

CITY OF ALBUQUERQUE



November 2, 2011

Hugh Floyd, P.E.
Easterling Consultants, LLC.
3613 NM 528 NW Ste E-2
Albuquerque, NM 87114

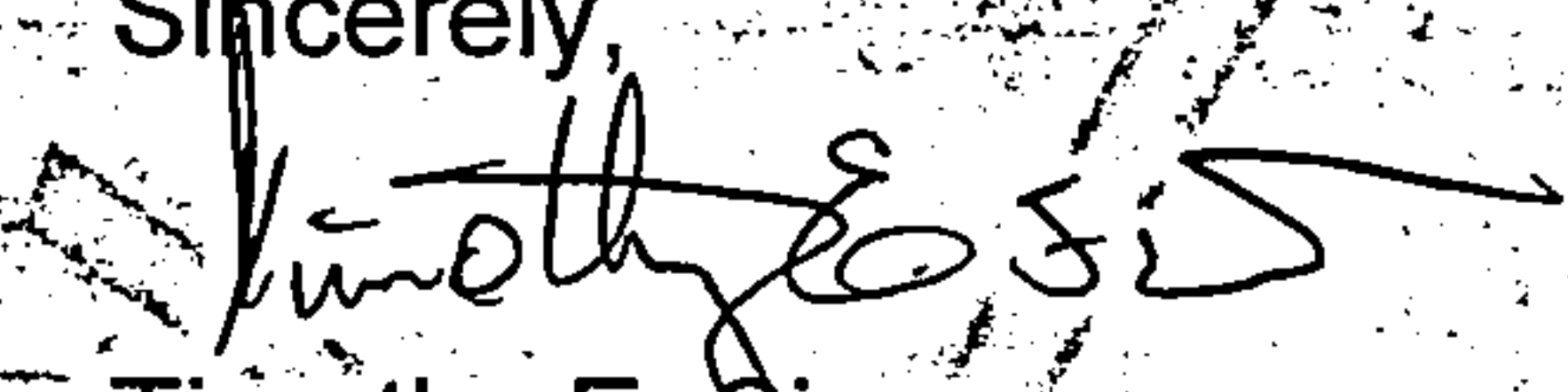
**Re: Domingo B Reconstruction, 6320 B Domingo Rd Ne,
Permanent Certificate of Occupancy - Approved
Engineer's Stamp dated: 06-20-11 (K-18/D101)
Certification dated: 10-26-11**

Dear Mr. Floyd,

Based upon the information provided in the Certification received 11/01/11, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,


Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

PROJECT TITLE: Domingo B Reconstruction ZONE MAP: K-18 / 0/01
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 7-A, Fairgrounds Addition, Albuquerque, Bernalillo County, New Mexico
CITY ADDRESS: _____

ENGINEERING FIRM: Easterling Consultants LLC CONTACT: Hugh Floyd
ADDRESS: 3613 NM HWY 528 NW PHONE: (505) 821-6646
CITY, STATE: Albuquerque, NM ZIP CODE: 87114

OWNER: Gene Dyer CONTACT: _____
ADDRESS: 6135 Linn Avenue NE PHONE: 505-232-9062
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

ARCHITECT: Dyer+Dyer Architects and Urban Designers CONTACT: Gene Dyer
ADDRESS: 6135 Linn Avenue NE PHONE: 505-232-9062
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

SURVEYING FIRM: _____ CONTACT: _____
LICENSED SURVEYOR: _____ LS no. _____
Date Survey was performed _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL: perm 11/2/11
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____
CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) S.O. # 19

