



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 12, 2000

James Topmiller, P.E.
Bohannon Huston, Inc.
7500 Jefferson Blvd., NE
Albuquerque, NM 87109

RE: GRADING & DRAINAGE PLAN FOR DURAN PROPERTY (K-18 /D081)
ENGINEER'S STAMP DATED DECEMBER 6, 2000, SUBMITTED FOR
BUILDING PERMIT APPROVAL

Dear Mr. Topmiller,

Based upon the information provided in your December 8, 2000, submittal, the project referred to above is approved for Building Permit. Please attach copies of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to release of the Certificate of Occupancy, an Engineer's Certification, per the DPM checklist, will be required.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
✓ File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Duran Property ZONE ATLAS/DRNG. FILE # K-18 / 0081

DRB #: G18-D081 EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 8, Block 5, Fairgrounds Addition

CITY ADDRESS: 7000 Cochiti Road SE

ENGINEERING FIRM: Bohannon Huston, Inc.

ADDRESS: 7500 Jefferson NE, Albuquerque, NM 87109

OWNER: _____

ADDRESS: _____

ARCHITECT: _____

ADDRESS: _____

SURVEYOR: _____

ADDRESS: _____

CONTRACTOR: _____

ADDRESS: _____

CONTACT: James Topmiller

PHONE: (505) 823-1000

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN (Revised)
- FINAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB&D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- SUBDIVISION CERTIFICATION
- OTHER _____ (SPECIFY)

DATE SUBMITTED: 12/7/00

BY: James Topmiller

*RCVD
12/8/00*



December 6, 2000

BOHANNAN-HUSTON, INC.

Courtyard One

7500 JEFFERSON NE

Albuquerque

NM 87109-4335

voice 505.823.1000

fax 505.821.0892

Stuart Reeder, P.E.
Industrial Waste Engineer
City of Albuquerque
4201 2nd Street SW
Albuquerque, NM 87105

Re: Revised Site Plan and Drainage/Grading Plan Submittal for Duran Property, Lot 8, Block 5,
Fairgrounds Addition (G18/D081)

Dear Stuart:

The purpose of this letter is to submit a revised Drainage/Grading Plan for the proposed construction yard and buildings proposed on the referenced lot located at 7000 Cochiti Road, SE. The revisions primarily involve a shifting of the proposed building, addition of a small building in the northwest corner of the property, and new parking striping.

With this submittal, we are again requesting building permit approval. We believe there are no substantive hydrological effects caused by this proposed revision to the originally approved plan. The southeast corner of the site lies at elevation 5313.6', approximately 1.4' lower than the proposed finish floors of this site, which should provide the desired flood-proofing. Please review and comment on this proposed plan at your earliest convenience.

If we can answer any questions, please feel free to contact me at any time.

Sincerely,
Bohannon Huston, Inc.

James R. Topmiller, P.E.
Vice President, Community Development
and Planning Group

JRT/am
Enclosures

cc: Chad Poole, BHI

RECEIVED B⁴¹¹ JUN 30 2000



City of Albuquerque

June 13, 2000

James Topmiller, P.E.
Bohannon-Huston, Inc.
7500 Jefferson, NE
Albuquerque, NM 87109

RE: GRADING & DRAINAGE PLAN FOR DURAN PROPERTY (S-18/D081)
ENGINEERS STAMP DATED JUNE 21, 2000 SUBMITTED FOR BUILDING
PERMIT APPROVAL

Dear Mr. Topmiller,

Based upon the information provided in your June 23, 2000, submittal, the project referred to above is approved for Building Permit with the following note: this site is in a flood plain. Please be sure that the finished floor is a minimum of one foot higher in elevation than the lowest curb elevation adjacent to the property. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. *

Prior to release of the Certificate of Occupancy, an Engineer Certification, per the DPM checklist, will be required.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
File



City of Albuquerque

June 13, 2000

James Topmiller, P.E.
Bohannon-Huston, Inc.
7500 Jefferson, NE
Albuquerque, NM 87109

RE: GRADING & DRAINAGE PLAN FOR DURAN PROPERTY (G-18/D081)
ENGINEERS STAMP DATED JUNE 21, 2000 SUBMITTED FOR BUILDING
PERMIT APPROVAL

Dear Mr. Topmiller,

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Prior to release of the Certificate of Occupancy, an Engineer Certification, per the DPM checklist, will be required.

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Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: DURAN PROPERTY ZONE ATLAS/DRNG. FILE # K-18/D081

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 8, BLOCK 5, FAIRGROUNDS ADDITION

CITY ADDRESS: 7000 COCHITI SW

ENGINEERING FIRM: BOHANNAN-HUSTON INC.

ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109

OWNER: _____

ADDRESS: _____

ARCHITECT: _____

ADDRESS: _____

SURVEYOR: _____

ADDRESS: _____

CONTRACTOR: _____

ADDRESS: _____

CONTACT: JAMES TOPMILLER

PHONE: (505) 823-1000

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- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED

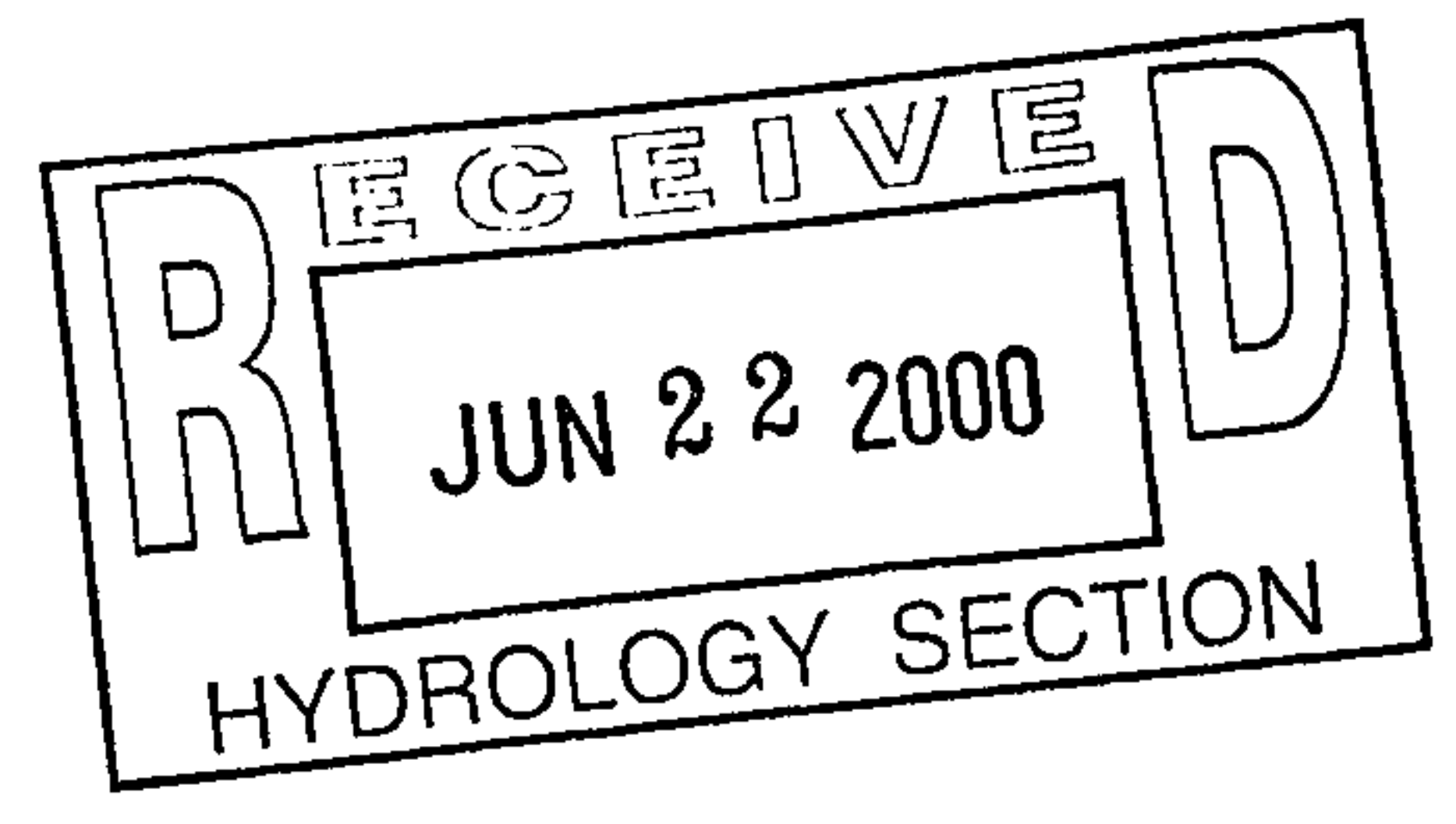
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- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- SUBDIVISION CERTIFICATION
- OTHER _____ (SPECIFY)

DATE SUBMITTED: 6/22/00

BY: JAMES TOPMILLER

Revised 02/98





June 21, 2000

BOHANNAN-HUSTON, INC.

Courtyard One

7500 JEFFERSON NE

Albuquerque

NM 87109-4335

voice 505.823.1000

fax 505.821.0892

Mr. Brad Bingham
Hydrology/Utility Development
City of Albuquerque
P. O. Box 1293
Albuquerque, NM 87103

Re: Drainage / Grading Plan Submittal for Duran Property, Lot 8, Block 5, Fairgrounds Addition

Dear Brad:

The purpose of this letter is to submit a Drainage/Grading Plan for the proposed construction yard and building proposed on the referenced lot located at 7000 Cochiti Road, SE.

With this submittal, we are requesting building permit approval. Please review and comment on this proposed plan at your earliest convenience.

If we can answer any questions, please feel free to contact me at any time.

Sincerely,
Bohannon Huston, Inc.


James R. Topmiller, P.E.
Vice President, Community Development
and Planning Group

JRT/am
Enclosure

cc: Chad Poole, BHI

