

CITY OF ALBUQUERQUE



April 19, 2012

Reza Afaghpour, P.E. aecllc@aol.com
SBS Construction and Engineering
P.O. Box 10264
Albuquerque, NM 87184

**Re: Passages Warehouse, 6819 Cochiti Rd SE,
Request for Permanent C.O. –Approved
Engineer's Stamp dated: 10-05-11, (K18/D102)
Certification dated: 04-16-12**

Dear Mr. Afaghpour,

Based upon the information provided in the Certification received 04-16-12, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: tsims@cabq.gov.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: 6819 COCHITI ROAD ADDITION ZONE ATLAS/DRG. FILE #: K18 /D102
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 13, 14, 15, BLOCK 3, FAIRGROUND ADDITION
CITY ADDRESS: 6819 COCHITI ROAD, SE Albuquerque, NM 87113

ENGINEERING FIRM: SBS CONSTRUCTION AND ENG., LLC
ADDRESS: PO BOX 10264
CITY, STATE: Albuquerque, NM

CONTACT: Shawn Biazar
PHONE: (505) 899-5570
ZIP CODE: 87113

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

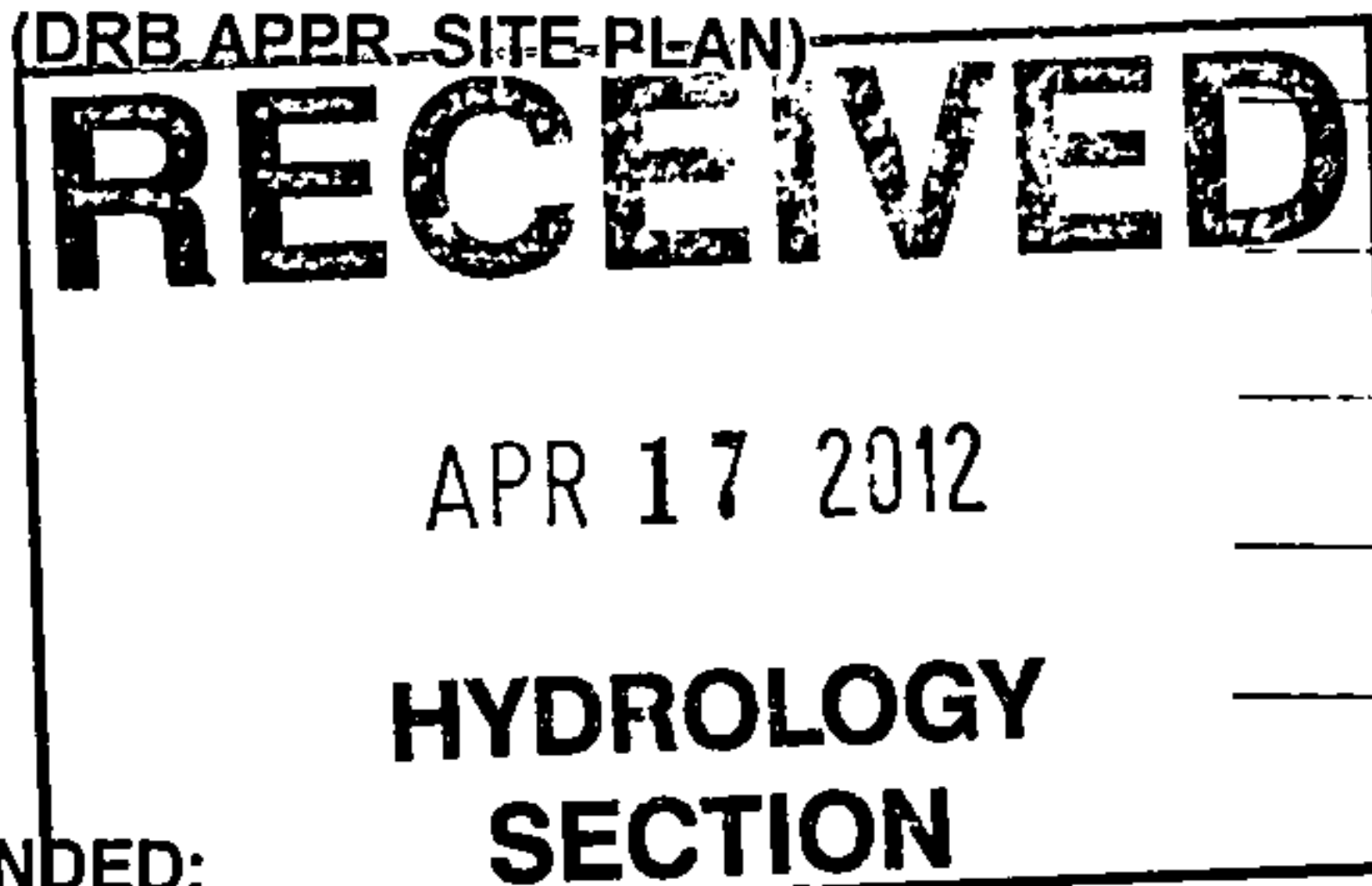
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

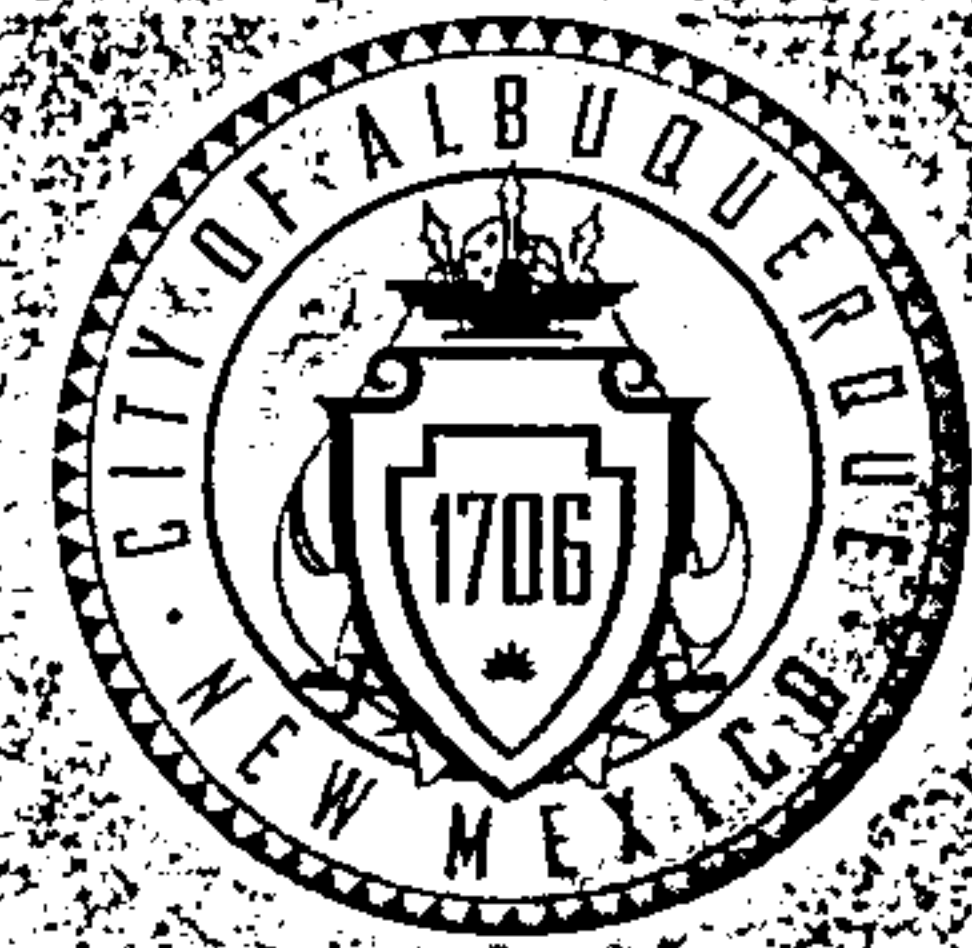


DATE SUBMITTED: 04 /15 / 2012 BY: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more

CITY OF ALBUQUERQUE



March 20, 2011

Mark Rea Baker, R.A.
Baker Architecture and Design
529-B Adams Street NE
Albuquerque, NM 87108

Re: Passage Warehouse Addition, 6819 Cochiti SE
Permanent Certificate of Occupancy – Transportation Development
Architect's Stamp dated 10-19-11 (K18-D102)
Certification dated 03-13-12

Dear Mr. Baker,

Based upon the information provided in your submittal received 03-20-12, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

PO Box 1293

Albuquerque

NM 87103

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CITY OF ALBUQUERQUE



Figure 23.6.3 RECIPROCAL EASEMENTS FOR COMMON ACCESS

This Easement Agreement is entered into between DARRIN CROUCH owner of 13, 14, 15
City of (Albuquerque), County of (Bernalillo), State of New
Mexico, and of CROUCH owner of Lot 13, 14, 15 City of (Albuquerque),
County of (Bernalillo), State of New Mexico.

The parties have an interest in adjoining real estate situated in the City of Albuquerque,
County of Bernalillo, State of New Mexico and described as follows:

(Property Descriptions)

013 003 Fair Grounds L13, 14 + 15

The parties desire to create a common access easement between the above-described
adjoining lots providing access, from a single access point on the abutting street, to said
lots owned by them for the benefit of each of them; and therefore agree as follows.

PO Box 1293

Albuquerque

NM 87103

An easement for a common access in favor of Lot 13, 14, 15 owned by CROUCH, is created
over the strip of land (29) feet wide along the (northern) boundary line of Lot (13, 14, 15)
owned by
CROUCH and an easement for a common access in favor of Lot 13, 14, 15 owned by CROUCH
is created over the strip of land 29 feet wide along the northern boundary of
Lot 13, 14, 15 owned by CROUCH for the purpose of creating a common access 29
feet wide for the benefit of both of the above described lots.

www.cabq.gov

This easement is superior and paramount to the rights of any of the parties hereto in the
respective servient estates so created, and the parties further agree that it is a covenant
that shall run with the land.

The maintenance of the easement areas are the responsibility of the respective property
owners.

