



**Planning Department  
Transportation Development Services**

December 10, 2014

Rodger Cinelli, R.A.  
Cinelli Architects  
2418 Manuel Torres Ln NW  
Albuquerque, NM 87107

**Re: Retail Shops Center – 5400 Central Ave SE**  
**Certificate of Occupancy – Transportation Development**  
Engineer's/Architect's Stamp dated 03-01-14 (K18-D104)  
Certification dated 12-08-14

Dear Mr. Cinelli,

Based upon the information provided in your submittal received 12-09-14, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Racquel M. Michel, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk  
mao

# Cinelli

## ARCHITECTS

OFFICE ( 505 ) 243-8211 FAX ( 505 ) 243-8196

ROGER CINELLI & ASSOCIATES, INC. 2418 MANUEL TORRES LANE N.W. ALBUQUERQUE, NEW MEXICO 87107

12/8/2014

CITY OF ALBUQUERQUE  
TRANSPORTATION DEVELOPMENT SECTION  
PLAZA DEL SOL BUILDING  
600 2<sup>ND</sup> STREET N.W.  
ALBUQUERQUE, NEW MEXICO 87102

RE: TRAFFIC CIRCULATION LAYOUT - RETAIL SHOPPING CENTER, 5400 CENTRAL AVE. S.E.,  
ARCHITECT'S STAMP DATED 3/1/14 (MARK UP 3/5/14) ( K18-D104) - COA APPROVAL LETTER DATED  
MARCH 5, 2014 - **FINAL SITE CERTIFICATION**

DEAR SIRs,

I, ROGER CINELLI, NMRA 1102, OF THE FIRM, ROGER CINELLI & ASSOCIATES INC, HEREBY  
CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE  
WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN, ARCHITECT'S STAMP DATED 3/5/14.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON  
DECEMBER 6, 2014 AND OBSERVED SOME MINOR DEPARTURES FROM THE ORIGINAL DESIGN  
DOCUMENT. THE WROUGHT IRON FENCE INSTALL ( NOTE 48) SHALL TAKE PLACE UPON  
REMOVAL OF THE CONSTRUCTION FENCE. THE CONCRETE CURB AT THE HANDICAP PARKING  
SPACE AISLE ON THE SOUTHEAST CORNER OF BUILDING "B" WAS STILL IN BUT SHALL BE  
REMOVED. SEE EDITED ORIGINAL DESIGN DOCUMENT.

THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN  
OBTAINED BY ROGER CINELLI OF THE FIRM ROGER CINELLI & ASSOCIATES INC. I FURTHER  
SUBMIT THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS  
AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION  
IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND  
INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS  
PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT  
VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SINCERELY,

