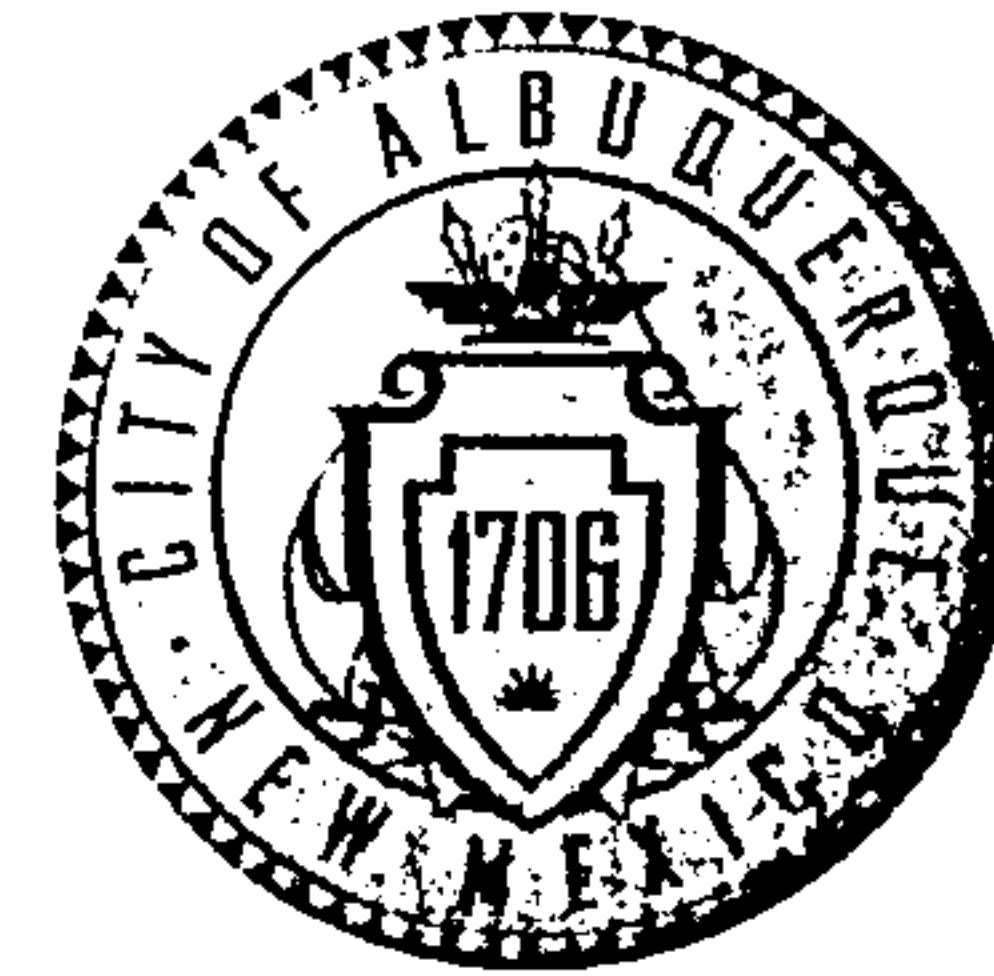


CITY OF ALBUQUERQUE



May 13, 2009

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

**Re: California Plaza, 6500 Central Ave SE, Grading and Drainage Plan
Engineer's Stamp dated 5-11-09 (K18/D099)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 5-11-09, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

NM 87103

www.cabq.gov

Copy: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

PROJECT TITLE: California Plaza ZONE MAP: K.18/D099
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: 7 6500 Central SE
 CITY ADDRESS: LOT 112/3, B/LK. 2. FAIR GROUNDS ADD'N.

