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RESPONSIBILITY

- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
 - THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY THE TRAFFIC ENGINEER, AFTER APPROVAL FOR BUILDING PERMIT, WILL RESULT IN:
 - UNTIMELY DELAY OF CERTIFICATION FOR FINAL CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK; AND
 - INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- INSPECTION OF CONSTRUCTION FOR THE CERTIFICATE OF OCCUPANCY FOR TRANSPORTATION WILL BE DONE FROM THIS SHEET.

GENERAL NOTES

- THE CONTRACTOR SHALL REFER TO THE OWNER'S SURVEY FOR THE METES AND BOUNDS DESCRIPTION.
- THE CONTRACTOR SHALL SUBMIT AUTOMATIC FIRE SPRINKLER SYSTEM SHOP DRAWINGS WITH A SEAL TO THE CITY OF ALBUQUERQUE FIRE DEPARTMENT FOR APPROVAL, AS REQUIRED, PER NFPA 13.
- THE FIRE SPRINKLER SYSTEM SHALL BE SUPERVISED AND MONITORED FOR 100 SPRINKLER HEADS OR MORE.
- THE CONTRACTOR SHALL SUBMIT FIRE ALARM SYSTEM SHOP DRAWINGS WITH A SEAL TO THE CITY OF ALBUQUERQUE FIRE DEPARTMENT FOR APPROVAL.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION.
- ALL WORK WITHIN THE RIGHT OF WAY SHALL MEET CITY OF ALBUQUERQUE STANDARDS.
- THE SQUARE FOOTAGES SHOWN ON THESE PLANS ARE FOR BUILDING CODE AND ARCHITECTURAL PURPOSES ONLY.
- THE CONTRACTOR SHALL PLACE THE BUILDING ADDRESS IN A LOCATION WHERE IT IS VISIBLE AND CLEARLY LEGIBLE FROM THE STREET. SEE THE EXTERIOR ELEVATIONS FOR LOCATION.
- TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 3'-0" FROM ANY EXISTING OR NEW UNDERGROUND UTILITY LINES.
- ALL NEW FIRE HYDRANTS SHALL BE OPERATING PRIOR TO THE BEGINNING OF CONSTRUCTION.
- AN AS-BUILT COPY OF THE APPROVED TOL (TRAFFIC CIRCULATION LAYOUT) MUST BE SUBMITTED BY THE DESIGNER-OF-RECORD, AS REQUIRED BY TRANSPORTATION DEPARTMENT, INCLUDING A LETTER OF CERTIFICATION THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE TOL. VERIFICATION OF TOL ACCEPTABILITY, (INCLUDING RANDOM FIELD CHECKS) WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED.
- CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL PARKING LOT RELATED WORK IS FINISHED.
- ALL ASPHALT ON SITE SHALL BE 3" THICK ON GRADE.
- Contractor shall verify that existing sidewalk at street & curb & gutters are safe to pedestrian and vehicular traffic. Contractor shall replace.

BUILDING CRITERIA

PROJECT: VALENCIA RETIREMENT APARTMENTS
188 UNIT APARTMENT COMPLEX
280 VALENCIA DRIVE, S.E.
ALBUQUERQUE, NEW MEXICO

OWNER: GEL PROPERTIES
8921 JEFFERSON STREET, N.E.
ALBUQUERQUE, NEW MEXICO

ARCHITECT: CLAUDIO VIGIL ARCHITECTS
1305 TIJERAS AVENUE, N.W.
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: TRACT B-1, TIJERAS PLACE
IMPROVEMENT COMPANY, INC.

ZONING ATLAS MAP: K-18-2

ZONING CLASSIFICATION: C-2, COMMUNITY COMMERCIAL

APPLICABLE BUILDING CODE: 1991 NEW MEXICO BUILDING CODE & 1991 UNIFORM BUILDING CODE.

BUILDING TYPE: NEW RETIREMENT APARTMENT COMPLEX

CONSTRUCTION TYPE: TYPE V-ONE HOUR CONSTRUCTION WITH 100% AUTOMATIC FIRE SPRINKLER SYSTEM.