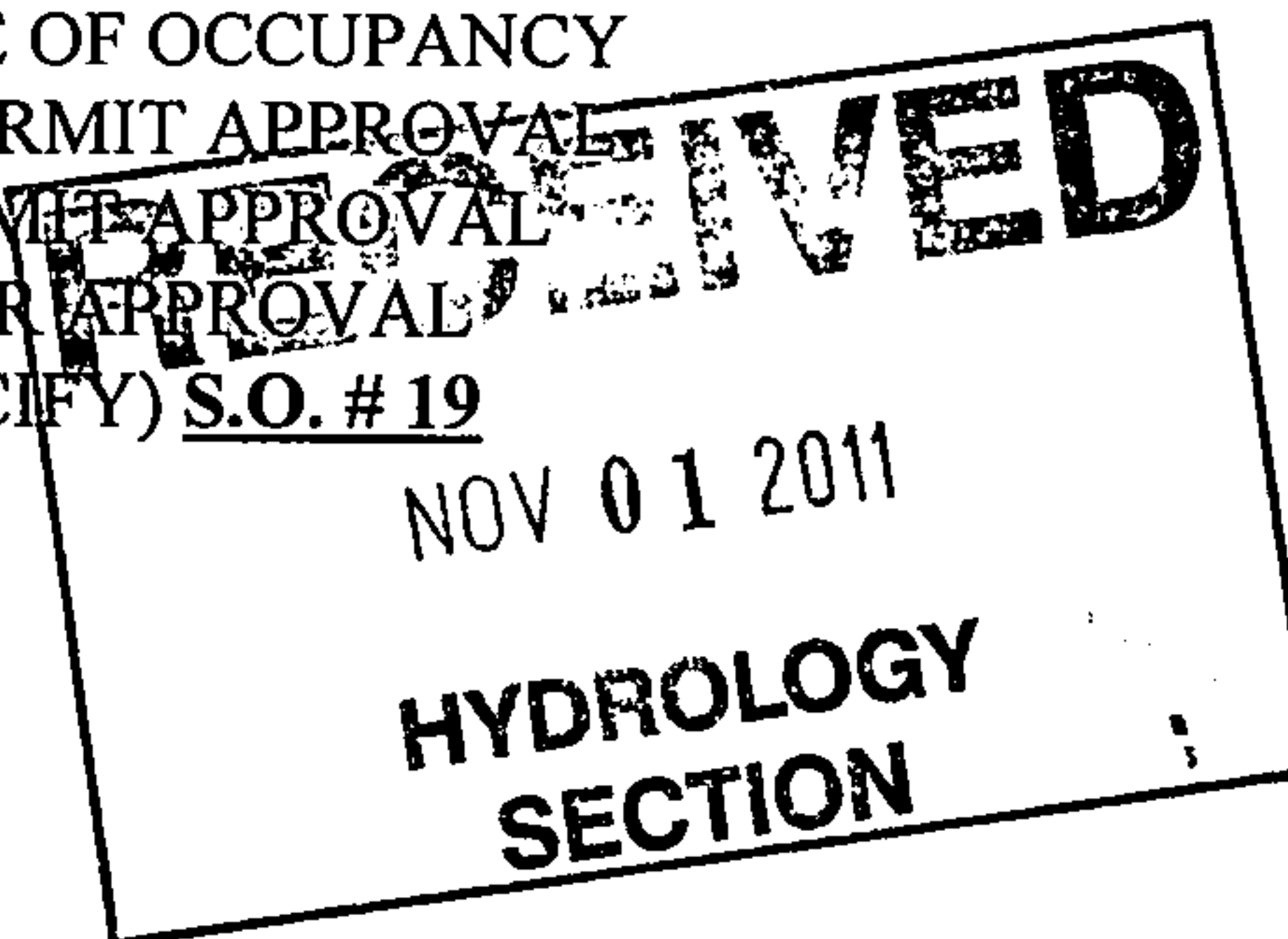
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED

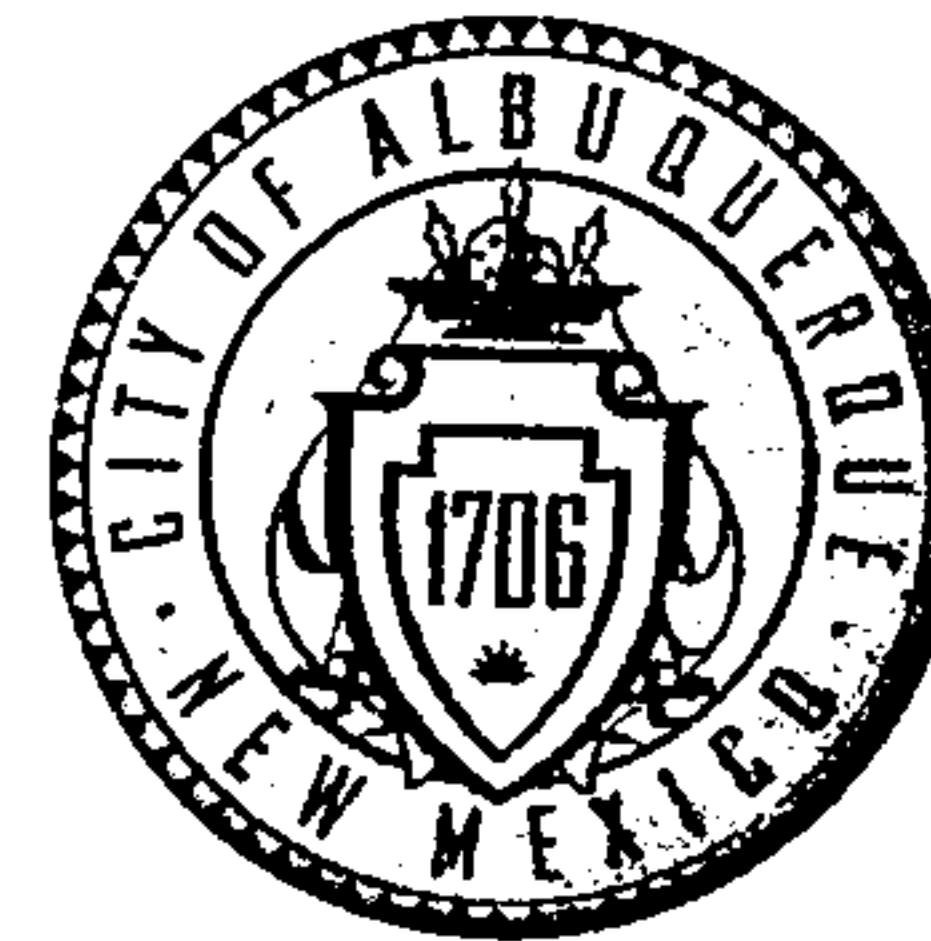
DATE SUBMITTED: 11/01/2011 BY: Hugh Floyd