*Roger Cinelli*  
ROGER CINELLI, ARCHITECT

12/8/14

DATE

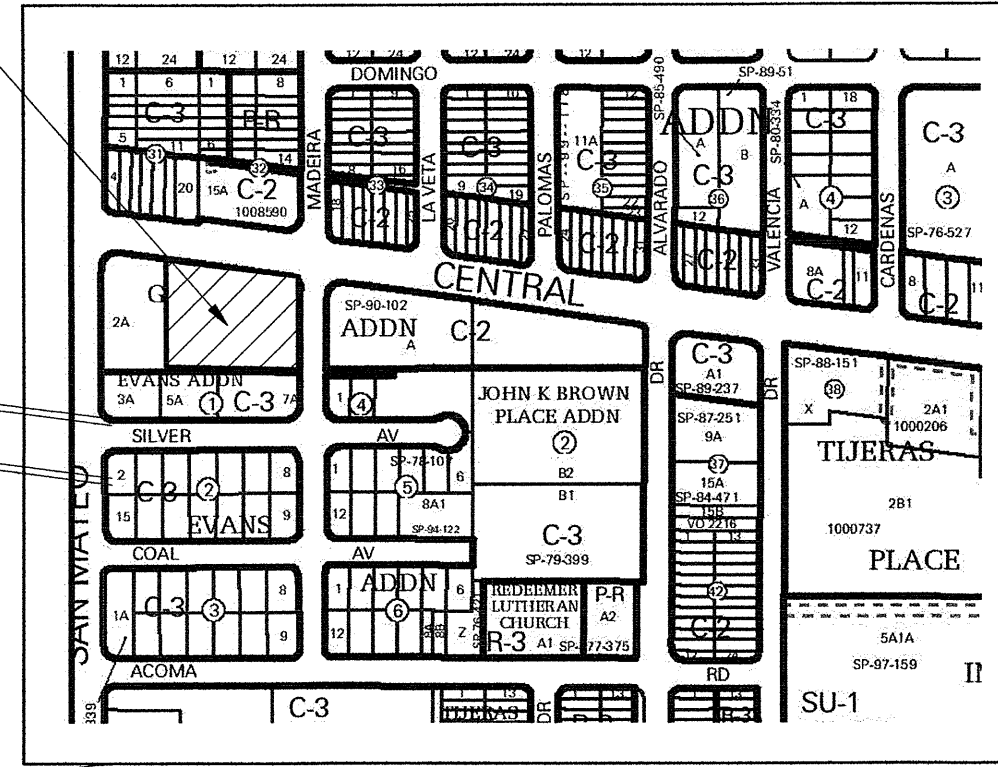


12/8/14



**PROJECT LOCATION**  
**5400 CENTRAL AVE. S.E.**

LEGAL DESCRIPTION:  
LOT 3-A, BLOCK 1, GILLETTE ADDITION,  
ALBUQUERQUE, NEW MEXICO, 1.6182 A.



**TCL NOTES**

1. LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
2. ALL INTERNAL SIDEWALKS ARE CONCRETE
3. REPLACE OR REPAIR EXISTING ABUTTING PUBLIC SIDEWALKS, CURB, GUTTER AND DROP INLETS WHICH ARE CRACKED OR PRESENT HAZARDOUS PEDESTRIAN CONDITIONS
4. BUILDING ENTRANCE AND ENTRY AWNING ABOVE
5. CONFORM TO ALL COA STD SPECIFICATIONS, CURRENT ISSUE, FOR ALL SIDEWALK AND PAVING ITEMS
6. ALL RAMPS SHALL BE ADA COMPLIANT

**VICINITY PLAN MAP**

Scale: 3/8" = 1'-0"

**SHEET KEYNOTES C103**

1. CONSTRUCT 36' WIDE VALLEY GUTTER DRIVEPAD PER COA STD DWG NO. 2426 W/ ADA RAMPS & TRUNCATED DOMES
2. CONSTRUCT 26'-0" WIDE ADA COMPLIANT DRIVEPAD PER COA STD DWG 2425 - SECTION E-E
3. MOUNTABLE CURB - ROLL TYPE - SUITABLE FOR REFUSE TRUCK AND SERVICE ACCESS PER COA STD DWG NO. 2415A - PROVIDE 6" THICK CONCRETE SIDEWALK - HATCHED AREA
4. STD CURB TO ROLL CURB TRANSITION - 1 IN 12 MAXIMUM SLOPE
5. UNI-DIRECTIONAL RAMP WITH TRUNCATED DOME DETECTABLE WARNING - SEE COA STD #2425
6. TYPICAL 11' RADIUS CLEAR SIGHT TRIANGLE - NO OBSTACLE HIGHER THAN 3' FROM FLOWLINE
7. 10% SIDE SLOPE - TYPICAL
8. 2% SLOPE - FIRST 3'-0" OF DRIVEPAD
9. CURB RAMP WITH FLARED SIDES - 1 IN 12 SLOPE
10. REFUSE ENCLOSURE W/ GATES, PEDESTRIAN DOOR AND DRAINAGE GRATE
11. 3" HOT MIX ASPHALTIC CONCRETE OVER 6" COMPACTED BASE COURSE
12. EXISTING MULTI - DIRECTIONAL SIDEWALK RAMP
13. ADA COMPLIANT UNI DIRECTIONAL RAMP AND 5' LANDING - 1 IN 12 SLOPE - SEE COA STD #2425
14. 6' WIDE HATCHED PEDESTRIAN CROSSING YELLOW TRAFFIC PAINT ON ASPHALT
15. CLEAR SIGHT TRIANGLE - UNOBSTRUCTED VISION BETWEEN THREE FEET AND EIGHT FEET ABOVE GUTTER FLOWLINE
16. REMOVE EXISTING DRIVEPAD - CONSTRUCT NEW 6' WIDE SIDEWALK, STANDARD CURB & GUTTER PER COA STD DWG NO. 2415A & 2430
17. MULTI-DIRECTIONAL SIDEWALK RAMP - 1 IN 12 SLOPE - LANDING ON PROPERTY, SUBMIT PUBLIC SIDEWALK EASEMENT DOCUMENT PRIOR TO CERTIFICATE OF OCCUPANCY - ADA COMPLIANT