In witness whereof, the parties hereto have executed this agreement as follows:

Doc# 2012027752

03/20/2012 02:06 PM Page 1 of 2
EASE R: \$25.00 M Toulouse Oliver Bernalillo County



RECEIVED
MAR 20 2012
BY: _____

CITY OF ALBUQUERQUE



ACKNOWLEDGED:

Date, 20 Oct 3rd 2011

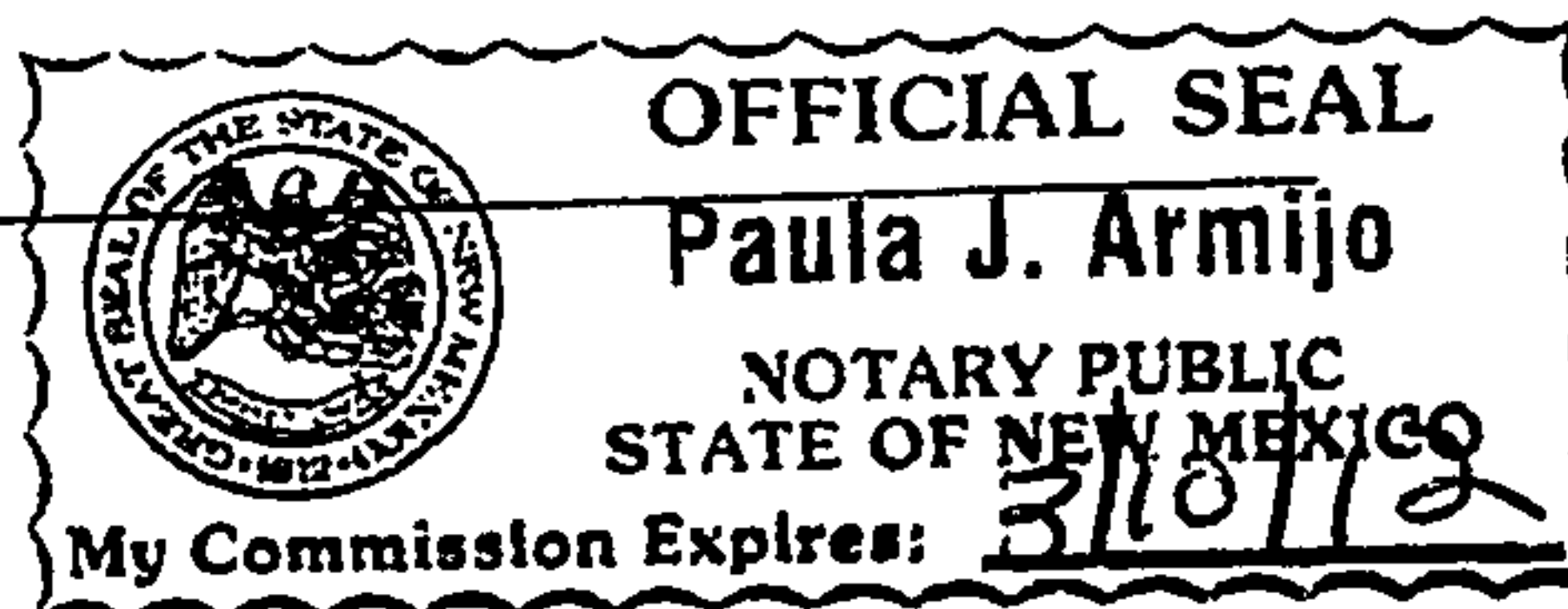
(Owner #1)

WITNESSED:

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

On this 3rd day of October, 2011, before me personally appeared Christopher D. Crouch, and to me known to be the person described in and who executed the foregoing instrument, and acknowledged that he (or they) executed the same as his (or their) free act and deed.

Paula J. Armijo
Notary 1st Party



My Commission Expires

3/10/12

PO Box 1293

ACKNOWLEDGED:

Date, 20 _____

Albuquerque

Owner #2

NM 87103

WITNESSED:

STATE OF NEW MEXICO)

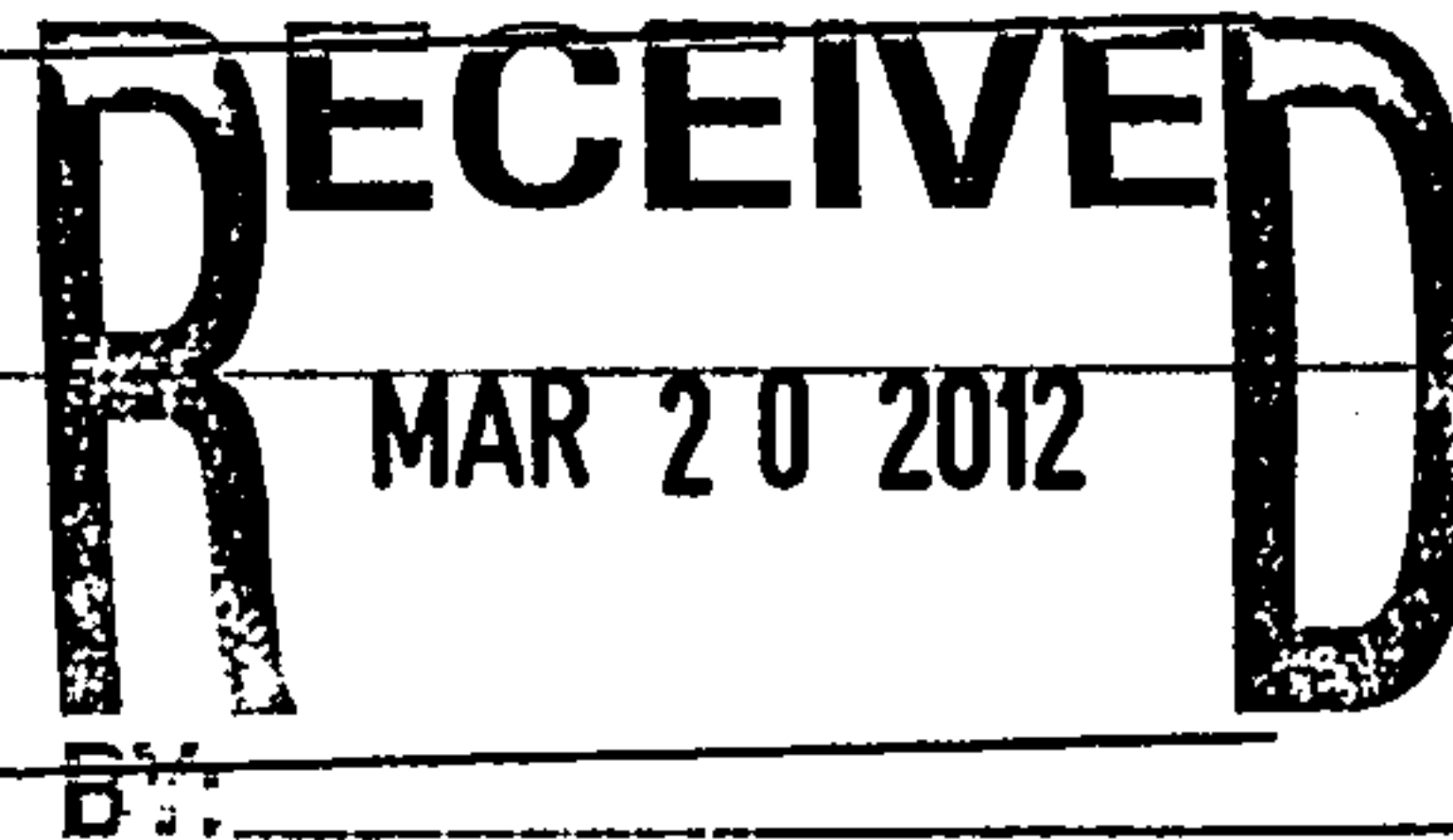
www.cabq.gov

COUNTY OF BERNALILLO)

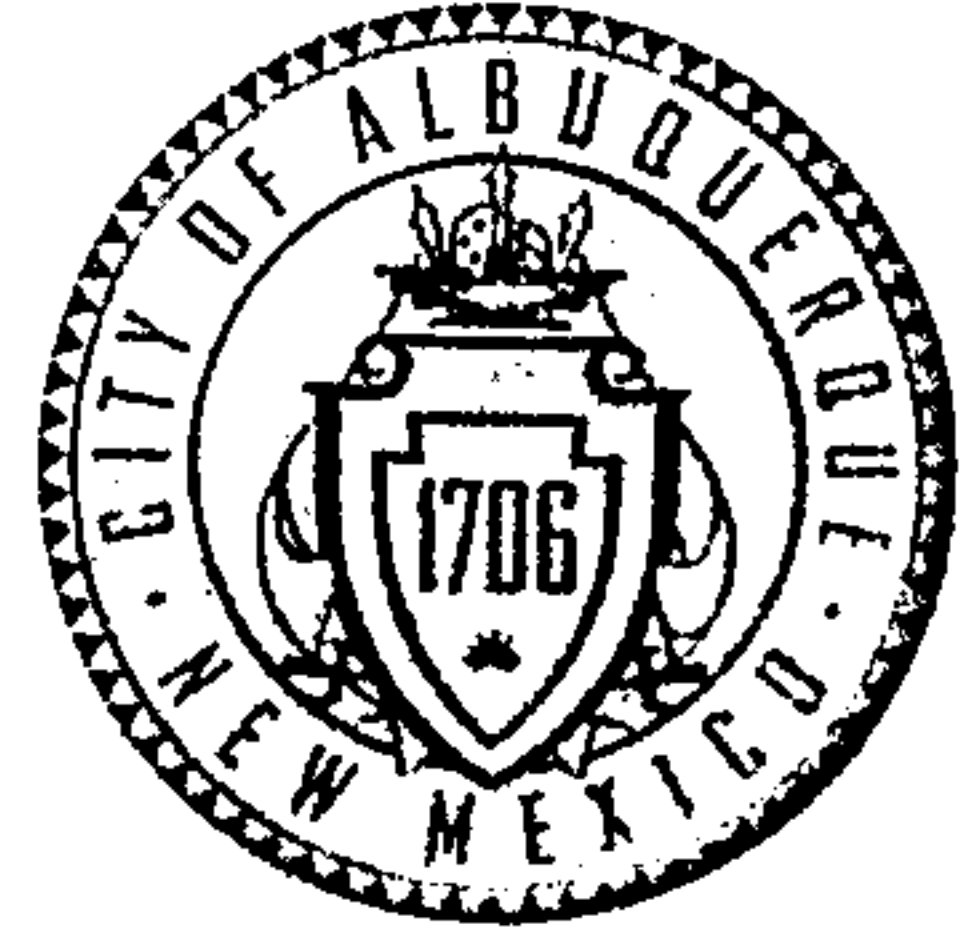
On this _____ day of _____, 20____, before me personally appeared _____ and who executed the foregoing instrument, and acknowledged that he (or they) executed the same as his (or their) free act and deed.

