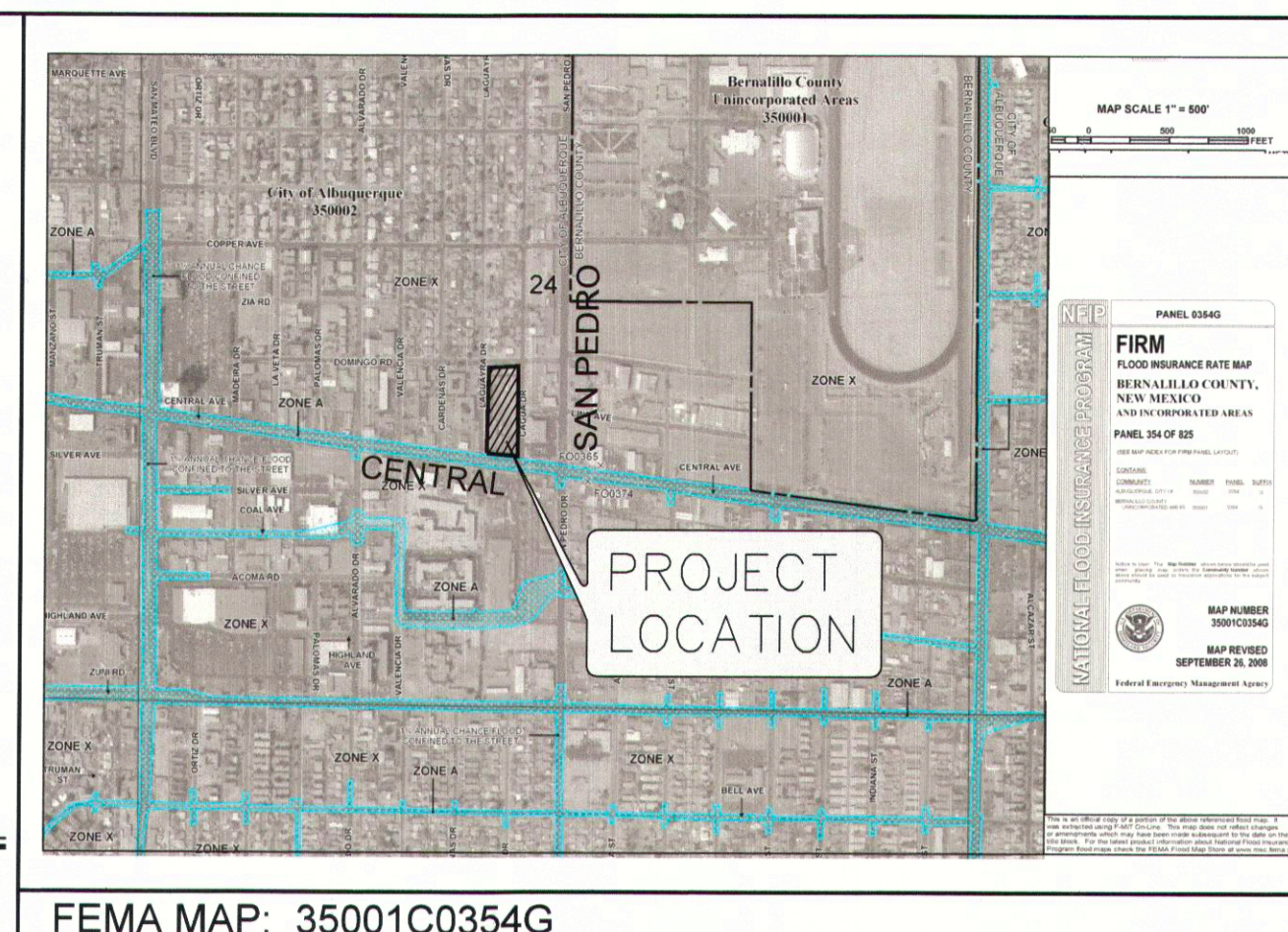


KEYED NOTES

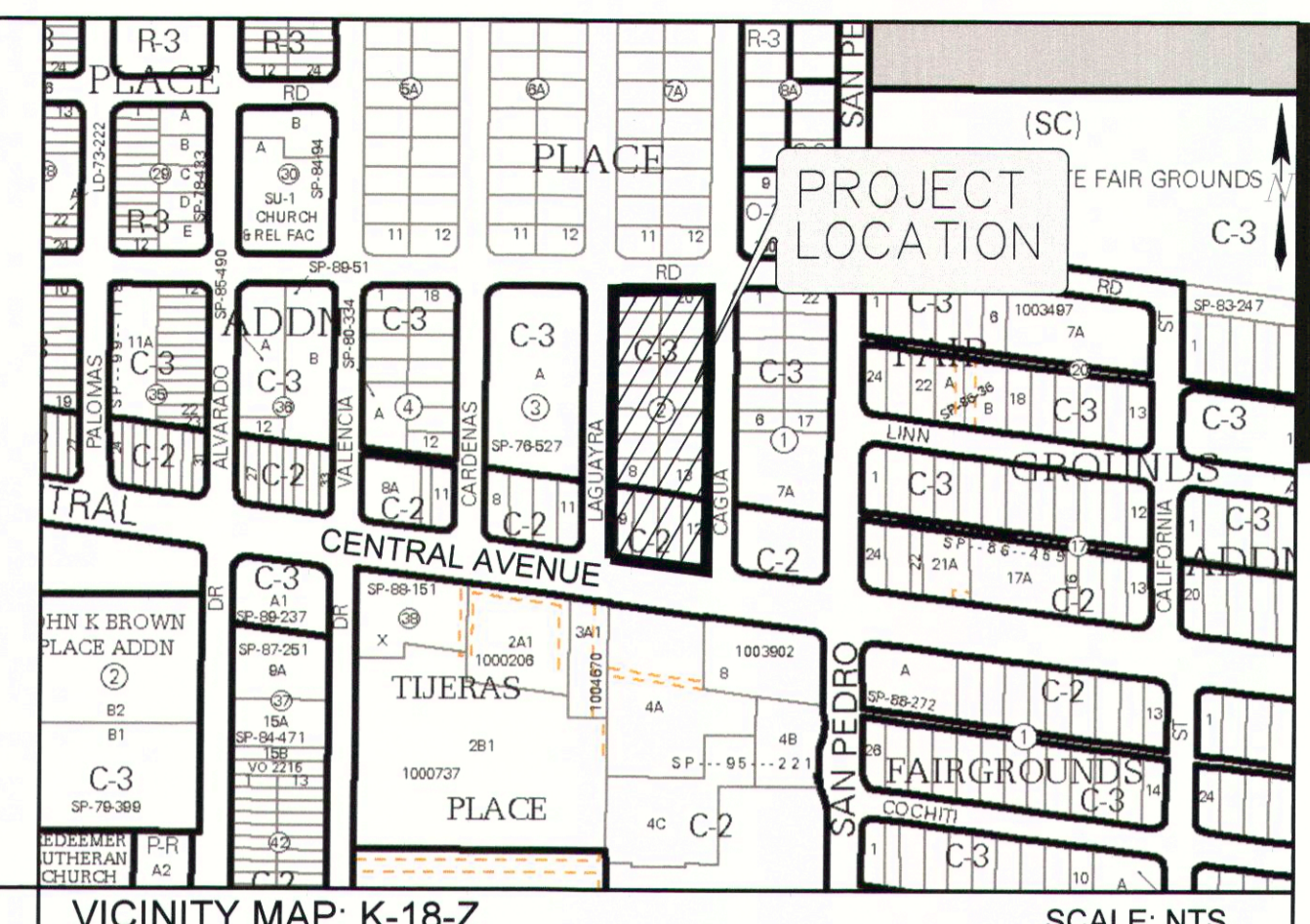
1. EXISTING HANDICAP RAMP.
2. EXISTING SIDEWALK TO REMAIN.
3. EXISTING UTILITY POLE TO REMAIN.
4. EXISTING UTILITY POLE TO BE REMOVED.
5. HISTORIC SIGN TO REMAIN.
6. EXISTING FIRE HYDRANT.
7. GRAVEL OR CRUSHER FINES. SEE LANDSCAPING PLAN.
8. SAND VOLLEYBALL COURT. SEE SITE PLAN.
9. REMOVE AND DISPOSE EXISTING CURBS, GUTTER, AND SIDEWALK. CONSTRUCT CONCRETE DRIVEPAD PER COA STD. DWG. 2425
10. CONSTRUCT 6" SIDEWALK PER C.O.A. STD. DWG. 2430.
11. CONSTRUCT 5" SIDEWALK PER C.O.A. STD. DWG. 2430.
12. CONSTRUCT REFUSE ENCLOSURES. SEE SITE PLAN.
13. EXISTING STD. CURB AND GUTTER.
14. **INSTALL CONCRETE FIRE STOP.**
15. CONSTRUCT HANDICAP ACCESS RAMP. SEE DETAIL SHEET C-2.
16. PROVIDE STRIPING AND SIGNAGE AT HANDICAP SPACES PER CODE.
