



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 18, 2003

Jason Dickman
Towercom Technologies
4520 Montgomery Blvd. NE Suite 5
Albuquerque, NM 87109

**Re: Verizon Wireless 65' Monopole, 317 Arizona SE, Traffic Circulation Layout
(K18/D90)**

Dear Mr. Dickman,

Based upon the information provided in your submittal received 11-21-03, it has been determined that this project does not require transportation approval. Access to the site is provided by the 15-foot easement, the proposed changes do not affect the existing traffic layout, and minimal trips are generated.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

K-18 / 090

PROJECT TITLE: 317 Arizona SE - Verizon Wireless ZONE MAP/DRG. FILE #: K-18
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 7, Blk 9 Fairgrounds Addition
 CITY ADDRESS: 317 Arizona St. SE

ENGINEERING FIRM: Towercom Technologies
 ADDRESS: 4520 Montgomery Blvd NE Ste. 5
 CITY, STATE: Albuquerque NM

CONTACT: Jason Dickman
 PHONE: 505-232-4884
 ZIP CODE: 87109

OWNER: Verizon wireless
 ADDRESS: 4821 Eubank NE
 CITY, STATE: Albuquerque NM

CONTACT: Ej Padilla
 PHONE: 505-332-6017
 ZIP CODE: 87111

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: Paso del Norte Surveying, Inc.
 ADDRESS: 6130 Montana Ave Ste. 211
 CITY, STATE: El Paso, TX

CONTACT: Dean Van Matre
 PHONE: 915 771 0247
 ZIP CODE: 79925

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE

Romano & Associates, L.L.C.

D. ALEX ROMANO

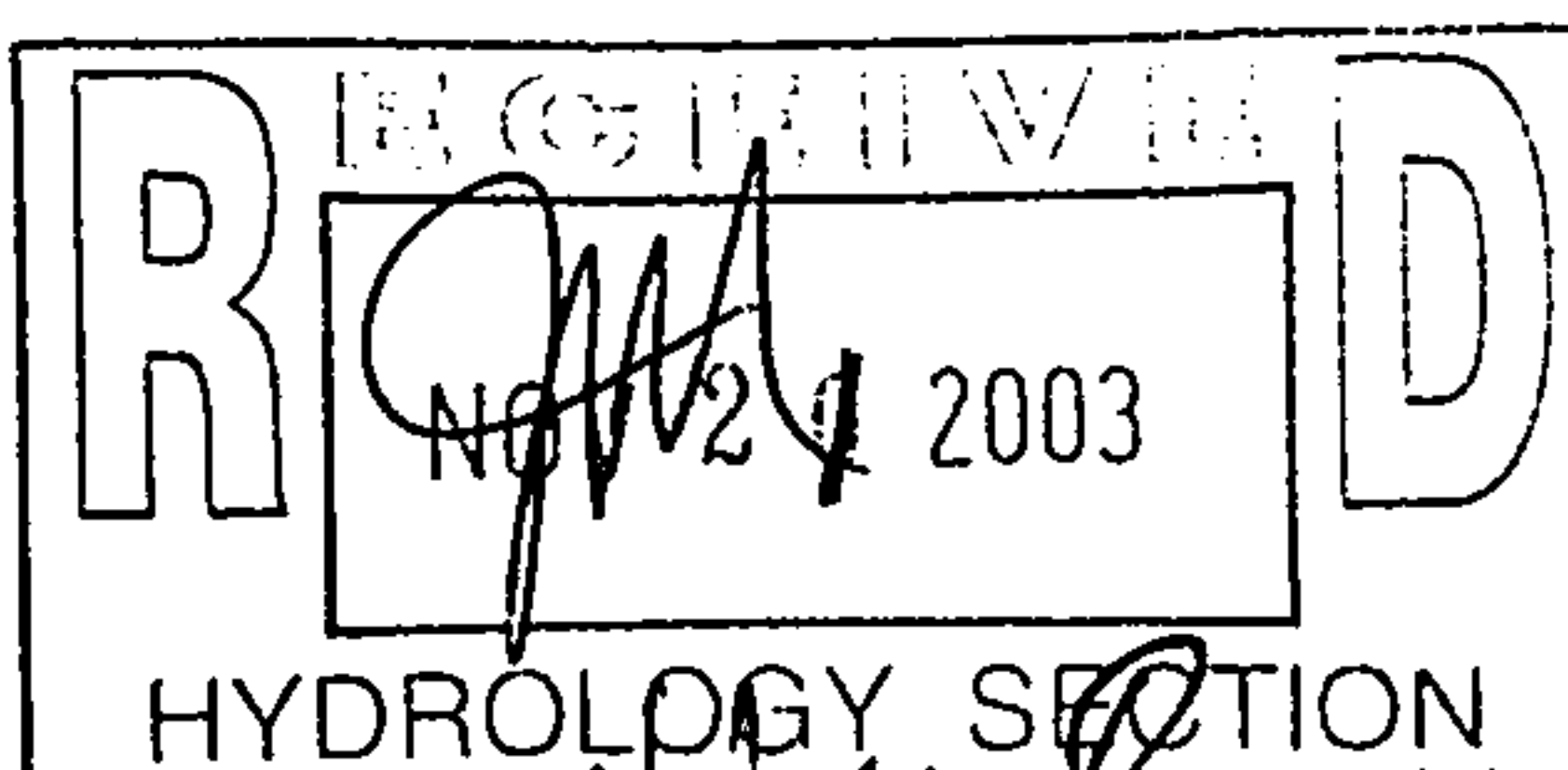
Telecom Acquisitions
 Leasing
 Residential
 Commercial