OCCUPANT LOAD: COMMONS: 243 OCCUPANTS
APARTMENTS: 642 OCCUPANTS
TOTAL OCCUPANT LOAD = 885 OCCUPANTS

OCCUPANCY GROUP: GROUPS R-1 AND A-3 OCCUPANCIES

NUMBER OF FLOORS: THREE

GROSS SQUARE FOOTAGE: 68,099 SQUARE FEET
CANOPY SQUARE FOOTAGE: 8,120 SQUARE FEET
TOTAL SQUARE FOOTAGE WITH CANOPIES: 76,219 SQUARE FEET

NET USABLE SQUARE FOOTAGE:
COMMONS: OFFICE = 1,014 SQUARE FEET
STORAGE = 290 SQUARE FEET
FARLOR = 2,811 SQUARE FEET
FITNESS = 841 SQUARE FEET
CARD ROOM = 388 SQUARE FEET
MULTI PURPOSE = 265 SQUARE FEET
MAINTENANCE = 498 SQUARE FEET
APARTMENTS: 121,830 SQUARE FEET
GROUND FLOOR SQUARE FOOTAGE = 59,430 SQUARE FEET

ALLOWABLE AREA:
R-1 OCCUPANCY & V-1 HOUR CONSTRUCTION = 10,500 SQ. FT.
INCREASE FOR MULTI STORY BUILDING = 2,100 SQ. FT.
TOTAL = 12,600 SQ. FT.

INCREASE FOR AUTOMATIC FIRE SPRINKLER SYSTEM = X 2
TOTAL ALLOWABLE AREA = 25,200 SQ. FT.

EXIT WIDTH REQUIRED: 117 INCHES

EXIT WIDTH PROVIDED: 87'-0"

NUMBER OF EXITS PROVIDED: TWELVE

BUILDING HEIGHT ABOVE GRADE: 35'-0"

SEISMIC ZONE: 3B

PARKING ANALYSIS:
APARTMENT UNITS = 188 UNITS X 75% = 141 PARKING SPACES
PARKING SPACES PROVIDED = 141 PARKING SPACES
(INCLUDES 36 SMALL CAR PARKING SPACES, 6 VAN ACCESSIBLE PARKING SPACES AND 2 REGULAR ACCESSIBLE PARKING SPA)

PARKING SPACES SIZES:
REGULAR CAR PARKING SPACES = 9'-0" X 18'-0" WITH 1'-0" OVERHANG
SMALL CAR PARKING SPACE = 7'-6" X 13'-6" WITH A 1'-6" OVERHANG
REGULAR ACCESSIBLE SPACES = 9'-0" X 18'-0" WITH A 2'-0" OVERHANG AND A 6'-0" WIDE AISLE BETWEEN EACH TWO SPACES.
VAN ACCESSIBLE SPACES = 9'-0" X 18'-0" WITH A 2'-0" OVERHANG AND A 9'-0" WIDE AISLE BETWEEN EACH TWO SPACES

BICYCLE SPACES:
188 APARTMENT UNITS / 2 = 94 BICYCLE SPACES
TOTAL BICYCLE SPACES REQUIRED = 94 BICYCLE SPACES
TOTAL BICYCLE SPACES PROVIDED = 94 BICYCLE SPACES
(36 BIKE RACK POSTS AT TWO BICYCLES PER POST = 72 BICYCLE SPACES & 22 APARTMENTS WITH BALCONIES = 22/4 = 22 BICYCLE SPACES ON BALCONIES)

APARTMENT COUNT

FIRST FLOOR:
UNIT TYPE A = 15 ONE BEDROOM UNITS
UNIT TYPE B = 24 ONE BEDROOM UNITS
UNIT TYPE C = 10 TWO BEDROOM UNITS
UNIT TYPE D = 4 TWO BEDROOM UNITS
UNIT TYPE E = 4 ONE BEDROOM HANDICAP UNITS
TOTAL FIRST FLOOR UNITS = 60 APARTMENT UNITS