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



October 25, 2011

Hugh Floyd, P.E.
Easterling Consultants, LLC.
3613 NM 528 NW Ste E-2
Albuquerque, NM 87114

**Re: Domingo B Reconstruction, 6320 Domingo Rd. NE,
Request for 90-Day Temporary C.O.—Approved
Engineer's Stamp dated: 06/20/11 (K-18/D101)
Certification dated: 10-25-11**

Dear Mr. Floyd,

Based upon the information provided in your submittal received 10-25-11 and a site inspection, the above referenced certification is approved for release of a 90 Day Temporary Certificate of Occupancy by Hydrology.

Prior to Permanent Certificate of Occupancy the engineer's certification will need to be per the DPM's certifying language, see enclosed.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker—Hydrology,
Development and Building Services

C: CO Clerk—Katrina Sigala
File
Enclosure (1)

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 – KDM)

PROJECT TITLE: Domingo B Reconstruction ZONE MAP: K-18 101
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 7-A, Fairgrounds Addition, Albuquerque, Bernalillo County, New Mexico
CITY ADDRESS: _____

ENGINEERING FIRM: Easterling Consultants LLC CONTACT: Hugh Floyd
ADDRESS: 3613 NM HWY 528 NW PHONE: (505) 821-6646
CITY, STATE: Albuquerque, NM ZIP CODE: 87114

OWNER: Gene Dyer CONTACT: _____
ADDRESS: 6135 Linn Avenue NE PHONE: 505-232-9062
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

ARCHITECT: Dyer+Dyer Architects and Urban Designers CONTACT: Gene Dyer
ADDRESS: 6135 Linn Avenue NE PHONE: 505-232-9062
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

SURVEYING FIRM: _____ CONTACT: _____
LICENSED SURVEYOR: _____ LS no. _____
Date Survey was performed _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) S.O. # 19

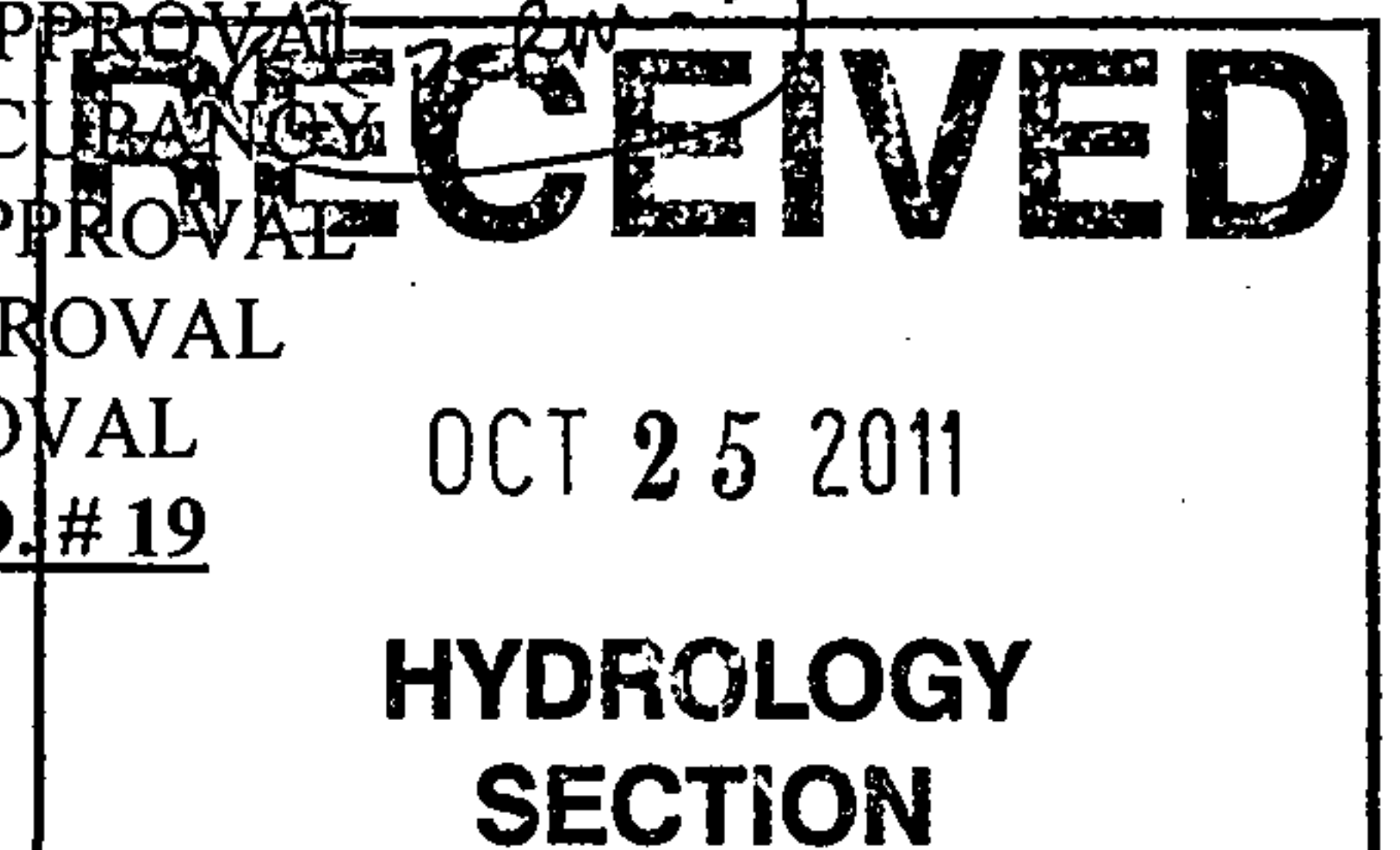
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED

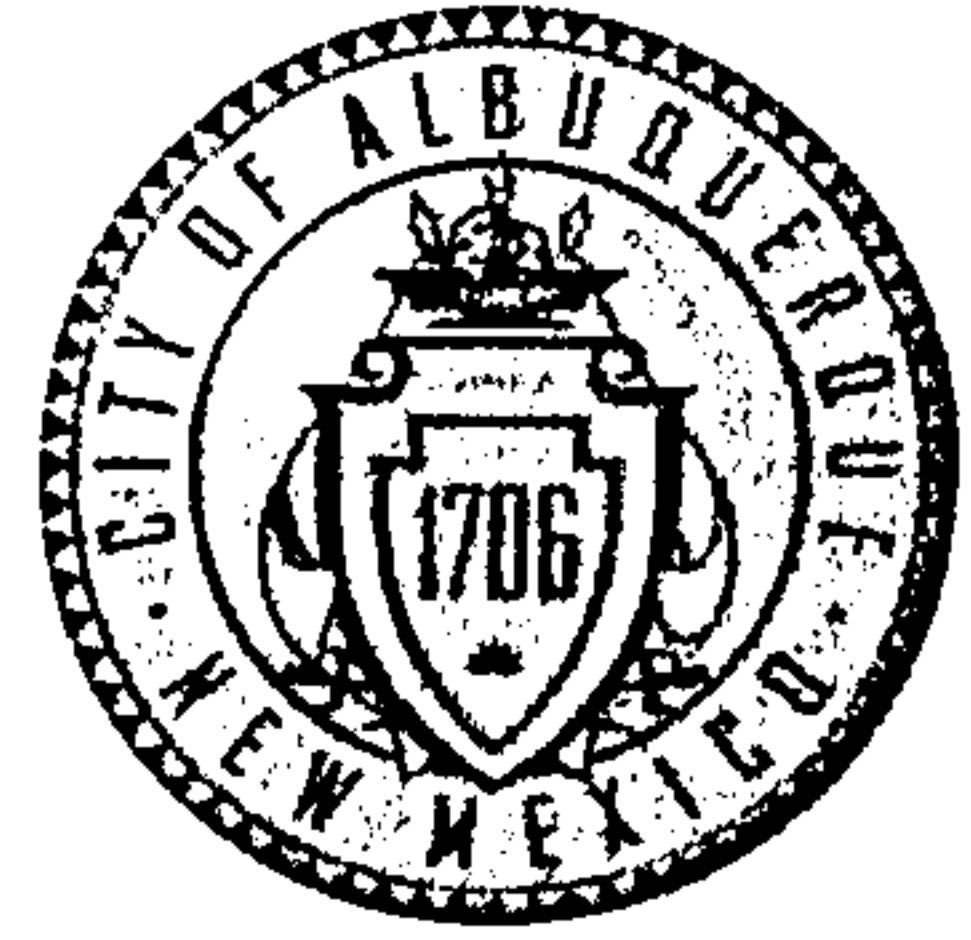
DATE SUBMITTED: 10/25/2011 BY: Hugh Floyd