Tel: (505) 255-4500
 Mobile: (505) 450-3907
 Fax: (505) 872-9252
 Email: daromano@flash.net

4520 Montgomery Blvd. NE, Ste 5, Albuquerque, NM 87109

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 11/20/03 BY: Nick Romano

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

317 ARIZONA ST. SE – VERIZON WIRELESS

(Vicinity Map)



317 ARIZONA ST. SE – VERIZON WIRELESS

(Vicinity Map)



TRAFFIC CIRCULATION NOTES:

- 1 WHEN COMPLETE, THE VERIZON WIRELESS SITE IS INTENDED TO OPERATE AS AN UNMANNED FACILITY. AS SUCH, PROJECTED TRAFFIC VOLUME AND FREQUENCY IS MINIMAL (APPROXIMATELY ONE MAINTENANCE VISIT PER MONTH).
- 2 ACCESS TO THE VERIZON WIRELESS LEASE AREA IS INDICATED ON SURVEY. THE 15 FT. ACCESS EASEMENT PASSES THROUGH WHAT IS ACTUALLY A CONCRETE PARKING LOT EXTENDING AROUND AND BETWEEN THE TWO EXISTING BUILDINGS (SEE ATTACHED SURVEY). THERE IS ADEQUATE SPACE FOR PARKING AND MANEUVERING (I.E. TURNING AROUND).