SECOND FLOOR:
UNIT TYPE A = 15 ONE BEDROOM UNITS
UNIT TYPE B = 24 ONE BEDROOM UNITS
UNIT TYPE C = 10 TWO BEDROOM UNITS
UNIT TYPE D = 4 TWO BEDROOM UNITS
UNIT TYPE E = 4 ONE BEDROOM HANDICAP UNITS
TOTAL SECOND FLOOR UNITS = 64 APARTMENT UNITS

THIRD FLOOR:
UNIT TYPE A = 15 ONE BEDROOM UNITS
UNIT TYPE B = 24 ONE BEDROOM UNITS
UNIT TYPE C = 10 TWO BEDROOM UNITS
UNIT TYPE D = 4 TWO BEDROOM UNITS
UNIT TYPE E = 4 HANDICAP UNITS
TOTAL THIRD FLOOR UNITS = 64 APARTMENT UNITS
TOTAL APARTMENT COUNT = 188 APARTMENT UNITS

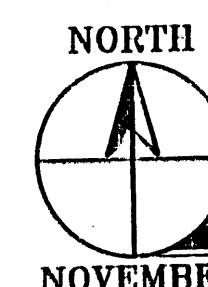
OPEN SPACE CALCULATIONS

ONE BEDROOM APARTMENTS = 144 X 280 = 28,800 SQUARE FEET
TWO BEDROOM APARTMENTS = 44 X 280 = 11,000 SQUARE FEET
TOTAL OPEN SPACE REQUIRED = 39,800 SQUARE FEET
TOTAL OPEN SPACE PROVIDED = 60,334 SQUARE FEET

6 EXTERIOR BOLLARDS - SEE DETAIL 2-3/C-B
20'-0" WIDE DRAINAGE CHANNEL - SEE GRADING & DRAINAGE PLAN SHEET C-2
NOV 09 2000
U.B.C. PLAN CHECK SECTION

GRAPHIC LEGEND

- BUILDING SECTION
- WALL SECTION
- EXTERIOR ELEVATION MARKER
- INTERIOR ELEVATION MARKER
- PLAN DETAIL
- SECTION DETAIL
- DOOR SCHEDULE REFERENCE
- WINDOW TYPE REFERENCE
- WALL CONSTRUCTION TYPE REFERENCE
- REVISION REFERENCE
- PROPERTY LINE



SITE PLAN & BUILDING CRITERIA

NOVEMBER 2, 2000 SCALE: 1" = 30'-0" (U.M.O.)

REGISTERED
AUG 08 2002
HYDROLOGY SECTION
CLAUDIO VIGIL ARCHITECTS

VALENCIA RETIREMENT APARTMENTS
NEW RETIREMENT COMMUNITY
200 VALENCIA DRIVE, S.E.
ALBUQUERQUE, NEW MEXICO

SHEET
C-1
PROJECT NUMBER: 88092
1305 Tijeras NW Albuquerque, NM 87102-5882
Phone: 505/842-1113 Fax: 505/842-1330