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CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 19, 2011

Carl Gene Dyer, R.A.
Dyer + Dyer Architecture Urban Design
1208 San Pedro NE
Albuquerque, NM 87110

Re: Certification Submittal for a Permanent Building Certificate of Occupancy (C.O.)
for Domingo B Reconstruction [K-18 / D101]
6320 Domingo Ave. NE
Engineer's Stamp Dated 10/19/11

Dear Mr. Dyer:

Based upon the information provided in your submittal received 10-19-11, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

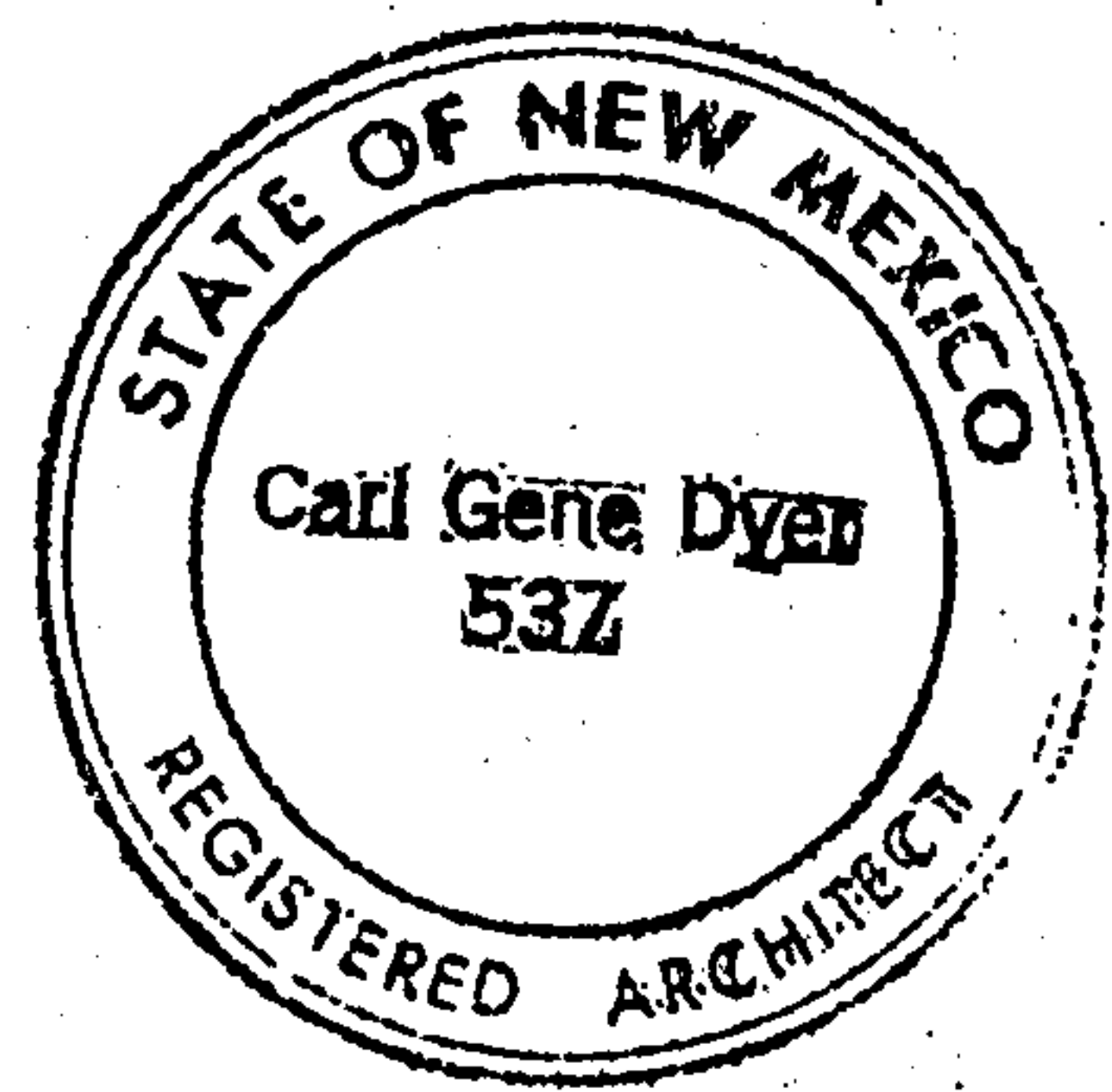
www.cabq.gov

DYER+DYER architecture urban design

TRAFFIC CERTIFICATION

I, Gene Dyer AIA of the firm of DYER+DYER architecture urban design, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA of TLC approved plan dated May 21, 2011. The record information edited onto the original design document has been obtained by Gene Dyer of the firm DYER+DYER architecture urban design. I further certify that I have personally visited the project site on Oct 18, 2011 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Traffic approval of TCL including on street parking for building permit T201191992.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