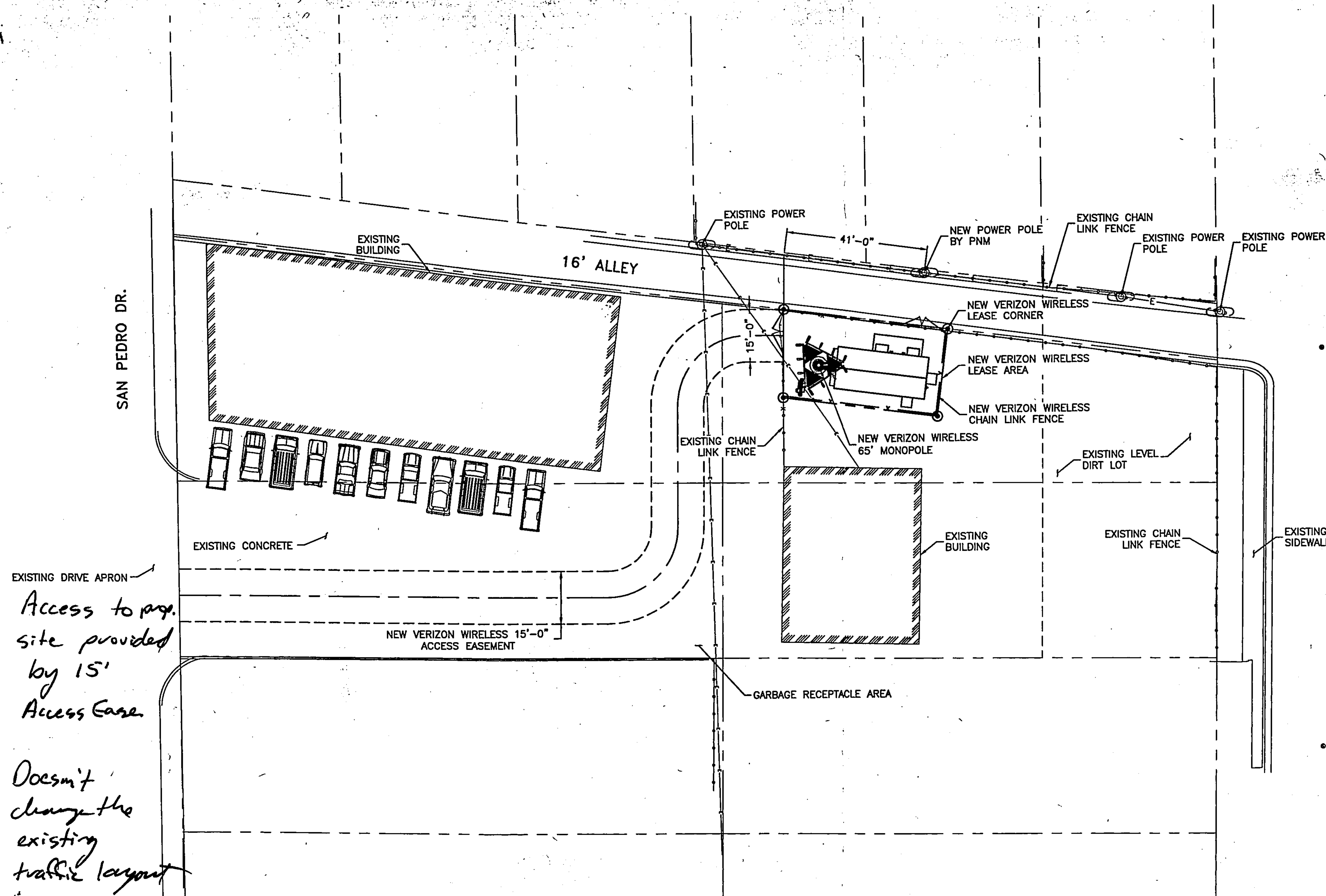
APPROVALS

NORMAN MOZELY, OWNER OF PROPERTY HAS REVIEWED AND APPROVED OF THESE DOCUMENTS.

Norman Mozley
LANDLORD, NORMAN MOZLEY

11/20/03
DATE

APPROVED
FOR CONSTRUCTION



TRAFFIC CIRCULATION LAYOUT
SCALE: 1" = 30'



ARIZONA

DESIGNED FOR:
verizonwireless
4821 EUBANK NE - ALBUQUERQUE, NEW MEXICO 87111

DESIGNED BY:
TOWERCOM TECHNOLOGIES
TOWERCOM TECHNOLOGIES LLC
4520 Montgomery Blvd. NE, Suite 5 - Albuquerque, NM 87109
Tel: 505-232-4884 Fax: 505-232-4898