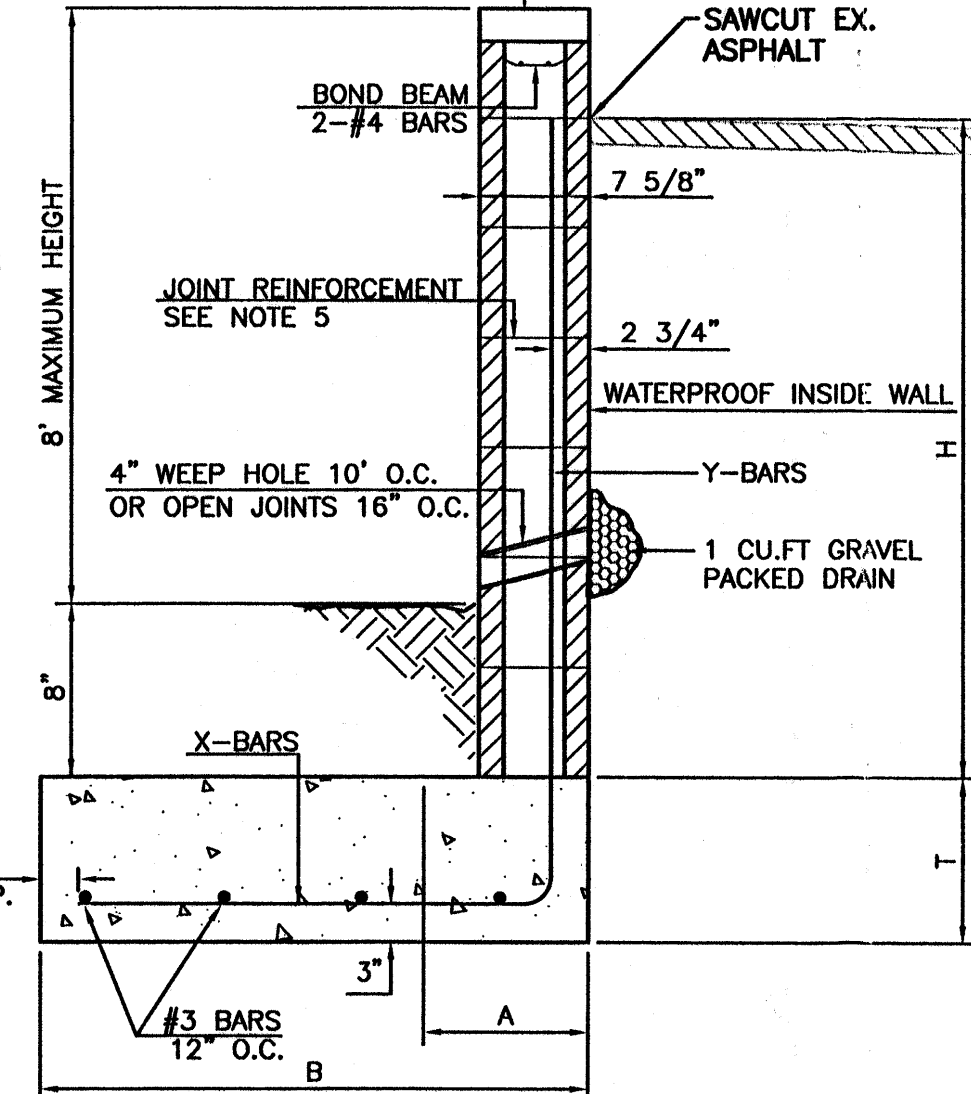
EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
7. 30 BAR DIAMETER LAPS TYPICAL.
8. DUR-O-WALL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
9. OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
10. OWNER TO SELECT MASONRY COLOR AND/OR FINISH.
11. SOLID MASONRY CAP COURSE TYPICAL.
12. WATER PROOF WALL.