Notary 2nd Party

My Commission Expires:



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 14, 2012

Mark Rea Baker, R.A.
Baker Architecture and Design
529-B Adams Street NE
Albuquerque, NM 87108

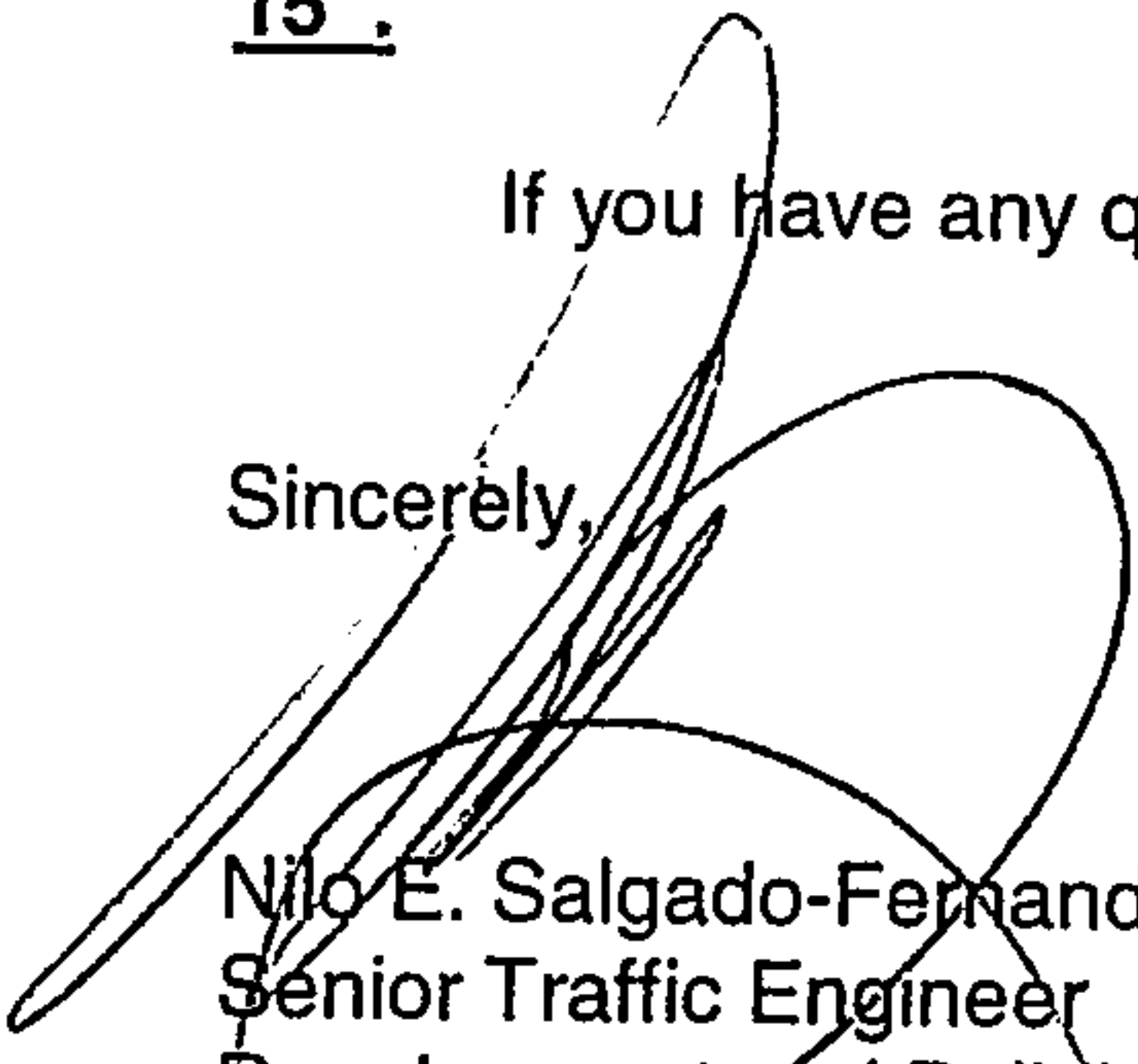
Re: **Rejection of Permanent Building Certificate of Occupancy (C.O.)**
Passage Warehouse Addition, [K-18/D102]
6819 Cochiti SE
Architect's Stamp Dated 03/13/12

Dear Mr. Baker:

Based upon the information provided in your submittal received 03-13-12, Transportation Development has **REJECTED** the issuance of a Permanent Certificate of Occupancy until the following condition is met: Provide a recorded copy of the cross access easement between lots 13,14, and 15. This condition is a requirement per letter dated November 3, 2011, by Kristal Metro, Traffic Engineer stated **"Prior to any certification of occupancy approval, the following item must be completed: : Provide a recorded copy of the cross access easement between lots 13,14, and 15".**

If you have any questions, please contact me at (505)924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: PASSAGES ZONE MAP: K-18/0102
DRB#: 1002553 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: 013 003 FAIR GROUNDS L 13 14 & 15
CITY ADDRESS: 6819 COCHITI RD SE

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: DARREN CRAKH CONTACT: DARREN CRAKH
ADDRESS: 6819 COCHITI RD SE PHONE: 505.830.2500
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87108

ARCHITECT: BAKER ARCHITECTURE + DESIGN CONTACT: MARK BAKER
ADDRESS: 929-B ADAMS ST NE PHONE: 505.254.4697
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87108

SURVEYOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: BUCK DONCANN CONSTRUCTION CONTACT: BUCK DONCANN
ADDRESS: 11305 CORONA AVE NE PHONE: 505.328.1978
CITY, STATE: ALB, N. MEXICO ZIP CODE: 87122

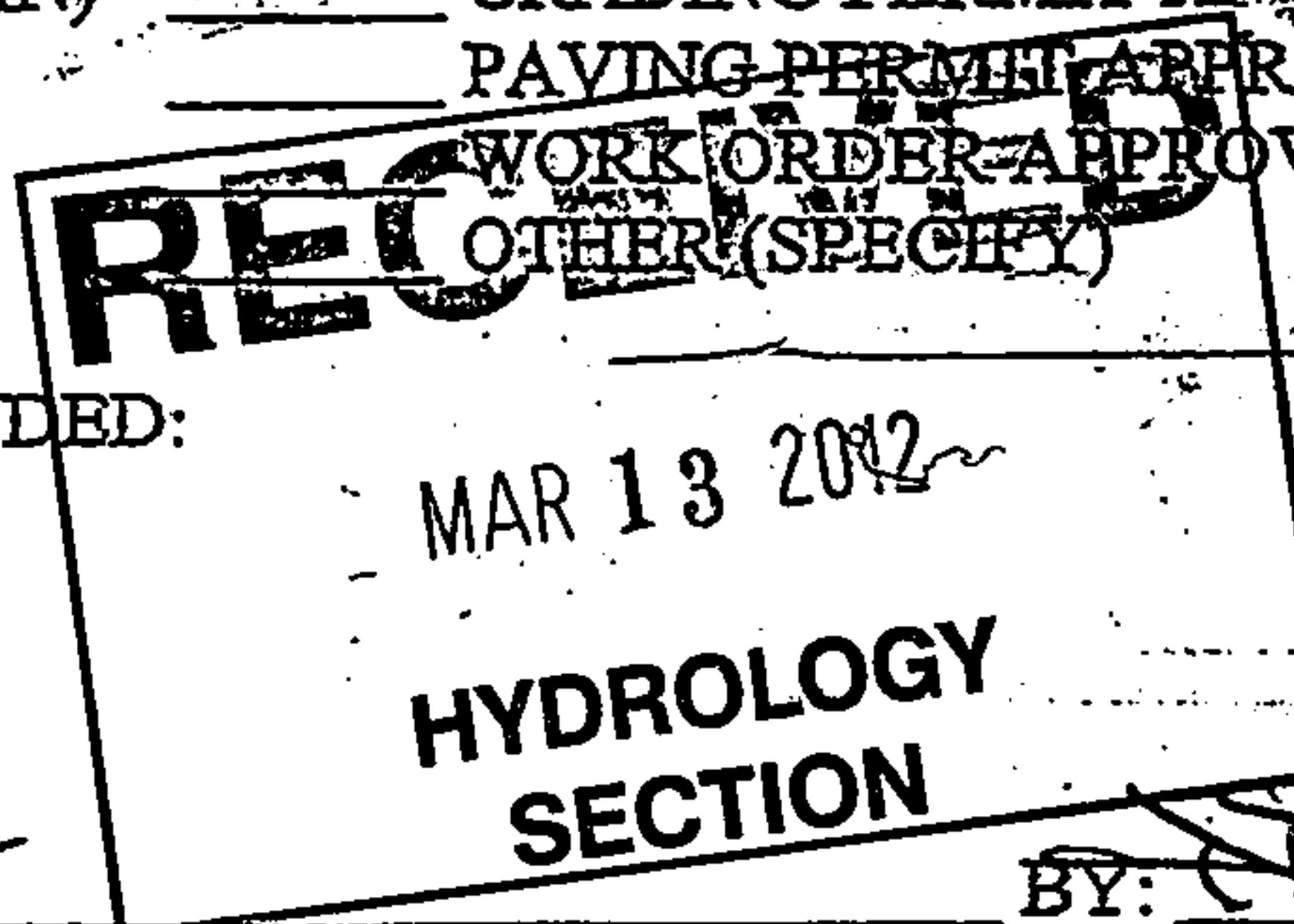
TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SLA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 3-12-12



BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Traffic Circulation

I, Mark R. Baker, NMRA 3226, of the firm Baker Architecture + Design, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 11-03-11, the record information edited onto the original design document has been obtained by Mark R. Baker of the firm Baker Architecture + Design. I further certify that I have personally visited the project site on 3-12-12 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