17. CONSTRUCT CONCRETE SIDEWALK. SEE SITE PLAN FOR EXACT GEOMETRY.
18. ASPHALT PAVEMENT PER DETAIL SHEET C-2.
19. STRIPED PEDESTRIAN WAY. SEE SITE PLAN.
20. **CONSTRUCT TEXTURED CONCRETE PAVEMENT. SEE SITE PLAN.**
21. CONSTRUCT 1-12 INCH SIDEWALK CULVERT PER COA STD. DWG. 2236.
22. CONSTRUCT 1-24" SIDEWALK CULVERT PER COA STD. DWG. 2236.
23. CONSTRUCT 2-24 INCH SIDEWALK CULVERTS PER COA STD. DWG. 2236.
24. CONSTRUCT 1-18 INCH SIDEWALK CULVERT PER COA STD. DWG. 2236.
25. CONSTRUCT 18 INCH SIDEWALK CULVERT PER COA STD. DWG. 2236. EXTEND 2' FROM BACK OF SIDEWALK. TACK WELD ALL BOLTS TO THE STEEL PLATE.
26. CONSTRUCT 6 INCH CONCRETE CURB PER DETAIL SHEET C-2.
27. LANDSCAPING. SEE LANDSCAPE PLAN.
28. INSTALL BIKE RACK. SEE SITE PLAN.
29. **CISTERN.**
30. REMOVE AND DISPOSE EXISTING CONCRETE DRIVEPAD. REPLACE WITH STANDARD CURB AND GUTTER, AND SIDEWALK PER COA STD. DWG. 2415A AND 2430.