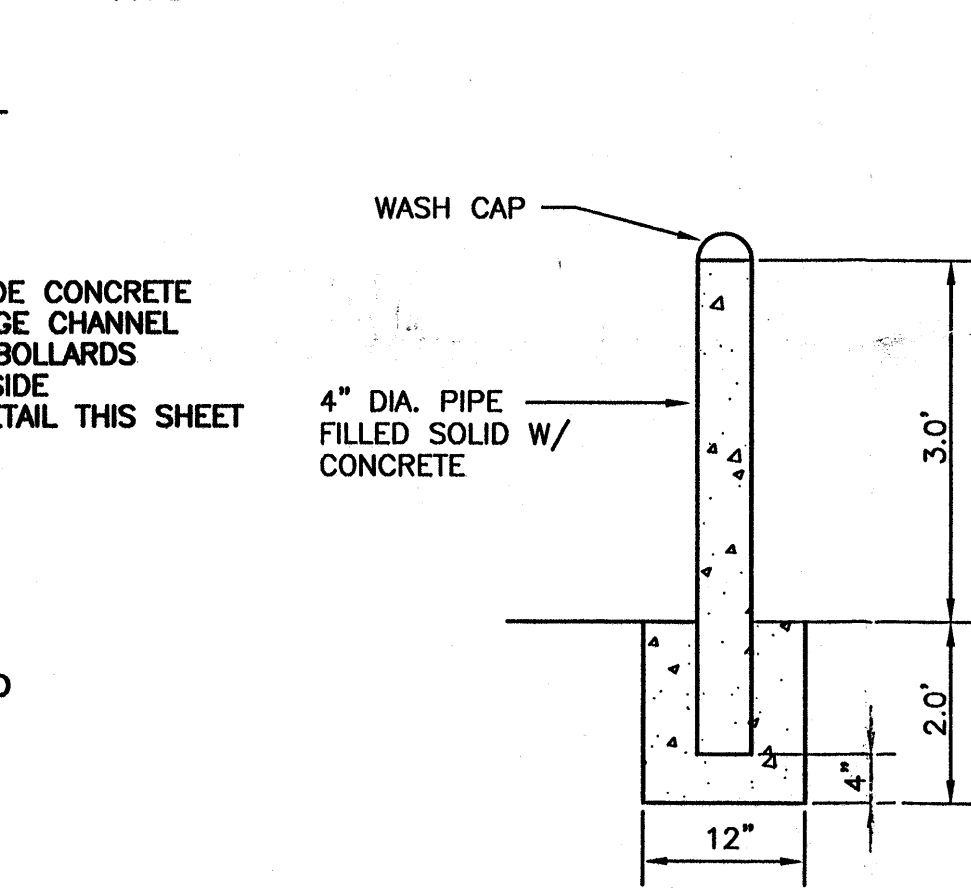
CEMENT MORTAR CAP OR OTHER PER OWNER, COLOR TO MATCH BUILDING



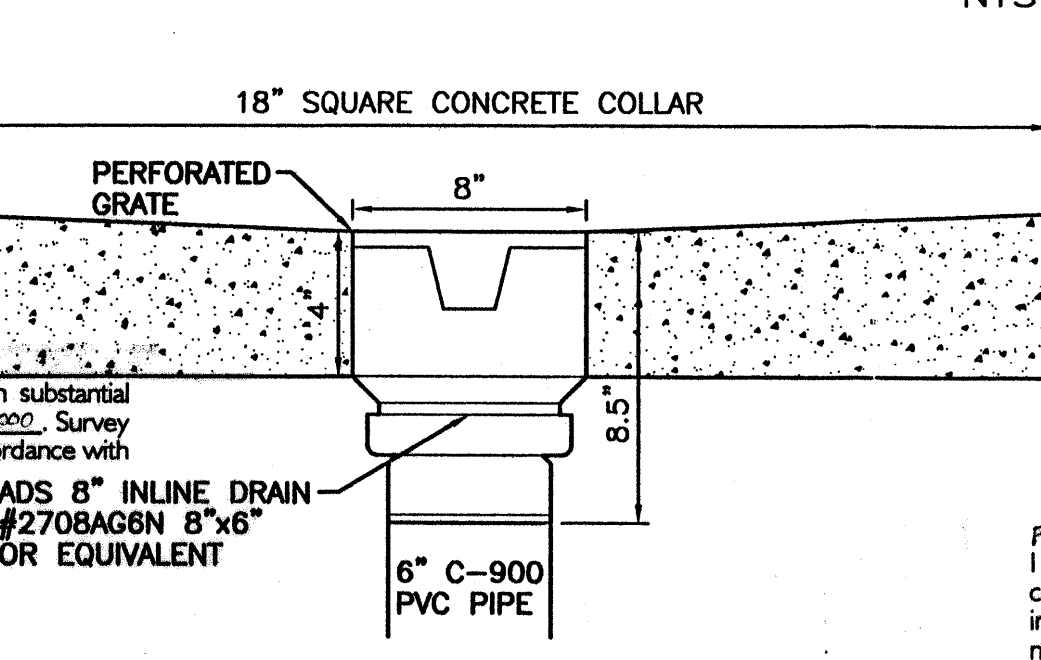
8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)

H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-4"	1'-9"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-8"	2'-6"	9"	#4 @ 24" O.C.	
3'-4"	2'-9"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.