ENGINEERING FIRM: Clark Consulting Engineers CONTACT: Phil
 ADDRESS: 19 Ryan Road PHONE: 281-2444& FAX
 CITY, STATE: Edgewood, NM ZIP CODE: 87015

OWNER: Maria Salazar CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Joe Simons CONTACT: Joe
 ADDRESS: _____ PHONE: 480-4796
 CITY, STATE: _____ ZIP CODE: _____

SURVEYING FIRM: Terrametrics of New Mexico LICENSED SURVEYOR: Phil Turner
 ADDRESS: PO Box 30192 PHONE: 379-4301
 CITY, STATE: Albuquerque NM ZIP CODE: 87190

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

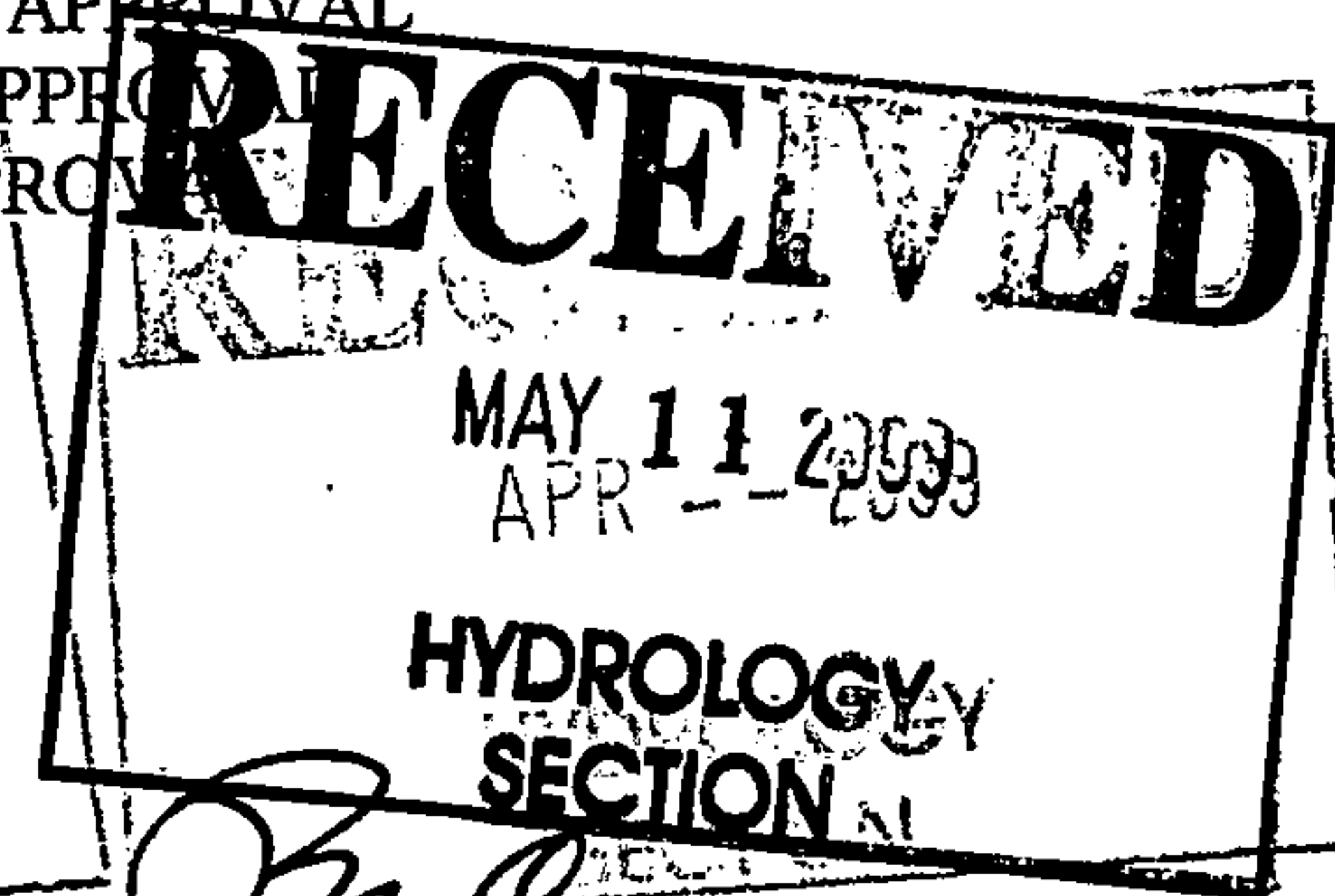
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 5/11/09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