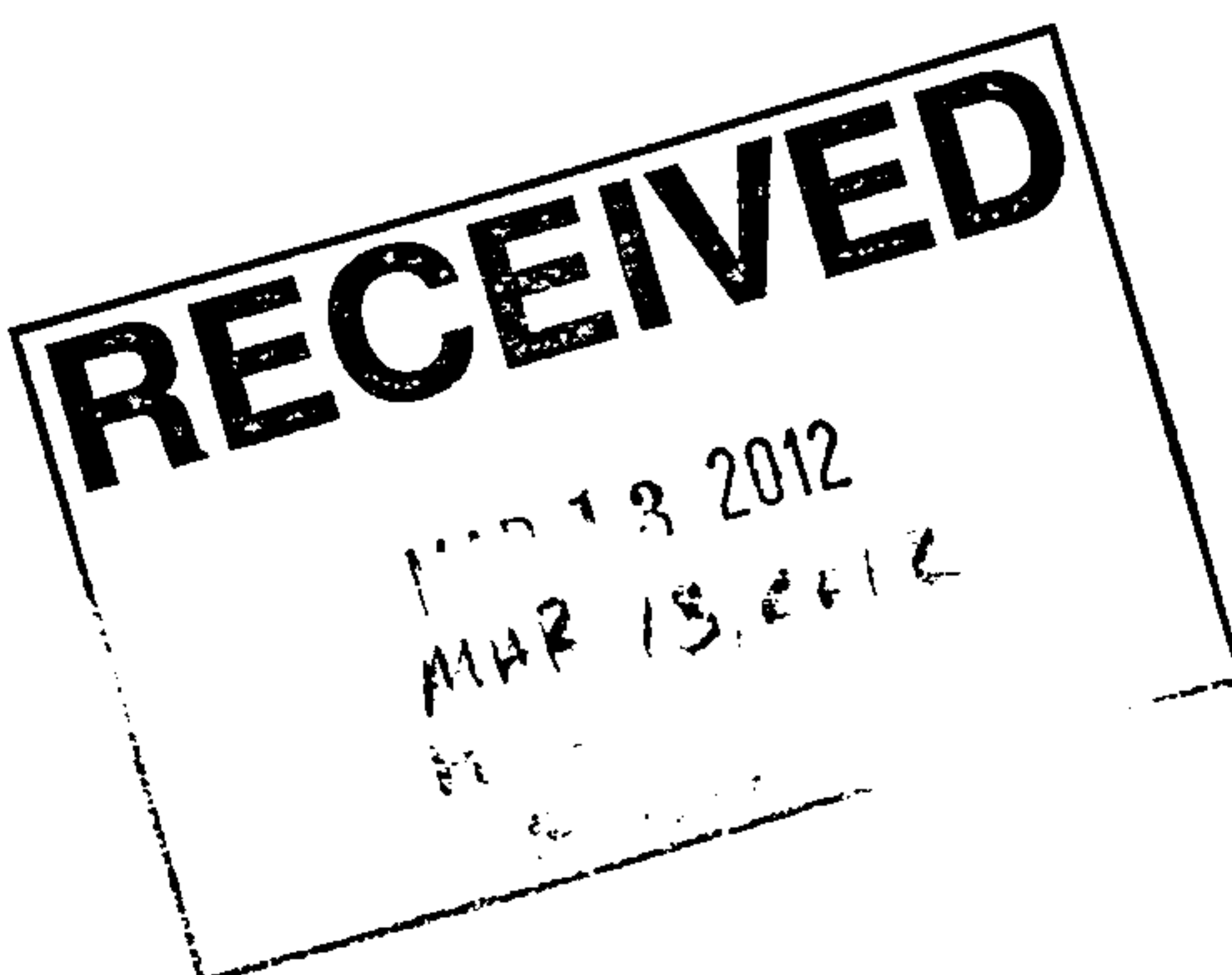
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



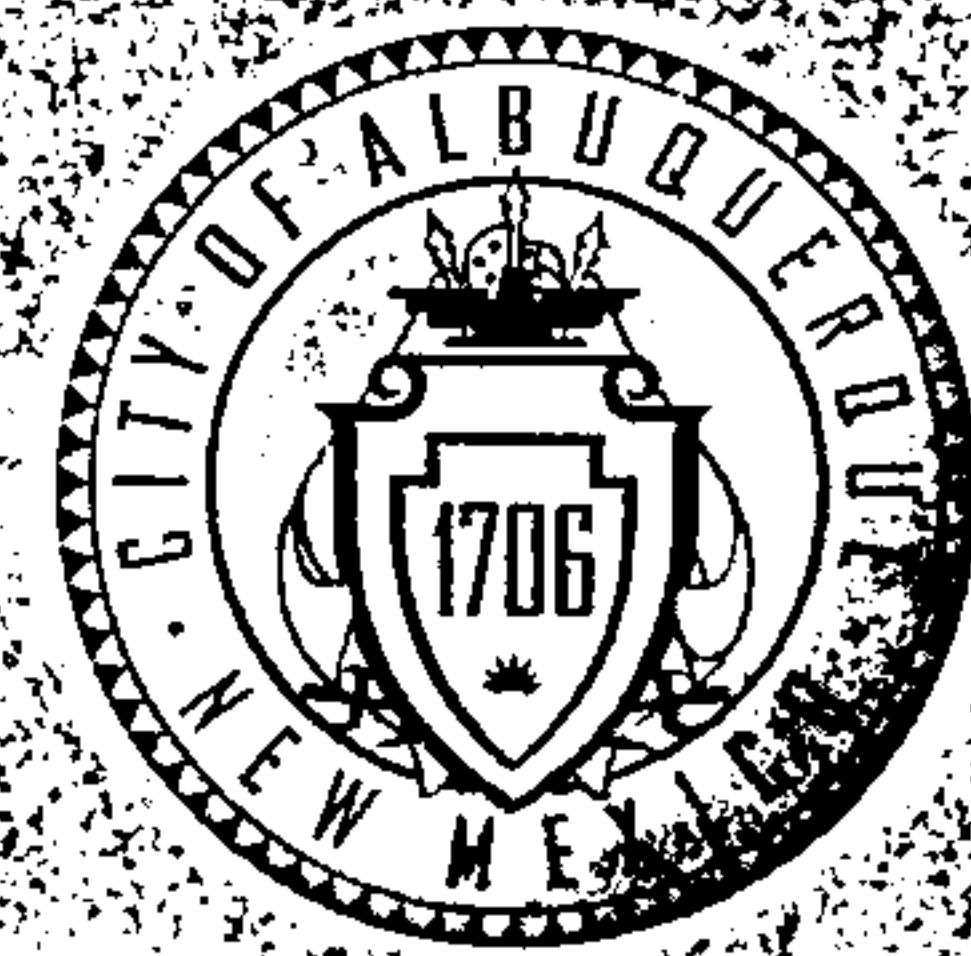
Signature of Architect

03.13.12

Date



CITY OF ALBUQUERQUE



November 3, 2011

Mark Rea Baker, R.A.
Baker Architecture and Design
529-B Adams Street NE
Albuquerque, NM 87108

Re: Passages Warehouse Addition, 6819 Cochiti Rd SE, Traffic Circulation Layout
Architect's Stamp dated 10-19-11 (K18-D102)

Dear Mr. Baker,

The TCL submittal received 10-19-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

Prior to any certificate of occupancy approval, the following item must be completed:

- **Provide a recorded copy of the cross access easement between lots 13, 14, and 15.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: PASSAGES INTERNATIONAL ZONE MAP: K-18/D102
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION:

CITY ADDRESS: 6819 COCAIT RD SE

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: BAKER A + D CONTACT: MARK
 ADDRESS: 529-B ADAMS ST NE PHONE: 254 4697
 CITY, STATE: ABQ ZIP CODE: 87108

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- RESUBMITTAL
- _____ DRAINAGE REPORT
 - _____ DRAINAGE PLAN 1st SUBMITTAL
 - _____ DRAINAGE PLAN RESUBMITTAL
 - _____ CONCEPTUAL G & D PLAN
 - _____ GRADING PLAN
 - _____ EROSION CONTROL PLAN
 - _____ ENGINEER'S CERT (HYDROLOGY)
 - _____ CLOMR/LOMR
 - ☒ TRAFFIC CIRCULATION LAYOUT
 - _____ ENGINEER'S CERT (TCL)
 - _____ ENGINEER'S CERT (DRB SITE PLAN)
 - _____ OTHER (SPECIFY) _____

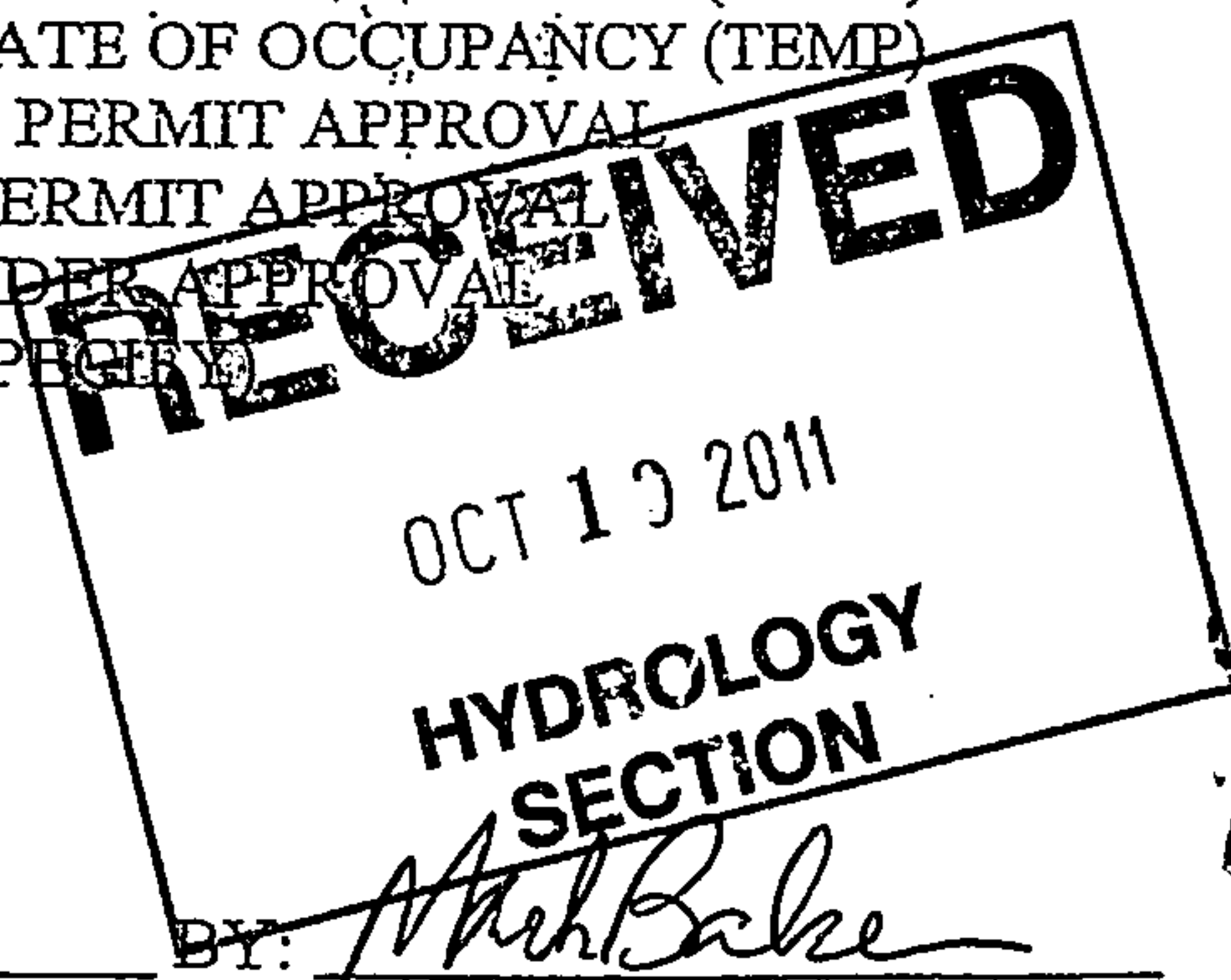
CHECK TYPE OF APPROVAL SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TEMP)
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- _____ YES
- ☒ NO
- _____ COPY PROVIDED