31. EXISTING CONCRETE DRIVEPAD TO REMAIN.
32. EXISTING CONCRETE SIDEWALK AND BALCONY TO REMAIN.
33. ELECTRIC TRANSFORMER.
34. ENTRY GATE. SEE SITE PLAN.
35. EMERGENCY ACCESS GATE. SEE SITE PLAN.
36. DOWNSPOUT - TYPICAL.
37. CONSTRUCT 4" DRAINLINE WITH CURB PENETRATION PER COA STD. DWG. 2235.
38. EXTEND DOWNSPOUT DRAINLINE TO LANDSCAPE AREA.
39. CONCRETE CURB FOR LANDSCAPE EDGE CONTROL.
40. HANDICAP RAMP & STAIRWAY. SEE SITE PLAN.
41. CONSTRUCT ACCESSIBLE RAMP AT 1:12.
42. PROVIDE 12" CURB BLOCK OUT FOR DRAINAGE.
43. 10' PNM & MOUNTAIN STATES TELEPHONE & TELEGRAPH EASEMENT.
44. SANDBOX.
45. FUTURE BUILDING PAD.
46. CONSTRUCT CONCRETE CHANNEL PER B/C-2.
47. MOUNTABLE CURB & STAIRWAY PER COA STD. DWG. 2415A.
48. CONSTRUCT CONCRETE PRIVATE ENTRANCE VALLEY GUTTER PER COA STD. DWG. 2426 - **MODIFIED**.
49. INSTALL TACTILE WARNING STRIP PER CODE.