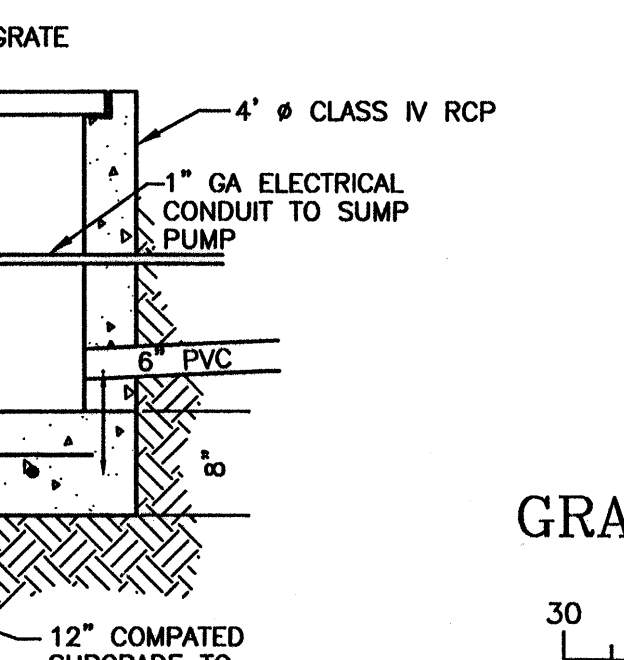
L-FOOTING RETAINING WALL DETAIL NTS



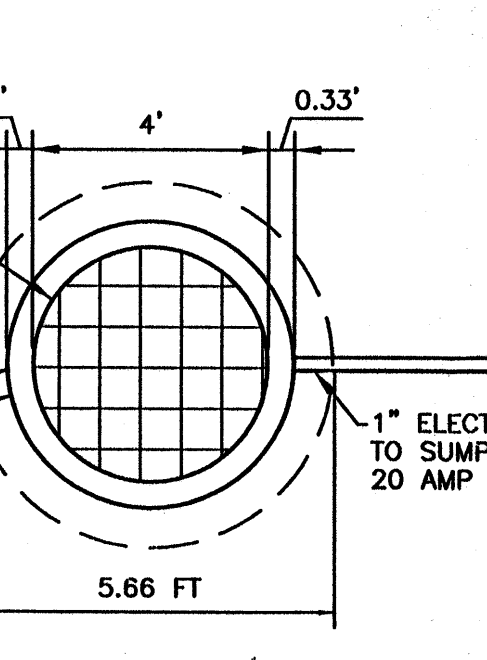
PIPE BOLLARD DETAIL NTS



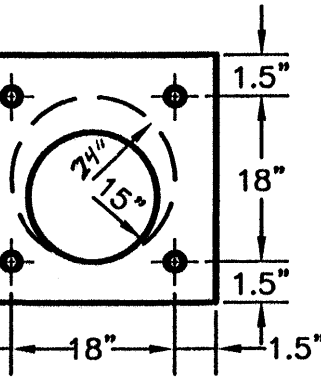