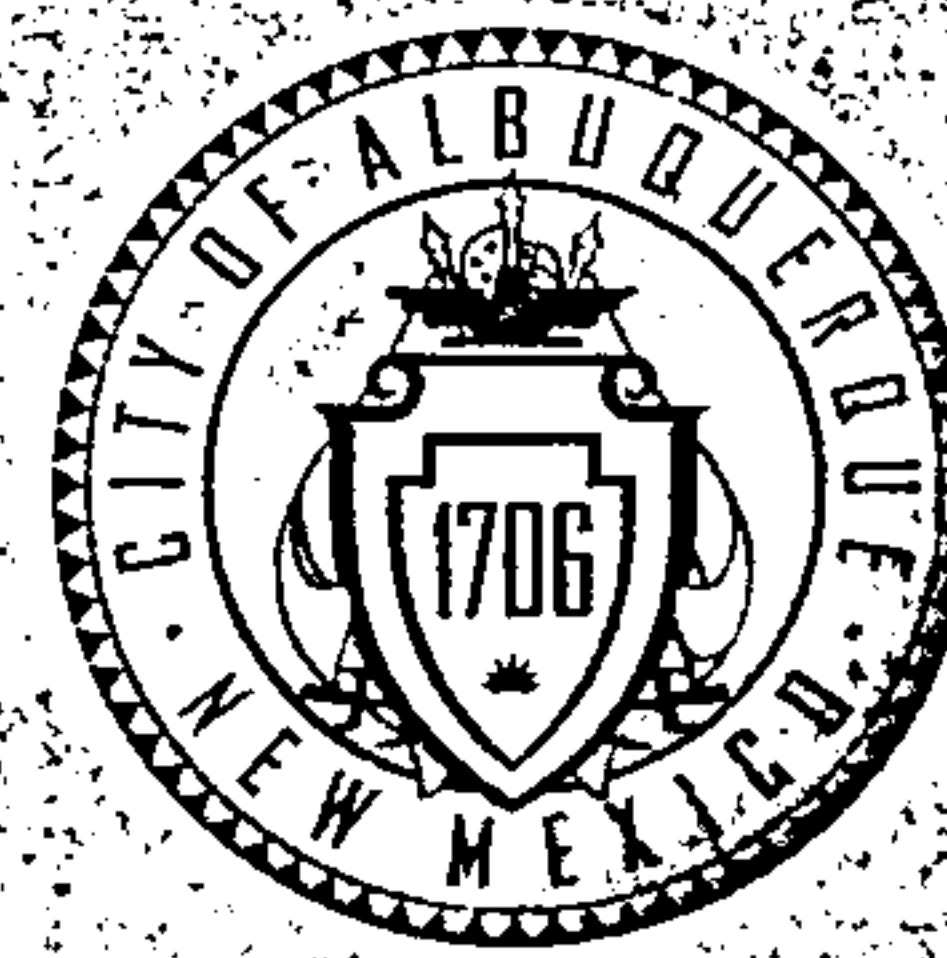
DATE SUBMITTED: 10-19-11 BY: Mark Baker



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



October 14, 2011

Reza Afaghpour, P.E.
SBS Construction & Eng. LLC
PO Box 10264
Albuquerque, NM 87113

Re: 6819 Cochiti Rd SE
Grading and Drainage Plan
Engineer's Stamp dated 10-05-11 (K18/D102)

Dear Mr. Afaghpour,

Based upon the information provided in your submittal received 10-05-11, the above referenced plan is approved for Grading Permit and Building Permit. This project requires a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more. Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the rain that falls on them. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

However, Prior to Certificate of Occupancy release;

- Engineer Certification per the DPM checklist will be required.
- Please clarify drainage calculations in a summary table (using 100 year storm values and not the 10 year values) giving historical flows and proposed flows, land treatments and percentages used in acres, not miles. Land Treatment A is not applicable for this site.
- AHYMO is not required on the plans for a site of this size. Just a summary will be fine.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

A handwritten signature in cursive script, appearing to read "Curtis Cherne".

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

C: RER/CAC
file

CITY OF ALBUQUERQUE



August 12, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87193

Re: HUESTAS DE LA FE Church Expansion
Grading and Drainage Plan
Engineer's Stamp date 8-10-11 (G-15/D104)

Dear Mr. Soule,

Based upon the information provided in your submittal received 8/10/11, the above referenced plan cannot be approved for Building Permit or Grading Permit until the following comments are addressed:

- A basin map is needed for the new building configuration, also showing the AH flood zone at the west end of this site.
- Is there an addition or are you just adding the inlets?
- An SO-19 is required to tie into the existing inlet. Add SO-19 notes to plan.
- It is difficult to confirm your land treatment calculations for this site please adjust your plan accordingly.
- Give elevation points from the surrounding sites.
- Prior to CO, an Elevation Certificate for the existing structure in the AE Flood Zone is required.
- A Floodplain Development Permit is required for the proposed building in the AE Flood Zone.
- Flows must be maintained at or below historic values.
- Provide inlet calculations with a 50% clogging factor.
- Provide the 100 year WSEL.
- Why was this site not built per approved plan dated 6/4/09?

Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the rain that falls on them.

If you have any questions, you can contact me at 924-3695, or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: RER/SB
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Huestras de la fe
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: G-15/104
WORK ORDER #: _____

LEGAL DESCRIPTION: Lots 17-20 Manuel Sanchez subciviison
CITY ADDRESS: 4616 2ND ST NW

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: PENTECOSTAL HOLINESS CH
ADDRESS: 4616 2ND ST NW
CITY, STATE: alb

CONTACT: _____
PHONE: _____
ZIP CODE: 87106

ARCHITECT: Joe Simons
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Geo surv CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

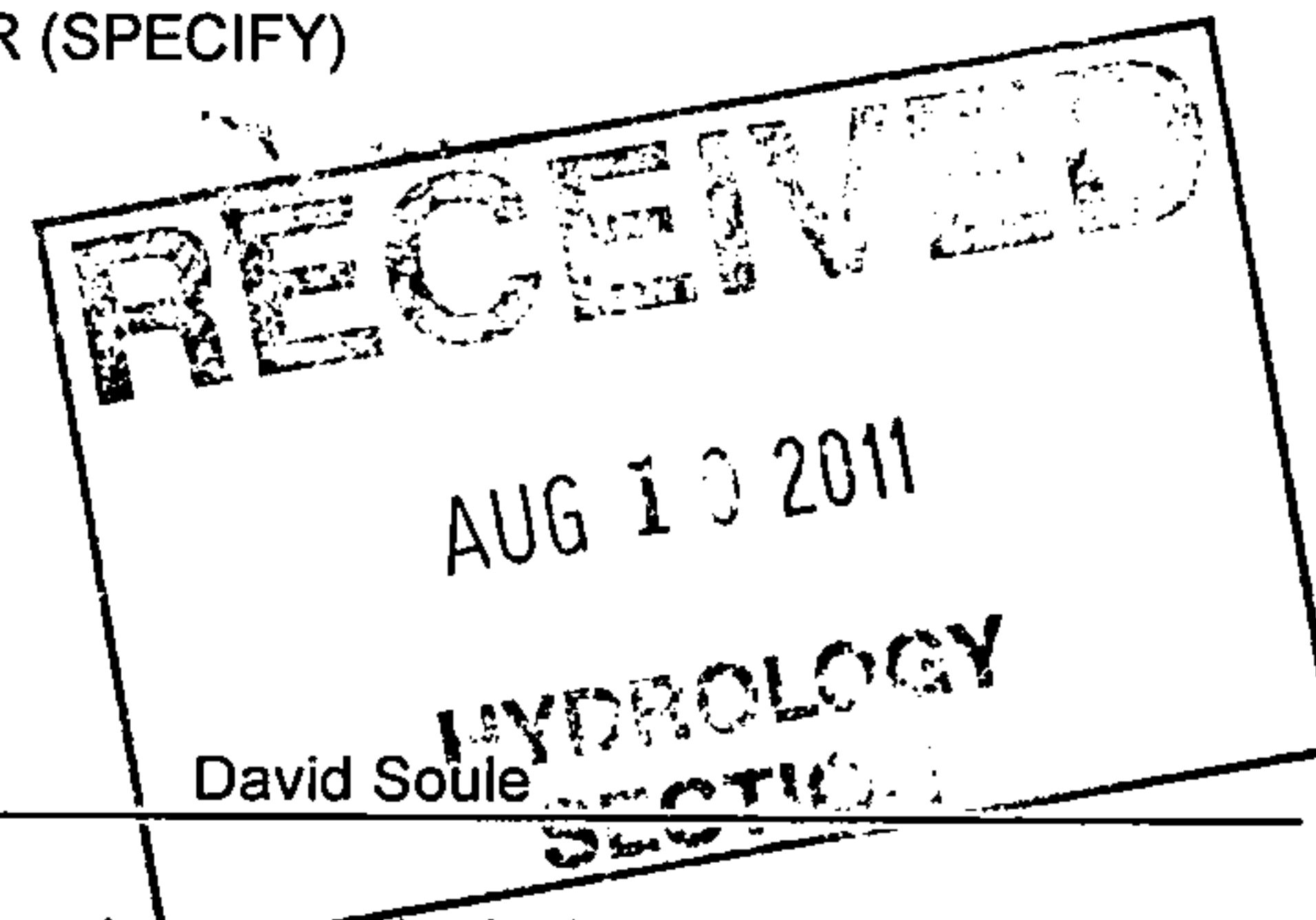
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 8/9/2011 BY: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE REPORT