May 13, 2009

Philip Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

Re: California Plaza, 6500 Central Ave SE, Traffic Circulation Layout
Engineer's Stamp dated 05-11-09 (K18-D099)

Dear Mr. Clark,

The TCL submittal received 05-11-09 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

NM 87103

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If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

PROJECT TITLE: California Plaza ZONE MAP: K-18/D099
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: 7 6500 Central SE
 CITY ADDRESS: LOT 1/2/3, B/LK. 2. FAIR GROUNDS Add'n.

ENGINEERING FIRM: Clark Consulting Engineers CONTACT: Phil
 ADDRESS: 19 Ryan Road PHONE: 281-2444 & FAX
 CITY, STATE: Edgewood, NM ZIP CODE: 87015

OWNER: Maria Salazar CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Joe Simons CONTACT: Joe
 ADDRESS: _____ PHONE: 480-4796
 CITY, STATE: _____ ZIP CODE: _____

SURVEYING FIRM: Terrametrics of New Mexico LICENSED SURVEYOR: Phil Turner
 ADDRESS: PO Box 30192 PHONE: 379-4301
 CITY, STATE: Albuquerque NM ZIP CODE: 87190

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

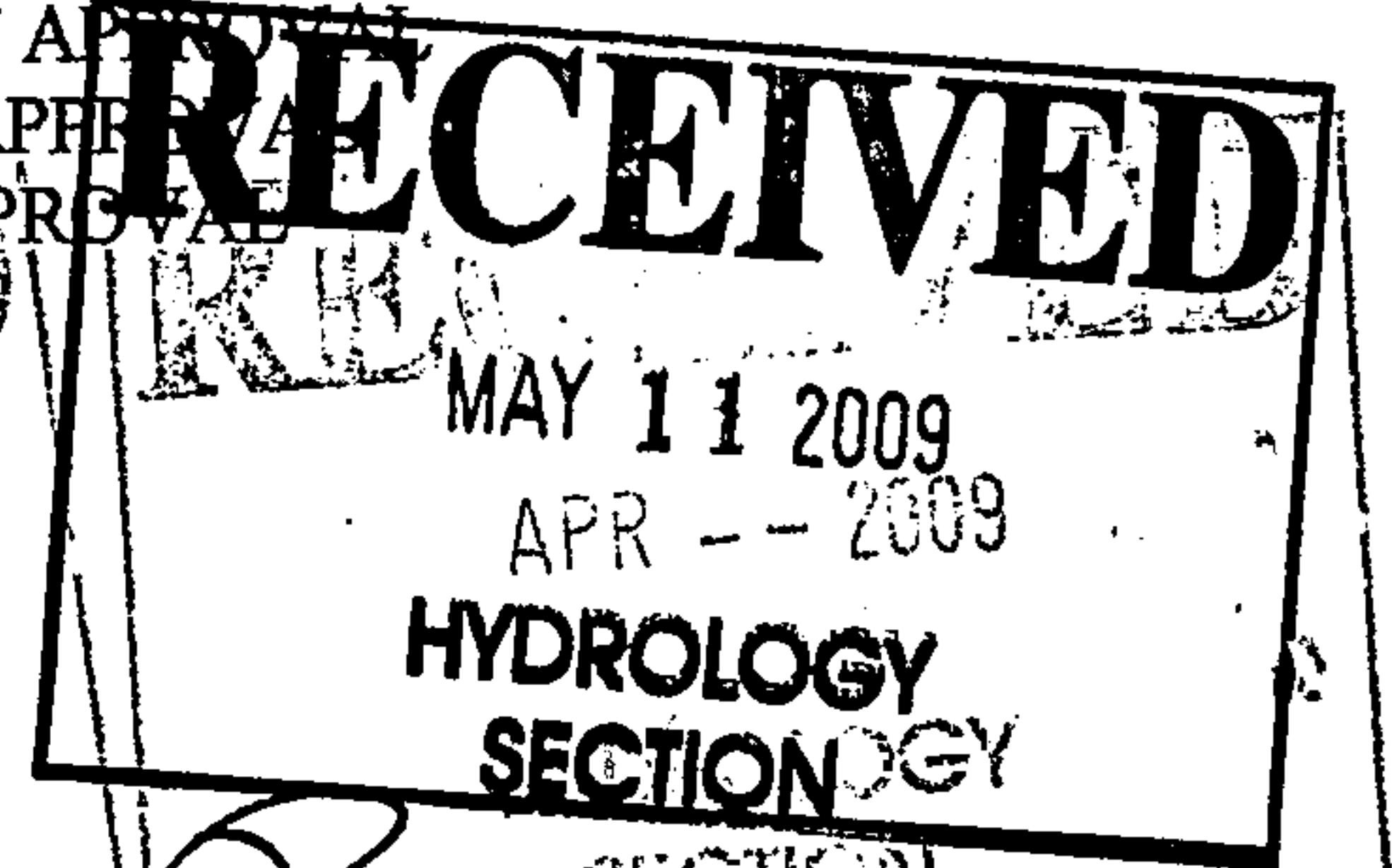
<p>TYPE OF SUBMITTAL:</p> <p><input type="checkbox"/> DRAINAGE REPORT</p> <p><input checked="" type="checkbox"/> DRAINAGE PLAN 1st SUBMITTAL</p> <p><input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL</p> <p><input type="checkbox"/> CONCEPTUAL