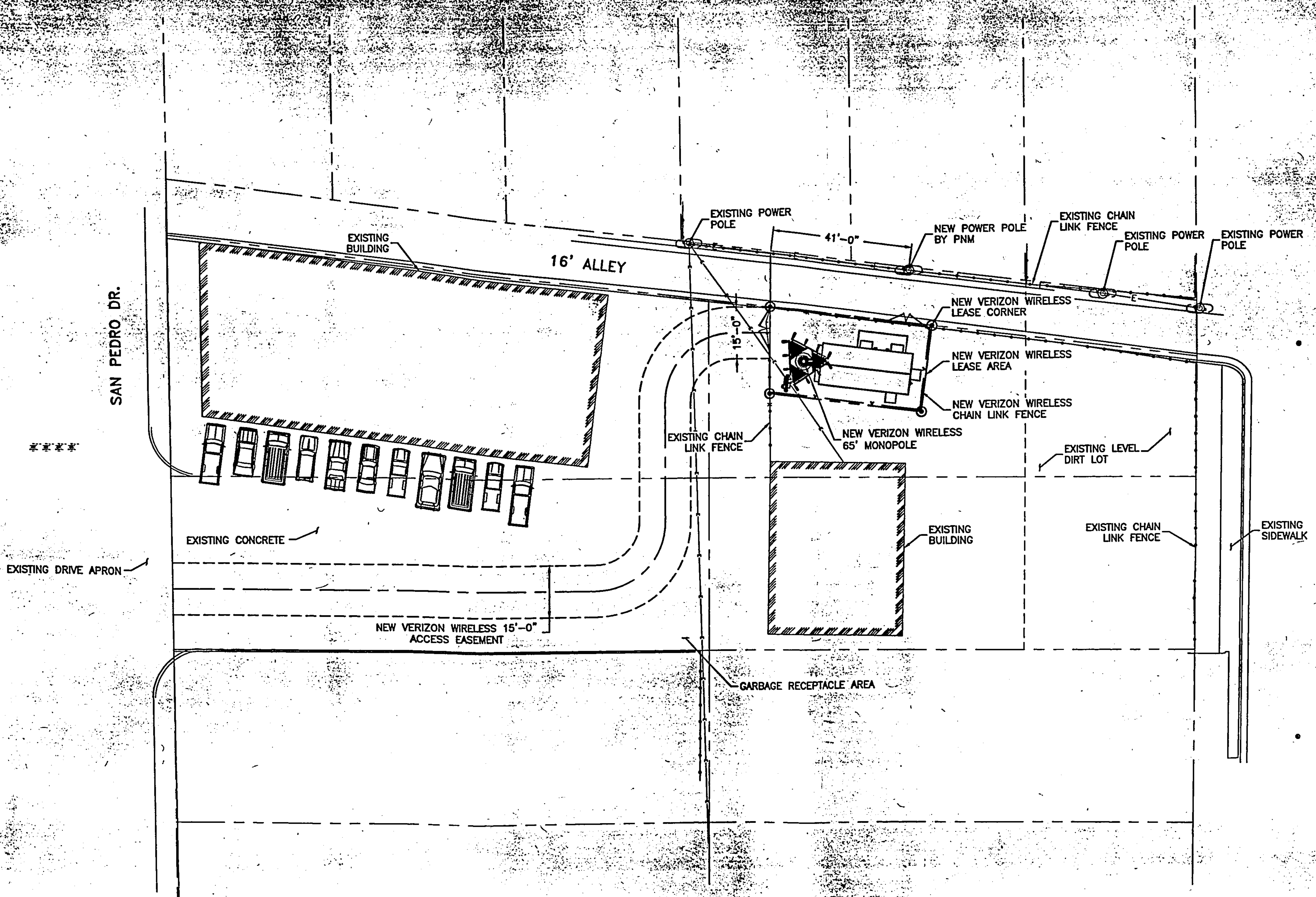
PROJECT NAME:
**ABQ TINGLEY
RAWLAND COMM SITE
65' MONOPOLE**

PROJECT ADDRESS:
**317 ARIZONA SE
ALBUQUERQUE, NM
87108**

SHEET TITLE:
TRAFFIC CIRCULATION LAYOUT

REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR CONSTRUCTION	10/17/03	RT	JDD
1	TRAFFIC CIRCULATION LAYOUT	11/20/03	RT	JDD

PROJECT NUMBER: 03-013-25 SHEET NUMBER: TCL1



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LANDLORD, NORMAN MOZLEY
11/20/03
DATE

APPROVED FOR CONSTRUCTION

DESIGNED FOR:

verizonwireless

4821 EUBANK NE - ALBUQUERQUE, NEW MEXICO 87111

DESIGNED BY:

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TOWERCOM TECHNOLOGIES, LLC
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TRAFFIC CIRCULATION LAYOUT
SCALE: 1" = 30'

NORTH