For

**HUESTAS DE LA FE CHURCH EXPANSION
4616 SECOND STREET NW
Albuquerque, New Mexico**

Prepared by

Rio Grande Engineering
PO Box 67305
Albuquerque, New Mexico 87193

AUGUST 2011



David Soule P.E. No. 14522

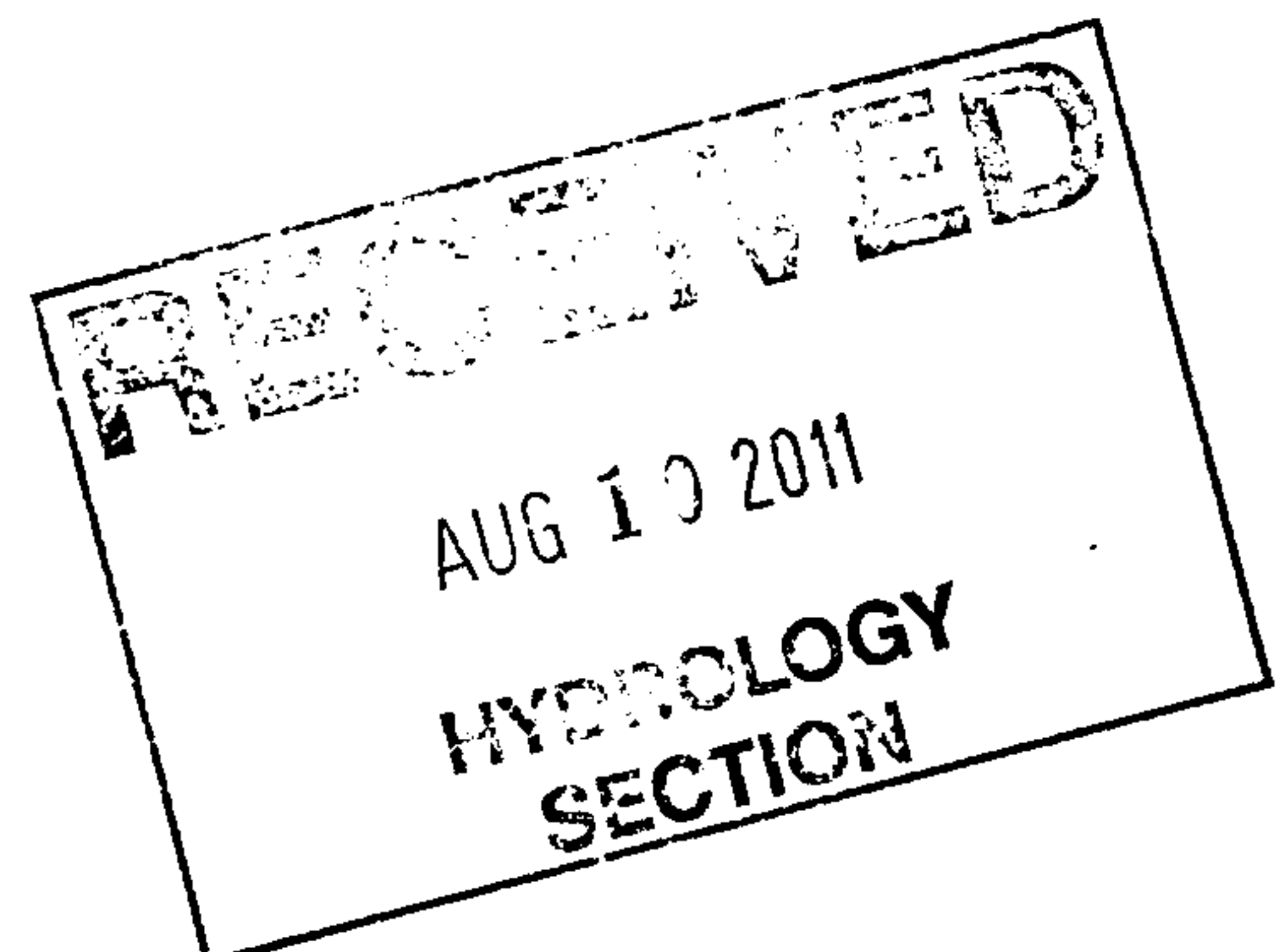


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PURPOSE

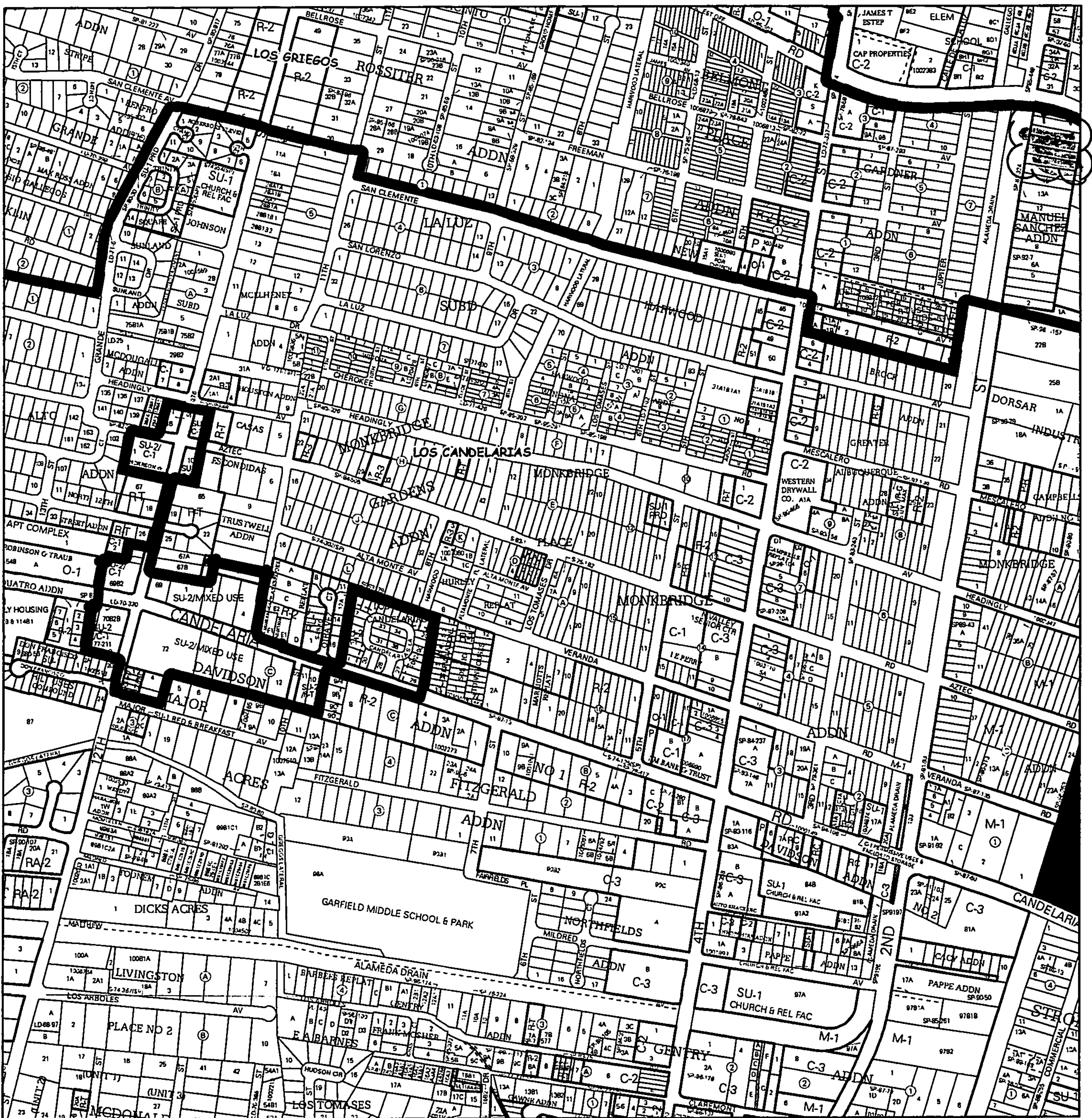
The purpose of this report is to provide the Drainage Management Plan for the addition of a new sanctuary. This site is on the east side of Second Street just south of Comanche. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

The subject of this report, as shown on the Exhibit A, is a 1.24 acre parcel of land located on the east side of second street south of Comanche. The legal description of this site is lots 17-20 Manuel Sanchez subdivision. As shown on FIRM map35013C0119E, the entire property is located within Flood Zone X. There is a 1' flood plain confined within the second street right of way. The site has been developed for some time. The church exists and the majority of the lot is paved. The unpaved portion is hard packed and was occupied by temporary building structured. The site was initially regarded to include a retention pond along the rear portion. This plan was prepared by my office but after reanalyzing the site the previously approved plan is not desirable. Based on the site location, type of modification and the adjacent drainage infrastructure this development should continue to the west and match existing drainage patterns as closely as possible.

EXISTING CONDITIONS

The site is currently developed. This site free discharges to the south and west. It has flat shallow ponds that spill to adjacent properties ultimately draining to the second street right-of-way. The site currently discharges 5.21 cfs to second street directly and via flow across adjacent properties. The site is not impacted by offsite flows.



For more current information and more details visit: <http://www.cabq.gov/gis>

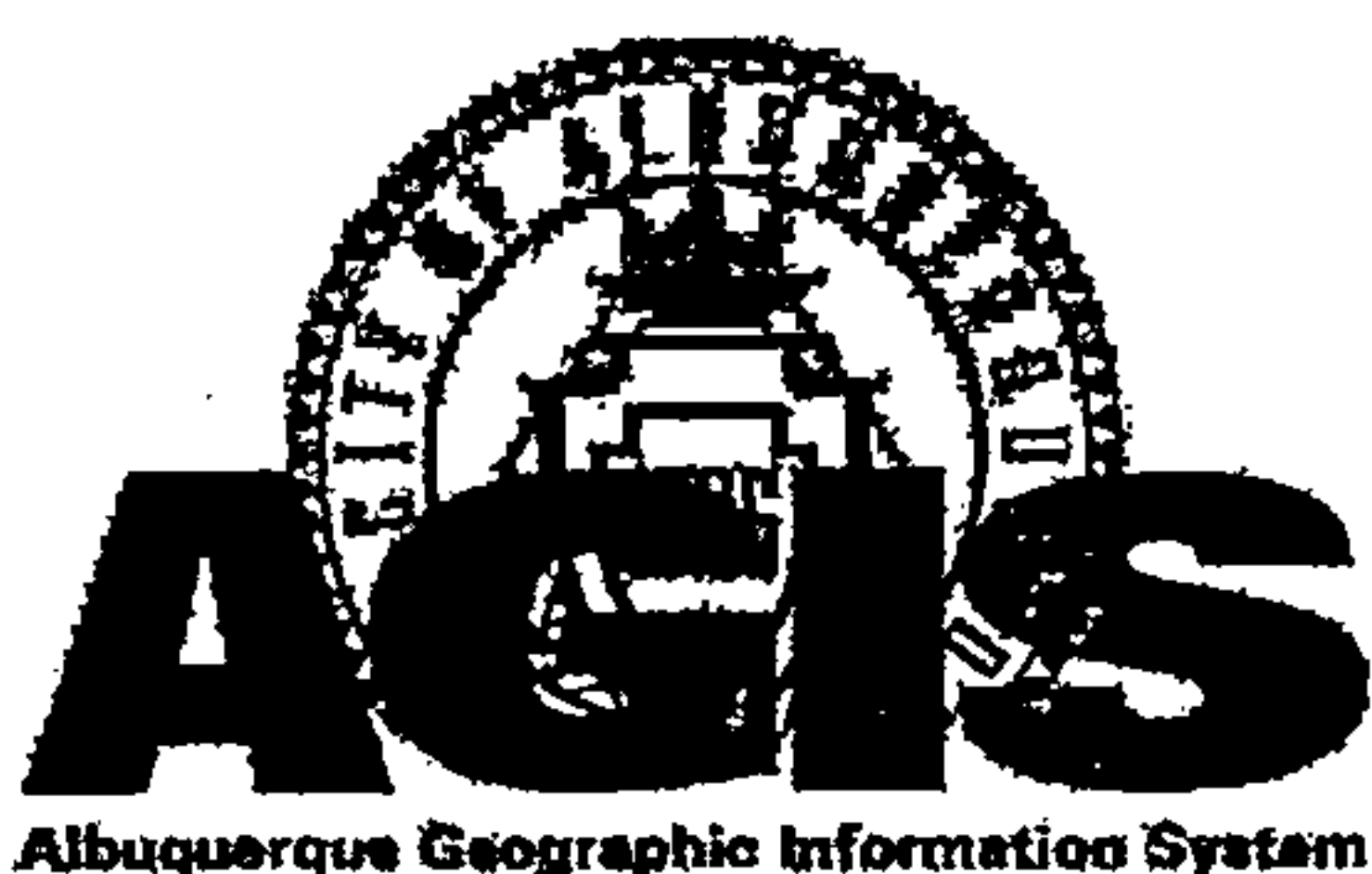
Zone Atlas Page:

G-14-Z

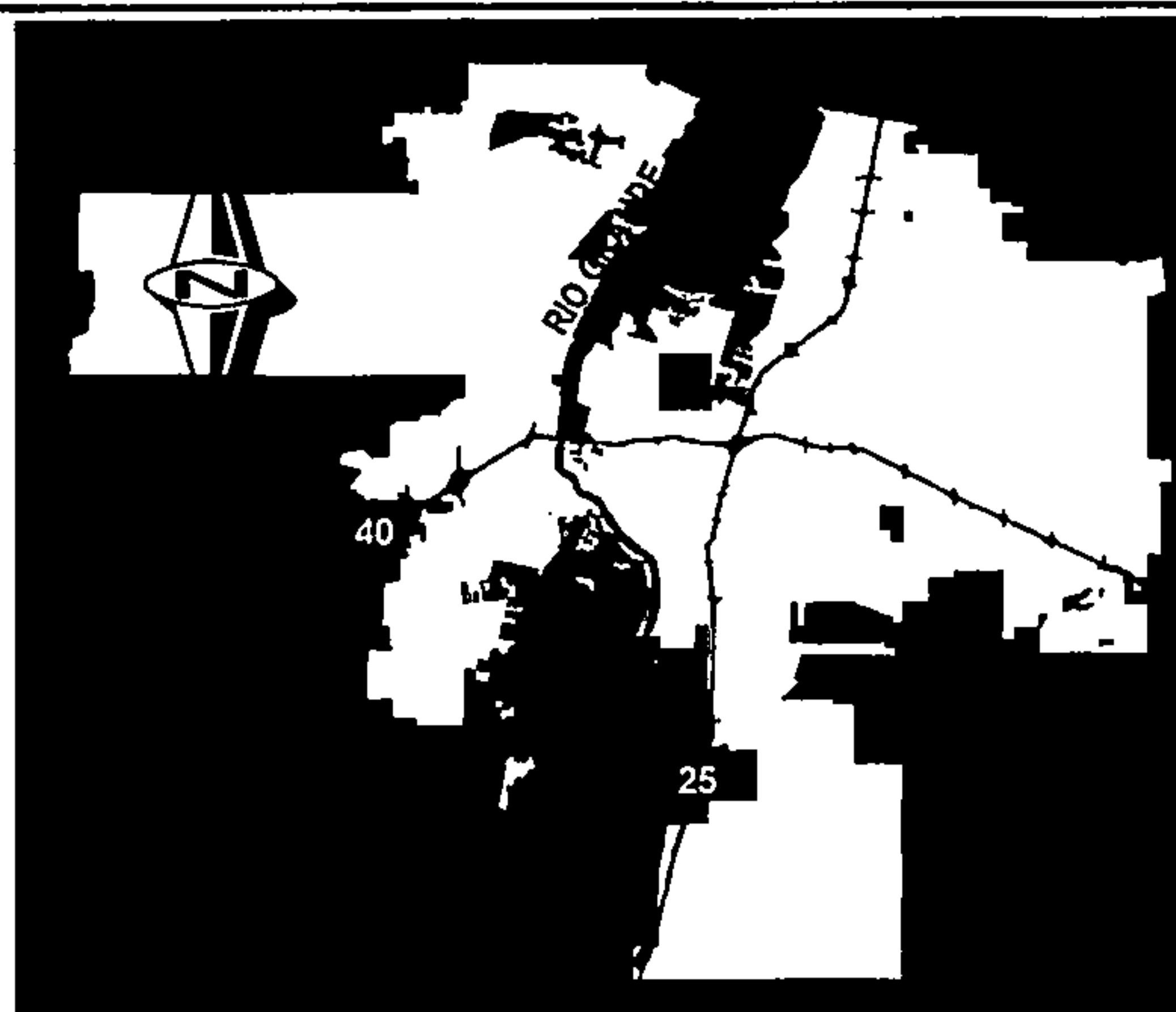
Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



Map amended through: 2/4/2010



PROPOSED CONDITIONS

The proposed improvements consist of the addition of a sanctuary adjacent to the building. Due to the increase in size additional pavement is required. The parking lot will be overlaid to drain the same way. Two inlets will be added to capture the flow and convey this flow to an inlet located adjacent to the site. As shown a 12" pvc pipe has capacity of 5.16 cfs, this is greater than the flow draining to them. In the developed condition the site will discharge 5.28 cfs to the inlet located at the site frontage within Second Street. The increase in flow rate of 0.07 cfs is minimal and due to elimination of cross lot drainage this should be acceptable. The landscape area shown along the rear portion of the lot is depressed to harvest water.

SUMMARY AND RECOMMENDATIONS

This project is an addition to an existing site. The onsite drainage patterns will remain. The construction of two inlets will eliminate the cross lot drainage and direct the flow directly to Second Street. The drainage patterns will improve and though there will be an increase of .07 cfs. The work area encompasses less than 1/2 acre, a NPDES permit / SWPPP should not be required prior to any construction activity.



APPENDIX A

SITE HYDROLOGY

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.			10-day
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
Existing	53900.00	1.237	0%	0	6%	0.074	22%	0.272222	72%	0.891	1.822	0.188	5.21	0.307
Proposed	52400.00	1.203	0%	0	9%	0.108	6%	0.072176	85%	1.022	1.940	0.194	5.28	0.331
landscape	1500.00	0.034	0%	0	12%	0.004	5%	0.001722	82%	0.028	0.242	0.001	0.15	0.004
difference	0.00	0.00	0%									0.007	0.07	0.024

Equations:

$$\text{Weighted E} = \text{Ea} \cdot \text{Aa} + \text{Eb} \cdot \text{Ab} + \text{Ec} \cdot \text{Ac} + \text{Ed} \cdot \text{Ad} / (\text{Total Area})$$

$$\text{Volume} = \text{Weighted D} \cdot \text{Total Area}$$

$$\text{Flow} = \text{Qa} \cdot \text{Aa} + \text{Qb} \cdot \text{Ab} + \text{Qc} \cdot \text{Ac} + \text{Qd} \cdot \text{Ad}$$

Where for 100-year, 6-hour storm

$$\text{Ea} = 0.53$$

$$\text{Eb} = 0.78$$

$$\text{Ec} = 1.13$$

$$\text{Ed} = 2.12$$

$$\text{Qa} = 1.56$$

$$\text{Qb} = 2.28$$

$$\text{Qc} = 3.14$$

$$\text{Qd} = 4.7$$

Developed Conditons

DRAINS TO SECOND

EXISITNG

PROPOSED

INCREASE

5.21 CFS

5.28 CFS

0.07 CFS

Pipe Capacity

Pipe	D	Slope	Area	R	Q Provided	Q Required	Velocity
	(in)	(%)	(ft^2)		(cfs)	(cfs)	(ft/s)
culvert	12	1	0.79	0.25	5.16	18.00	22.92

Manning's Equation:

$Q = 1.49/n * A * R^{(2/3)} * S^{(1/2)}$

- A = Area
- R = D/4
- S = Slope
- n = 0.009

CITY OF ALBUQUERQUE



September 21, 2011

Mark Rea Baker, R.A.
Baker Architecture and Design
529-B Adams Street NE
Albuquerque, NM 87108

**Re: Passages Warehouse Addition, 6819 Cochiti Rd SE,
Traffic Circulation Layout ^{K18}
Architect's Stamp dated 09-12-11 (~~K10~~-D102)**

Dear Mr. Baker,

Based upon the information provided in your submittal received 09-12-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Show all lot lines on the site; provide a copy of the cross access easement between lots 13, 14, and 15. If an access easement is not in place, one will need to be completed at this time.
2. The handrail for the exterior ramp must continue along the entire landing area (adjacent to the entrance). Please revise the detail.
3. Define the heavy vehicle pathway; how will deliveries be made?
4. The parking calculations indicate that 10 parking spaces are provided; however, only 8 parking spaces are shown. Please revise.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