G & D PLAN</p> <p><input checked="" type="checkbox"/> GRADING PLAN</p> <p><input type="checkbox"/> EROSION CONTROL PLAN</p> <p><input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)</p> <p><input type="checkbox"/> CLOMR/LOMR</p> <p><input checked="" type="checkbox"/> TRAFFIC CIRCULATION LAYOUT</p> <p><input type="checkbox"/> ENGINEER'S CERT (TCL)</p> <p><input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)</p> <p><input type="checkbox"/> OTHER (SPECIFY) _____</p>	<p>CHECK TYPE OF APPROVAL SOUGHT:</p> <p><input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE</p> <p><input type="checkbox"/> PRELIMINARY PLAT APPROVAL</p> <p><input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL</p> <p><input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL</p> <p><input type="checkbox"/> SECTOR PLAN APPROVAL</p> <p><input checked="" type="checkbox"/> FINAL PLAT APPROVAL</p> <p><input type="checkbox"/> FOUNDATION PERMIT APPROVAL</p> <p><input checked="" type="checkbox"/> BUILDING PERMIT APPROVAL</p> <p><input type="checkbox"/> CERTIFICATE OF OCCUPANCY</p> <p><input type="checkbox"/> GRADING PERMIT APPROVAL</p> <p><input type="checkbox"/> PAVING PERMIT APPROVAL</p> <p><input type="checkbox"/> WORK ORDER APPROVAL</p> <p><input type="checkbox"/> OTHER (SPECIFY) _____</p>
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WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