INLINE DRAIN DETAIL NTS



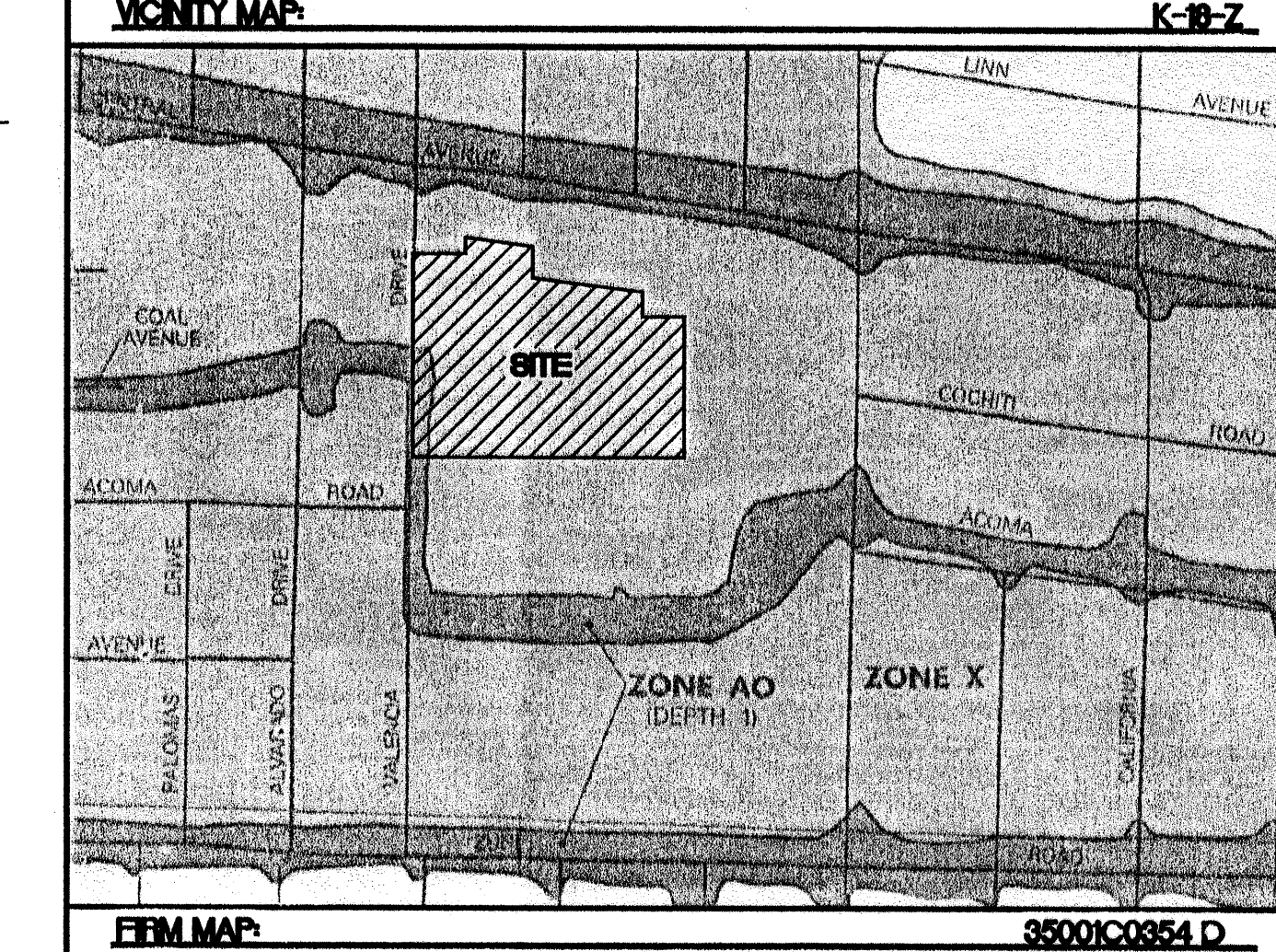
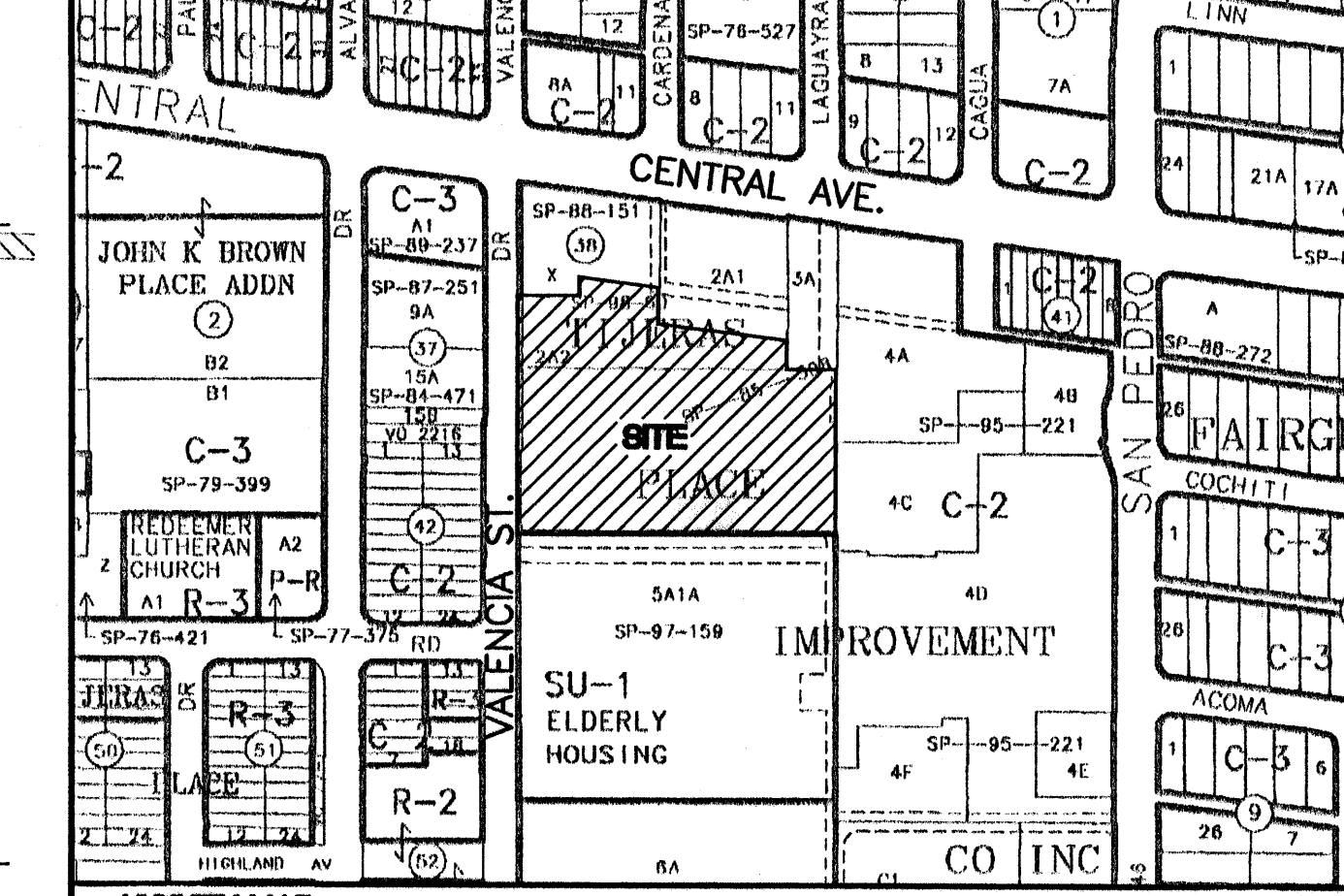
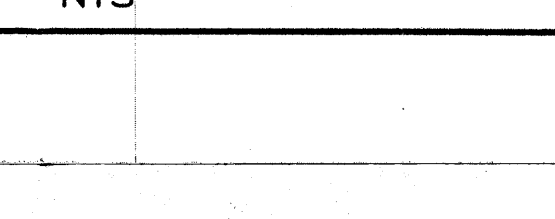
CHANNEL DETAIL NTS