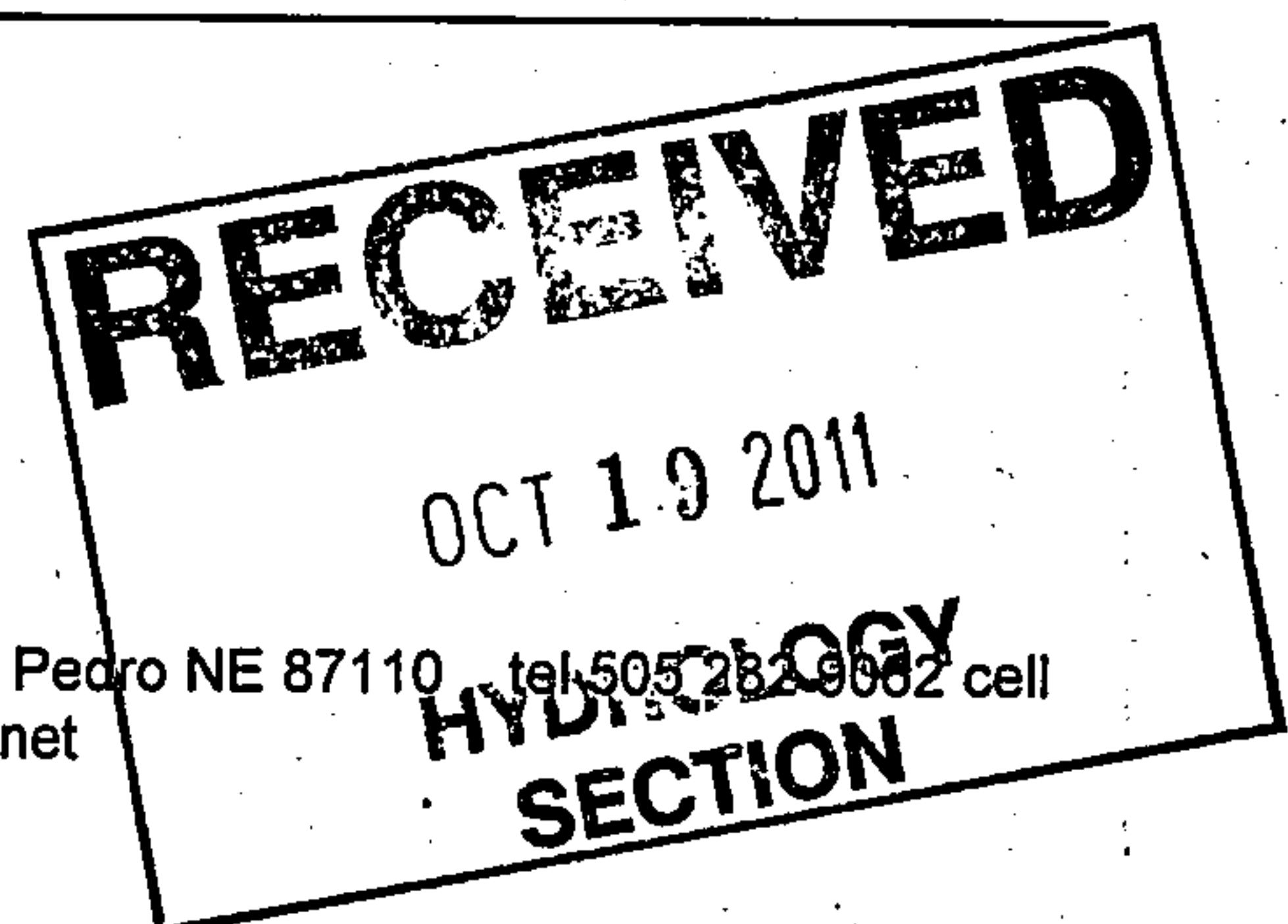


A handwritten signature of Gene Dyer in black ink.

Gene Dyer AIA NM 537

Date **OCT 19, 2011**

6315 Linn Ave. NE Albuquerque, New Mexico 87108 mail address 1208 san Pedro NE 87110 tel 505 282 9982 cell 505 414 8300 E-mail gene_dyer@usa.net



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: DOMINGO B RECONSTRUCTION ZONE MAP: K12/D101
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: PLAT OF LOT 7-A, BEING A REPEAT OF LOTS
 CITY ADDRESS: 7 THROUGH 12, INCLUSIVE, BLOCK 20 FAIRGROUNDS ADD'L
WITHIN SECTION 24 TOWNSHIP 10 N. R. 10 E.
 ENGINEERING FIRM: GILBERT ALDAZ PE & PS CONTACT: GILBERT ALDAZ
 ADDRESS: 1605 BALIAR PHONE: 480 8125
 CITY, STATE: ALBUQUERQUE, NM. ZIP CODE: _____