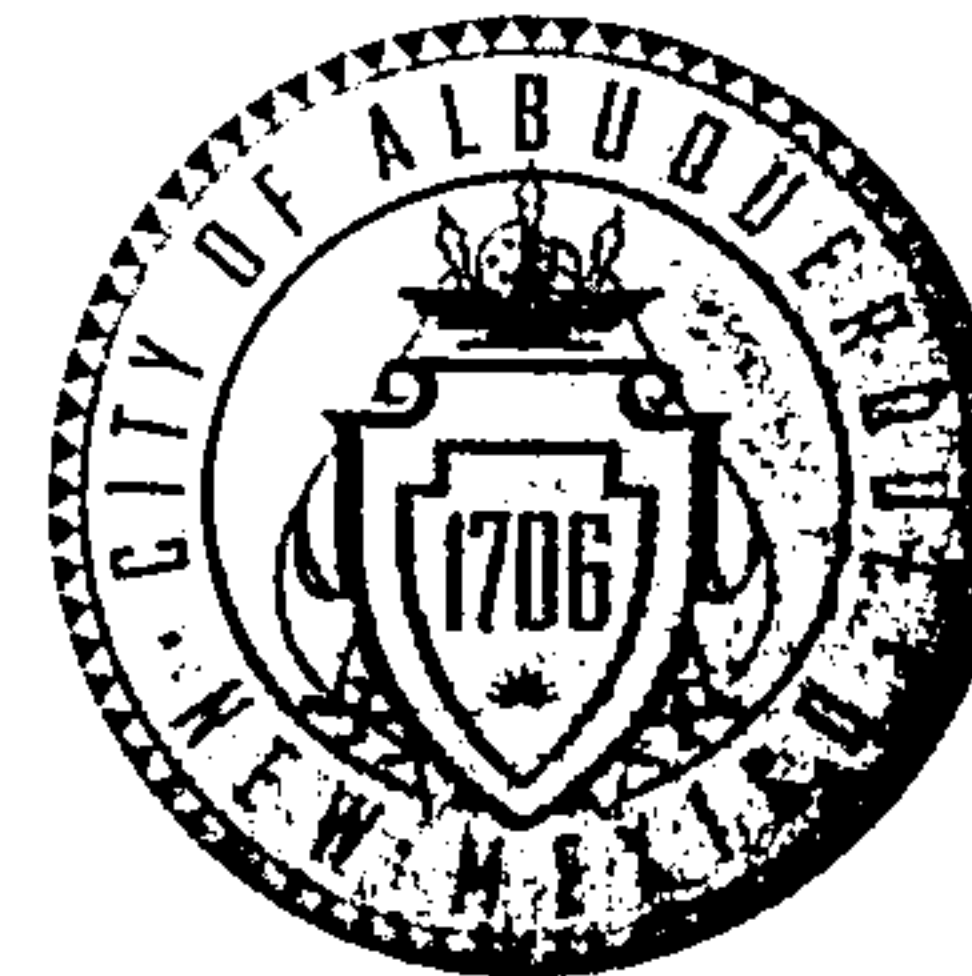
DATE SUBMITTED: 5/11/09 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



April 23, 2009

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

Re: California Plaza, 6500 Central Ave SE, Grading and Drainage Plan
Engineer's Stamp dated 4-20-09 (K18/D099)

Dear Mr. Clark,

Based upon the information provided in your submittal received 4-20-09, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

*1' above SL water block
bldg 3*

- There is a floodplain in Central Ave in this location and the street is more or less full of water in the design storm. The elevation at the back of curb appears to be about 5302 at the drive entrance on Central Ave. Therefore, the proposed water block is too low and the F.F. elevation should be 1 foot above the WSE of 5302.

- ✓ The grade at the southeast corner of the lot is higher than the proposed grade, 2.0 at the northeast corner of the building. It does not appear that this portion of the site will drain as proposed.

- ✓ Since a restaurant is proposed, the refuse enclosure must drain through a grease trap to the sanitary sewer. Show proposed grades in the enclosure as well as grate elevation for the drain.

- Why isn't the back of the sidewalk on California St. at the property line? I realize the sidewalk south of the alley is at face of curb.

- Show direction of roof flows.

- Is the intent to water harvest in the landscape area west of the building? This would help mitigate nuisance flows over the sidewalk.