DETAIL "A"



SUMP PUMP DETAIL NTS



LEGAL DESCRIPTION:
TRACTS "A-2" AND "B-2" TIERAS PLACE IMPROVEMENT CO., INC.

LEGEND

---	EXISTING CURB & GUTTER
---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
---	BOUNDARY LINE
---	6" STANDARD CURB AND GUTTER
---	HEADER CURB
---	EXISTING RETAINING WALL
---	PROPOSED RETAINING WALL
---	WATER BLOCK
---	PROPOSED SIDEWALK
---	6" PVC
---	PROPOSED STORM SEWER
---	8" DIA. INLINE DRAIN

- GENERAL NOTES
1. ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
 2. ALL CURB NEXT TO THE BUILDING IS 8" EXTRUDED CURB.
 3. ALL CURB ON THE PERIMETER OF THE PROPERTY IS 6" EXTRUDED CURB.

FINAL
I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 8/15/2000. Survey information was supplied by J. ALVARADO LAND SURVEYING, INC. in accordance with normal surveying practices.

8/15/02
#7868

ENGINEER'S SEAL

DAVID SOULE
P.E. #14522

VALENCIA APARTMENTS
GRADING AND DRAINAGE PLAN

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

RECEIVED
SEP 05 2002
HYDROLOGIC SECTION

DATE
08-08-00

2003GR.DWG

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JOB #
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GRAPHIC SCALE