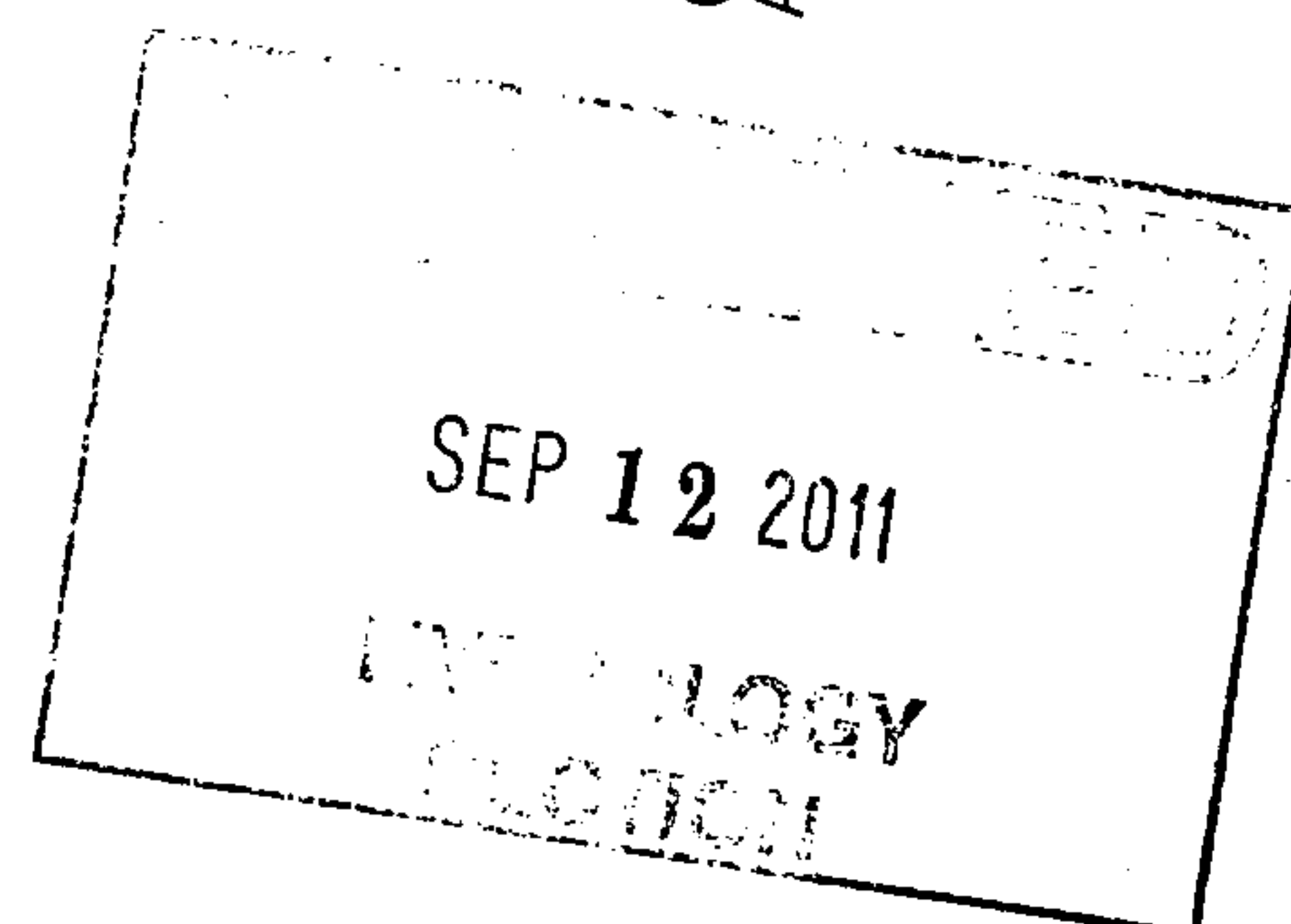
C: File

PO Box 1293

Albuquerque

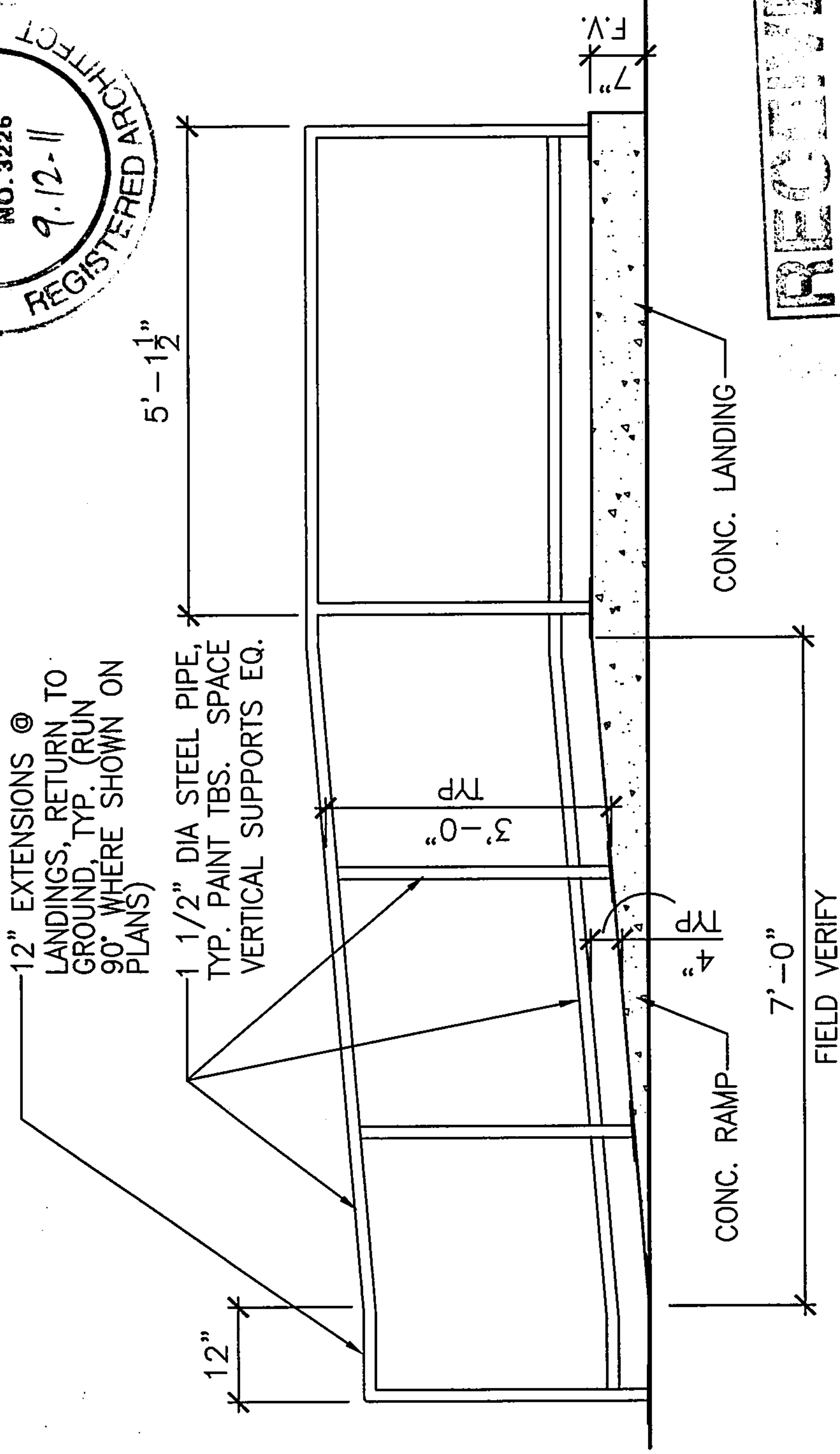
NM 87103

www.cabq.gov



Zerwan

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RECEIVED

SEP 14 2011

HYDROLOGY SECTION

EXTERIOR RAMP HANDRAIL

D3

SCALE: 1/2" = 1'-0"

CITY OF ALBUQUERQUE



September 7, 2011

Mark Rea Baker, R.A.
Baker Architecture and Design
529-B Adams Street NE
Albuquerque, NM 87108

**Re: Passages Warehouse Addition, 6819 Cochiti Rd SE,
Traffic Circulation Layout
Architect's Stamp dated 08-18-11 (K10-D102)**

Dear Mr. Baker,

Based upon the information provided in your submittal received 08-22-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The geometry along the eastern side of the lot is not amenable to a parking lot layout; please relocate all parking adjacent to the alleyway.
2. Show all lot lines on the site; provide a copy of the cross access easement between lots 13, 14, and 15. If an access easement is not in place, one will need to be completed at this time. A copy of the easement language is included for your reference.
3. Define the width of all gates.
4. An existing 10'3" curbcut is shown at the northeast corner of the site. This curb cut is blocked off and must be removed.
5. Define the heavy vehicle pathway; how will deliveries be made?

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: PASSAGES WAREHOUSE ADDITION ZONE MAP: 12-18/102
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: _____

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: BAKER A+D CONTACT: MARK BAKER
 ADDRESS: 529-13 ADAMS ST. NE PHONE: 254 469 7
 CITY, STATE: ADD NM ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

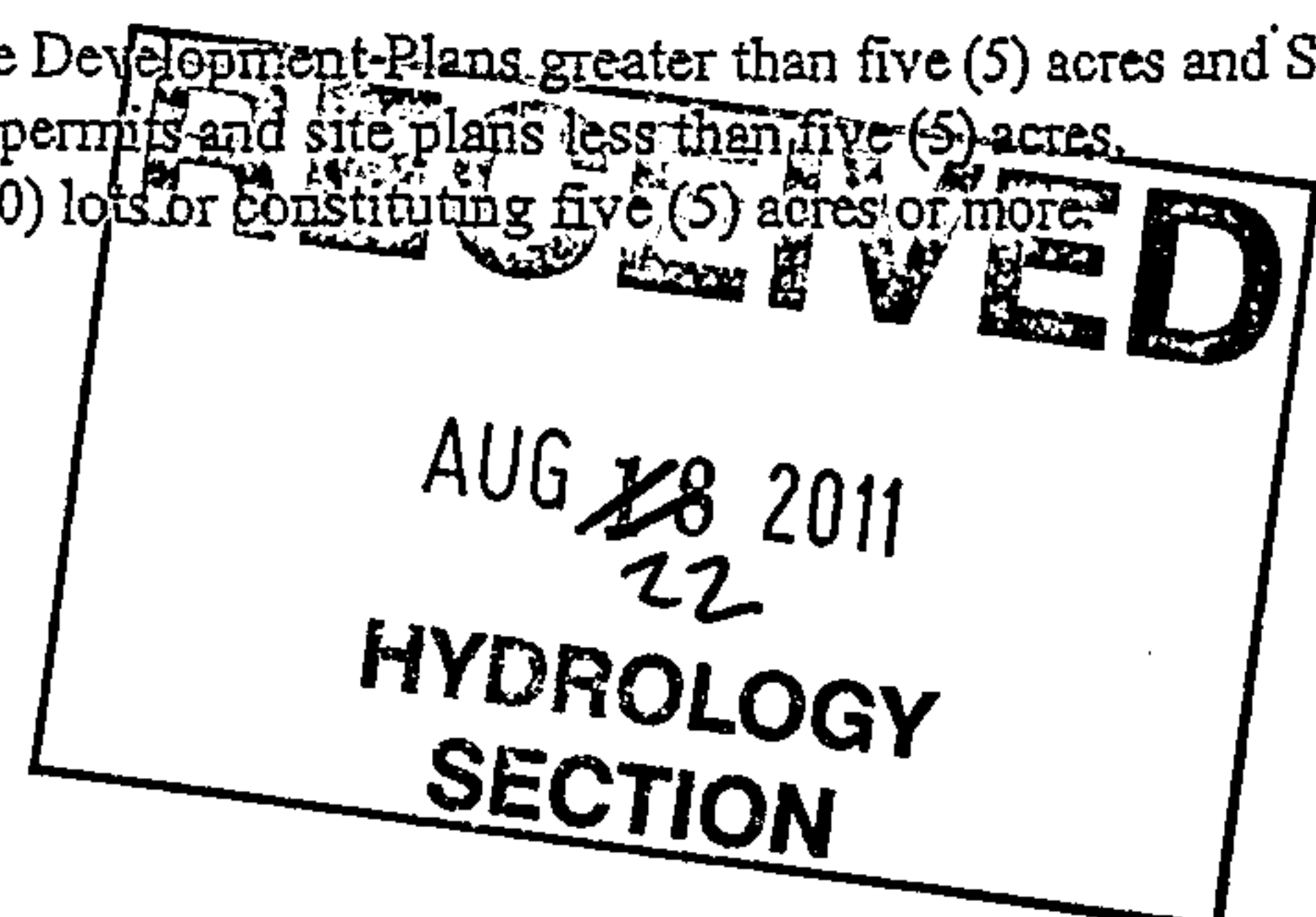
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 8.18.2011 BY: MARK BAKER

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



101
102

SET mtng. w/ ^{KRISTAL.} ~~MARK RAE BAKER?~~

- Geom. on EAST SIDE is of. Bldg. suggest. This is not feasible
a REDESIGN. off of ALLEY would be considered.
- ADA RAMPS
- REPLAT / OR EASEMENT is required.