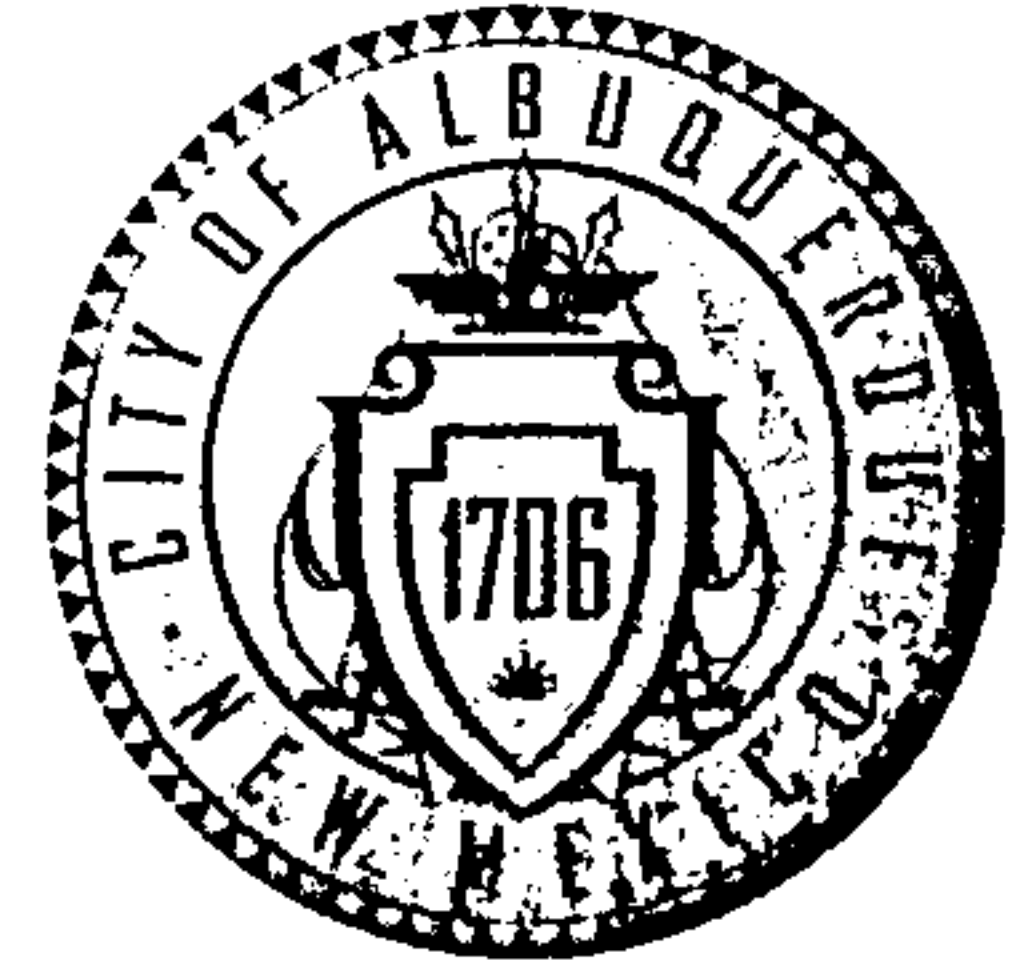
- For the entrance on California St., it appears that it would be more accurate for the build note to state "Private Entrance per COA Std DWG 2426". 2426 references 2420 for the valley gutter. Provide quarter points.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

CITY OF ALBUQUERQUE



May 7, 2009

Philip Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

**Re: California Plaza, 6500 Central Ave SE, Traffic Circulation Layout
Engineer's Stamp dated 0X-XX-09 (K18-D099)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 05-04-09, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. For passenger vehicles, the minimum end island radius is 15 feet.
2. Provide a detail for the proposed wheelchair ramp along the sidewalk.
3. Clearly define the ADA accessible path from the handicapped parking spaces. Show all ramps.
4. All proposed ramps located within the City right of way must have truncated domes.
5. Table 23.7.1 of the *Development Process Manual* defines a minimum throat depth of 50 feet for an access point off of an arterial roadway. The current throat depth of less than 30 feet is unacceptable.
6. City of Albuquerque Standard 2440 is not the appropriate standard for unidirectional wheelchair ramps. Please refer to City of Albuquerque Standard 2426.
7. Please ensure all existing ramps are ADA compliant.
8. Label the compact parking spaces by placing the words "compact" on the pavement of each space.