OWNER: GENE AND DOROTHY DYER CONTACT: GENE DYER
 ADDRESS: 1208 SAN PEDRO N.E. PHONE: 414 8300
 CITY, STATE: ALBUQUERQUE, N.M. ZIP CODE: 87110

ARCHITECT: GENE DYER AIA #537 CONTACT: GENE DYER
 ADDRESS: 1208 SAN PEDRO NE. PHONE: 414 8300
 CITY, STATE: ALBUQUERQUE, N.M. ZIP CODE: 87110

SURVEYOR: DOUG SMITH CONTACT: DOUG SMITH
 ADDRESS: 2121 SAN MATEO BLVD N.E. PHONE: 255 5517
 CITY, STATE: ALBUQUERQUE, N.M. ZIP CODE: 87110

CONTRACTOR: JACK USREY CONTACT: JACK USREY
 ADDRESS: BOX 321 PHONE: 403 8444
 CITY, STATE: LOGAN, NEW MEXICO ZIP CODE: 88426

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☒ COPY PROVIDED

DATE SUBMITTED: MAY 23, 2011 OCT 19 2011 BY: GENE DYER

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage. One or more of the following levels of submittal may be required based on the following:

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3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

97/100

101

RECEIVED

[Signature]

REQUEST FOR ON-STREET PARKING

Per Section 14-16-3-1(EX6)(d) of the Zoning Code, where parking spaces are provided on a public street and abut the property, one half of the parking may be counted toward the off-street parking requirement of a building or use on such property provided the on-street parking spaces are approved by the Traffic Engineer, in conjunction with a site plan approval for off-street parking.

Notification Requirements: The Planning Department, by regular mail, shall notify all property owners within 250 feet of the property for which on-street parking credit is sought. Such property owners may submit written comments to the Planning Director or his designee, regarding the request for on-street parking credit within 15 days from the date the notice was mailed.

Comments received by the Planning Director that meet the requirements of Section 14-16-3-1(EX6)(d) shall be considered by the Traffic Engineer prior to the final determination of whether to grant credit for on-street parking.

Applicant/Agent GENE DYER (414-8300)
Site Address 6320 DOMINGO BL NE 87108
Project No. (if available) or other identifier RECONSTRUCTION OF DOMINGO
"FIRE"

ROUTING

1. Initial Contact
(Building, Zoning, Planning)

KRYSTAL METRO 1-2011
Name Date

2. Initial Review and Determination by Traffic Engineer

Project ☒ does ☐ does not qualify for consideration of on-street parking.

[Signature] 08-18-11
Traffic Engineer Date

3. Notification

08-19-11
Date notices were mailed out

Ernest Gomez
Property Researcher

4. Final Action by Traffic Engineer

The request for credit for 7 on-street parking spaces is ☒ Approved ☐ Denied

[Signature] 09-26-11
Traffic Engineer Date

CITY OF ALBUQUERQUE



June 16, 2011

Carl Gene Dyer, R.A.
Dyer & Dyer Architects
1208 San Pedro NE
Albuquerque, NM 87110

Re: Domingo B Reconstruction, 6320 B Domingo Ave NE, Traffic Circulation Layout
Architect's Stamp dated 05-21-11 (K18-D101)

Dear Mr. Dyer,

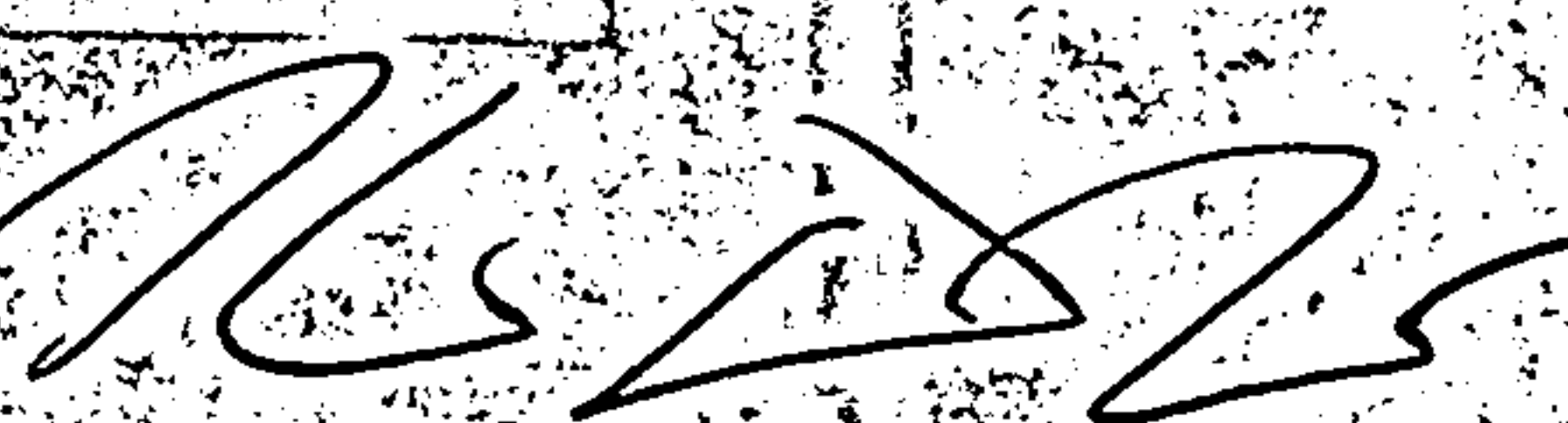
The TCL submittal received 05-23-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,


Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C. File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: DOMINGO B RECONSTRUCTION ZONE MAP: K12/D101
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: PLAT OF LOT 7-A, BEING A REPEAT OF LOTS
 CITY ADDRESS: 7TH THROUGH 12, INCLUSIVE, BLOCK 20 FAIRGROUNDS ADD'L
WITH IN SECTION 24 TIONS. M. PM.
 ENGINEERING FIRM: GILBERT ALDAZ PE & PS CONTACT: GILBERT ALDAZ
 ADDRESS: 1605 BALIAR PHONE: 480 8125
 CITY, STATE: ALBUQUERQUE, NM. ZIP CODE: _____

OWNER: GENE AND DOROTHY DYER CONTACT: GENE DYER
 ADDRESS: 1208 SAN PEDRO N.E. PHONE: 414 8300
 CITY, STATE: ALBUQUERQUE, N.M. ZIP CODE: 87110

ARCHITECT: GENE DYER AIA #537 CONTACT: GENE DYER
 ADDRESS: 1208 SAN PEDRO NE. PHONE: 414 8300
 CITY, STATE: ALBUQUERQUE, N.M. ZIP CODE: 87110

SURVEYOR: DOUG SMITH CONTACT: DOUG SMITH
 ADDRESS: 2121 SAN MATEO BLVD N.E. PHONE: 255 5577
 CITY, STATE: ALBUQUERQUE, N.M. ZIP CODE: 87110

CONTRACTOR: JACK USREY CONTACT: JACK USREY
 ADDRESS: Box 321 PHONE: 403 8444
 CITY, STATE: LOGAN, NEW MEXICO ZIP CODE: 88426

TYPE OF SUBMITTAL:

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- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
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- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☒ COPY PROVIDED

DATE SUBMITTED: MAY 23, 2011 BY: GENE DYER

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97/100

101

RECEIVED

MAY 23 2011

HYDROLOGY

CITY OF ALBUQUERQUE



June 23, 2011

Hugh W. Floyd, P.E.
Easterling Consultants LLC
3613 NM 528 NW, Suite E-2
Albuquerque, NM 87114

**Re: Domingo B Reconstruction Grading and Drainage Plan
Engineer's Stamp dated 6-20-11 (K18/D101)**

Dear Mr. Floyd,

Based upon the information provided in your submittal received 6-20-11, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

NM 87103

www.cabq.gov

C: file

Sincerely,

A handwritten signature in cursive script, appearing to read "Curtis A. Cherne".

Curtis A. Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

Easterling Consultants LLC
Engineering and Conservation Consulting

Hugh Floyd, P.E.
Project Engineer

3613 NM 528 NW, Suite E-2
Albuquerque, NM 87114
Office (505) 821-6646
Mobile (505) 366-4187
hfloyd@ecengr.com

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

PROJECT TITLE: Domingo B Reconstruction ZONE MAP: K-18 10151
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 7-A, Fairgrounds Addition, Albuquerque, Bernalillo County, New Mexico
CITY ADDRESS: _____

ENGINEERING FIRM: Easterling Consultants LLC CONTACT: Hugh Floyd
ADDRESS: 3613 NM HWY 528 NW PHONE: (505) 821-6646
CITY, STATE: Albuquerque, NM ZIP CODE: 87114

OWNER: Gene Dyer CONTACT: _____
ADDRESS: 6135 Linn Avenue NE PHONE: 505-232-9062
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

ARCHITECT: Dyer+Dyer Architects and Urban Designers CONTACT: Gene Dyer
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Date Survey was performed _____
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CONTRACTOR: _____ CONTACT: _____
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☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
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☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) S.O. # 19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED

*Ruby,
write approval letter*

JUN 20 2011

HYDROLOGY
SECTION

DATE SUBMITTED: 06/20/2011 BY: Hugh Floyd

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

*Paid \$500
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