LEGEND

ITEM	EXISTING	PROPOSED
PROPOSED SPOT ELEVATION	75.5	01.5
POWER POLE (GUYPED)	PP	
CONTOUR W/ ELEVATION	4992	92
EXISTING FINISHED FLOOR ELEVATION CHANGE		
DIRECTION OF FLOW	←	←
DRAINAGE SWALE	→	→
RIGHT OF WAY	---	---
EASEMENT LINE	---	---
PROPERTY LINE	---	---
CHAIN LINK FENCE	---	---
CURB	---	---
DOWNSPOUT	•	•
GRAVEL OR CRUSHER FINES		
ASPHALT PAVEMENT		
LANDSCAPED AREA		
DRAINAGE ANALYSIS POINT	AP 4	

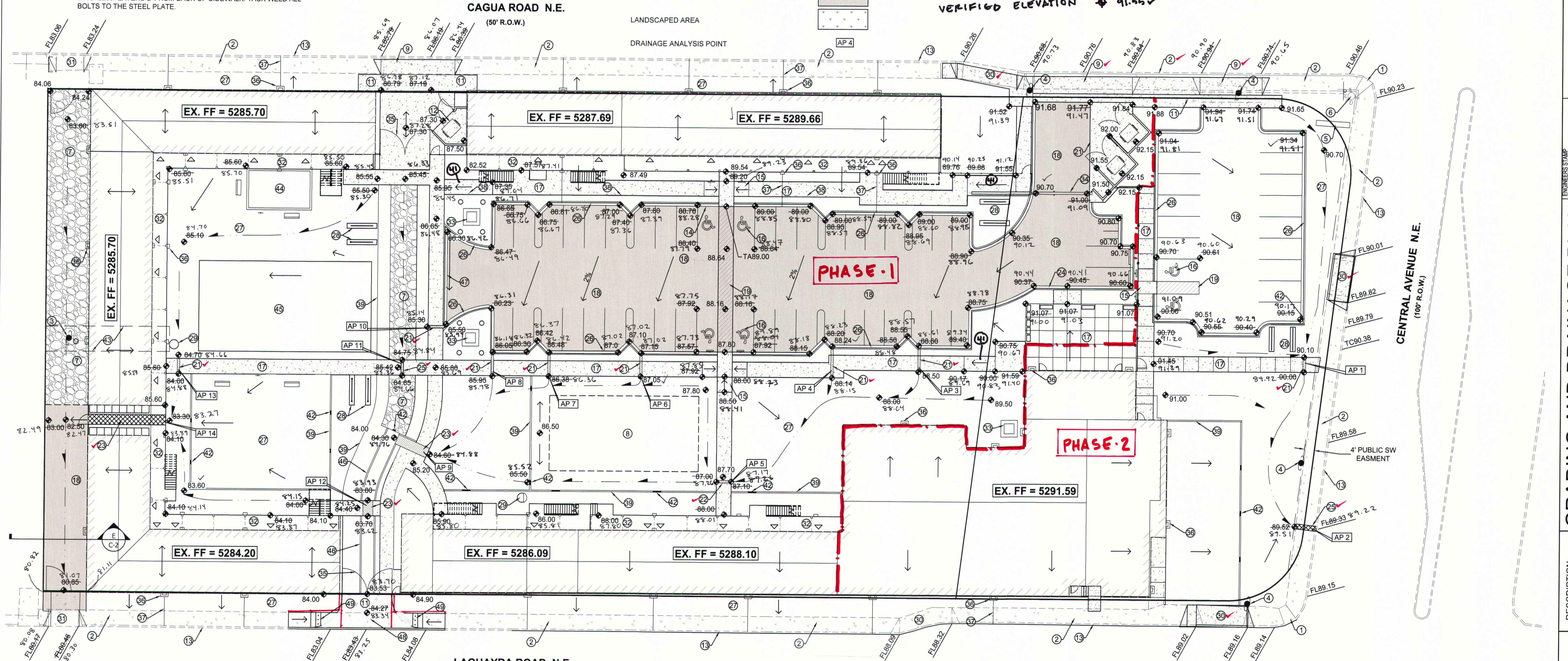
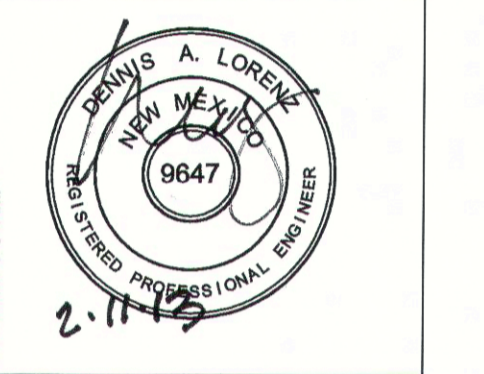


