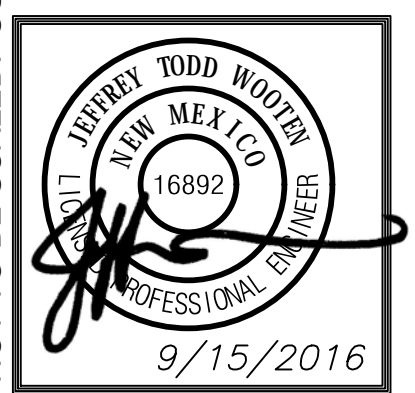
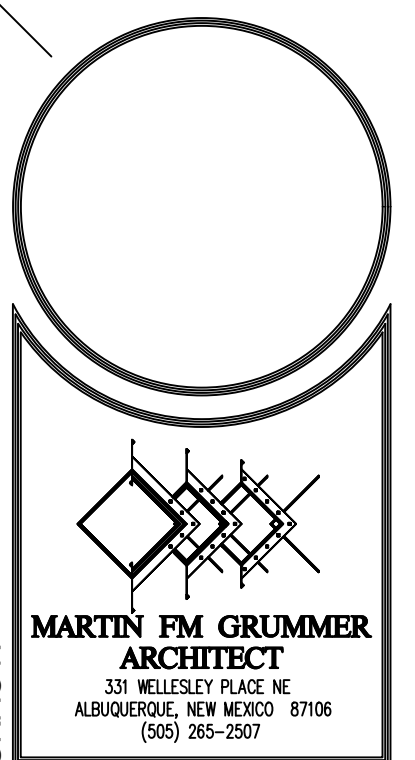
KEYED NOTES

- DUMPSTER ENCLOSURE, PAD, & APRON. REF ARCHITECTURAL DETAILS SHEET A1.3.
- INSTALL VERTICAL CURB PER ARCHITECTURAL DETAILS SHEET A1.3.
- INSTALL ROLL CURB PER ARCHITECTURAL DETAILS SHEET A1.3.
- INSTALL CURB RAMP WITH TRUNCATED DOMES PER DETAIL THIS SHEET. MATCH ADJACENT SIDEWALK WIDTH.
- INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
- INSTALL ASPHALT PAVEMENT, SEE PAVING DETAILS THIS SHEET.
- INSTALL COLORED CONCRETE PER PAVING DETAILS THIS SHEET. COLOR: BLACK.
- USE 5'X5' DIAGONAL SCORING PATTERN ON BLACK CONCRETE PER ARCHITECTURAL PLANS.
- INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). TWO COATS MINIMUM.
- PAINTED WHEELCHAIR SYMBOL (BLUE) TO MEET ADA STANDARDS. TWO COATS MINIMUM.
- INSTALL H/C SIGNAGE PER DETAIL ON SHEET A1.3. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. WHEN A POLE MOUNTED SIGN WILL NOT FIT WITHIN DESIGNATED AREA, SIGN SHALL BE BOLTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. TWO COATS MINIMUM.
- INSTALL BIKE RACK WITH THREE (3) SPACES PER DETAIL SHEET A1.3.
- MOTORCYCLE PARKING (4.5'x10'). ADD PAINT LABELS AND SIGNAGE PER COA STDS. TWO COATS MINIMUM.
- INSTALL PRE-CAST WHEEL STOP PER DETAIL THIS SHEET.
- INSTALL 'SCUPPER THRU SIDEWALK' PER ARCHITECTURAL DETAILS SHEET A1.3.
- INSTALL TRUNCATED DOMES AT EXISTING SIDEWALK CROSSING.
- CLEAR SIGHT TRIANGLES (13'x90' TO RIGHT, 13'x350' TO LEFT) PER TRAFFIC ENGINEERING STANDARDS. LANDSCAPING & SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- NOT USED.
- PAY STATION KIOSK BUILDING AND CANOPY. REF ARCHITECTURAL PLANS.
- BOLLARDS, VACUUM ARCHES AND OTHER EQUIPMENT PER ARCHITECTURAL PLANS.
- SAND / OIL SEPARATOR. REF SHEET C301 AND MEP PLANS.
- CAR WASH DRAIN AND RAIL EQUIPMENT. REF ARCHITECTURAL PLANS.
- CURB CUT FOR DRAINAGE. REF GRADING PLAN SHEET C201.

AUTOMOBILE PARKING AREA PAVEMENT (PARKING SPACES ONLY)	
	2.5" ASPHALTIC CONCRETE 6" AGGREGATE BASE COURSE MIN. 12" COMPACTED SUBGRADE
INTERNAL DRIVEWAYS AND HEAVY DUTY PAVEMENT	
	3.5" ASPHALTIC CONCRETE 6" AGGREGATE BASE COURSE MIN. 12" COMPACTED SUBGRADE
TRASH ENCLOSURE CONCRETE PAD	
	5.5" PORTLAND CEMENT CONCRETE W/ #4 BARS AT 12" C-C MIN. 12" COMPACTED SUBGRADE

NOTE: REFERENCE GEOTECHNICAL REPORT BY TERRACON DATED 7/14/2016 FOR ADDITIONAL DETAILS AND SPECIFICATIONS OF PAVEMENT.

Pavement Sections



CLEAN MACHINE CARWASH
6016 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87108

DATE:	12 SEPT 2016
DRAWN BY:	JTW
CHECKED BY:	JTW
VERIFIED BY:	JTW

REVISIONS	

SITE PLAN

SHEET NO:
C101

W E Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, N.M. 87124
Phone: (505) 980-3560