PO Box 1293

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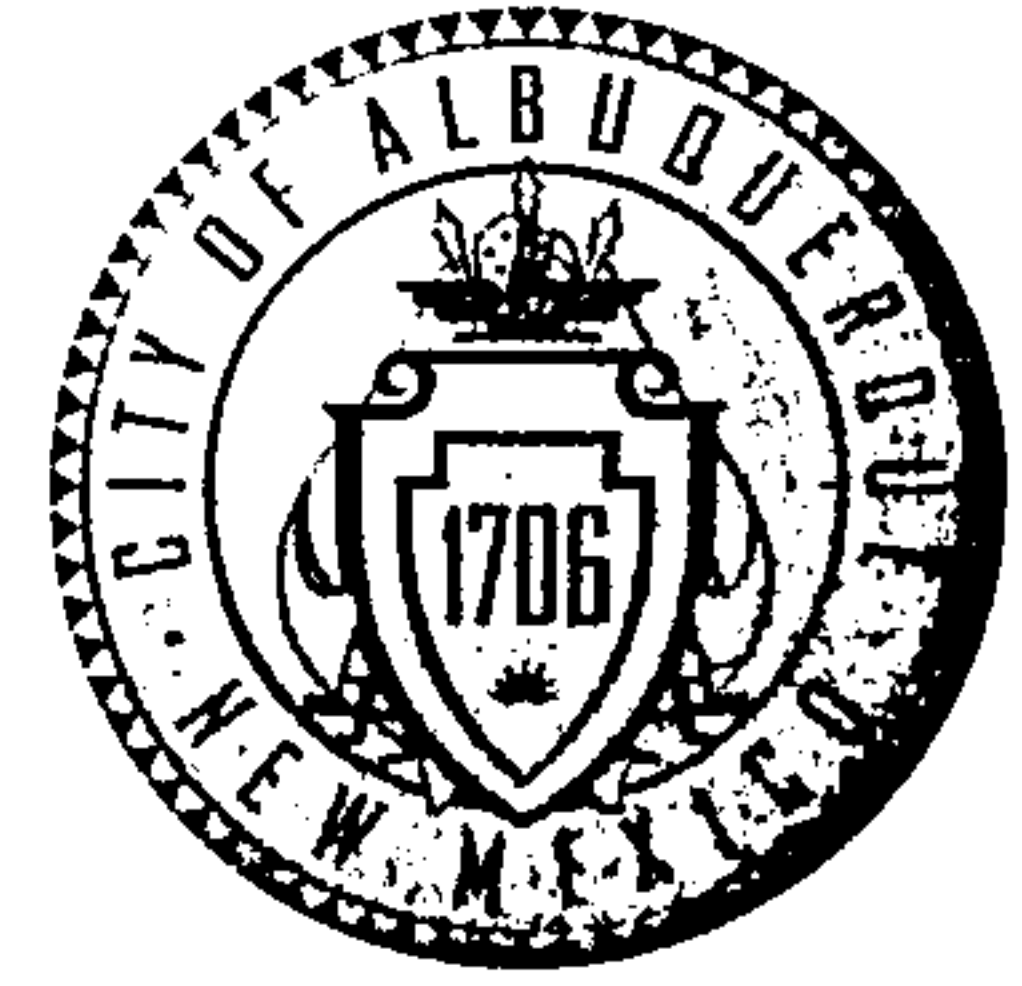
If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



April 29, 2009

Philip Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

**Re: California Plaza, 6500 Central Ave SE, Traffic Circulation Layout
Engineer's Stamp dated 04-20-09 (K18-D099)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 04-20-09, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
2. Define the throat depth off of Central Avenue.
3. Clearly define the ADA accessible path from the handicapped parking spaces. Show all ramps.
4. All proposed ramps located within the City right of way must have truncated domes.
5. Please show a vicinity map.
6. Explain why the proposed sidewalk along California Street is being placed at the back of curb instead of the property line. Based upon the pedestrian path shown along California Street, it appears that the sidewalk could be moved to the property line south of the entrance.
7. Please ensure all existing ramps are ADA compliant.
8. Compact parking spaces must be a minimum of 8 feet wide by 15 feet long.
9. Label the compact parking spaces by placing the words "compact" on the pavement of each space.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File