AS-BUILT ELEVATION 91.55
 VERIFIED ELEVATION 91.55



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GARRETT SMITH LTD
 DESIGN, ARCHITECTURE & DEVELOPMENT



- DRAINAGE PLAN NOTES**
1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
 2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
 3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
 4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
 5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered

- Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the plan.
 7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
 8. All spot elevations are finished grade or top of pavement, unless noted otherwise.
 9. All landscaping shall be depressed 2" minimum. Where drainage flows are diverted through landscaping, see plan for elevations.

NEW LIFE HOMES SUNDOWNER - PHASE 1 & PHASE 2
 ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 2-31-13.

The record information edited onto the original design document has been provided to me by Anthony Harris, NMPS 11463, Harris Surveying Inc., as supplemental data to the original topographic survey prepared by Brasher & Lorenz Inc., and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy for Phase 1 and Phase 2.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

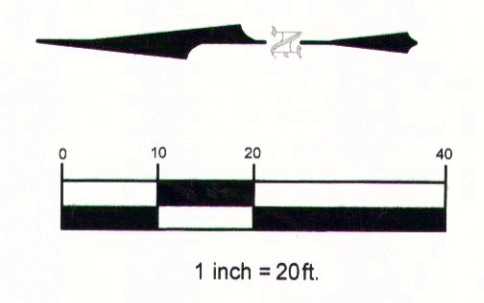
PROJECT DATA

SITE MAPPING:
 TOPOGRAPHIC SURVEY PREPARED BY BRASHER & LORENZ, INC. JUNE 2012

PROPERTY ADDRESS:
 6101 CENTRAL AVENUE NE ALBUQUERQUE, NEW MEXICO 87108

LEGAL DESCRIPTION:
 LOTS 2A & 12A, BLOCK 2, SANTILLA PLACE

PROJECT BENCHMARK:
 ACS MONUMENT "S-K18A"
 ELEVATION 5280.174 FEET 1988 NAVD
 GROUND TO GRID FACTOR: 0.999662582
 MAPPING ANGLE: -0°11'25.60"
 THE MONUMENT IS LOCATED 64.1 MILES EAST OF DOWNTOWN ALBUQUERQUE BETWEEN ALVERADO AND VALENCIA NORTH SIDE CENTRAL AVE.



BRASHER & LORENZ
 CONSULTING ENGINEERS
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-888-6088 Fax: 505-888-6188

GRADING AND DRAINAGE PLAN
 NEWLIFE HOMES
 SUNDOWNER

MARK	DATE	DESCRIPTION
2	10/12/2012	ADDENDUM #2

ISSUE: CD
 PROJECT NUMBER:
 FILE:
 DRWN. BY: J.M.T.
 CHKD BY: D.A.L.
 DATE: 01/29/2013

C-1