**PARKING CALCULATIONS**

LEGAL DESCRIPTION: LOT 3-A, BLOCK 1, GILLETTE ADDITION, ALBUQUERQUE, NEW MEXICO, 1.6182 A.

ADDRESS: 5400 CENTRAL AVENUE, ALBUQUERQUE, NEW MEXICO

LAND USE: RETAIL STRIP CENTER WARM SHELL

**PARKING CALCULATION:**

TOTAL NET LEASABLE AREA = 18,924 SQUARE FEET  
NET LEASABLE AREA (CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-1(A)27)

FIRST 15,000 SF:  
ONE SPACE / 200 SF  
15,000 SF / 200 = 75 PARKING SPACES

NEXT 45,000 SF:  
ONE SPACE / 250 SF  
3,924 SF / 250 = 16 PARKING SPACES

TOTAL PARKING SPACES = 91 PARKING SPACES

REQUIRED PARKING REDUCTIONS (CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-1(E)(6)(a)1 - BUS TRANSIT ROUTE 10% REDUCTION)

PARKING AFTER REDUCTION = 90% X 91 SPACES = 82 PARKING SPACES REQUIRED

PARKING PROVIDED:  
STANDARD 8'-6" X 18'-0" SPACES 53 SPACES  
HANDICAP 8'-6" X 18'-0" SPACES 3 SPACES  
HC VAN 8'-6" X 18'-0" SPACE 1 SPACE  
COMPACT SPACES (22%) 18 SPACES  
QUEUING LANE 8'-6" X 22'-0" SPACES 7 SPACES

82 PARKING SPACES PROVIDED - COMPLIES

MOTORCYCLE PARKING REQUIRED:  
82 PARKING SPACES REQUIRED = (3) MOTORCYCLE SPACES REQUIRED  
(3) MOTORCYCLE SPACES PROVIDED - COMPLIES

HANDICAPPED PARKING SPACES:  
82 PARKING SPACES REQUIRED = (4) ACCESSIBLE SPACES REQUIRED  
(3) ACCESSIBLE SPACES PROVIDED - COMPLIES

BICYCLE SPACES REQUIRED:  
82 PARKING SPACES / 20 = (4) REQUIRED BIKE RACKS  
= (4) BIKE SPACES PROVIDED - COMPLIES

**SHEET KEYNOTES C103**

18. 12' HIGH PAINTED LETTERS ON PAVING
19. POLE MOUNTED SIGNAGE "DRIVE THROUGH ENTRANCE"
20. POLE MOUNTED SIGNAGE "ONE WAY DO NOT ENTER"
21. STOPPING DISTANCE TRIANGLE - BASED ON 50 MPH EASTBOUND OUTSIDE LANE
22. POLE MOUNTED HANDICAP PARKING SIGNAGE - SEE DETAIL
23. HANDICAP PARKING, AISLE AND CONCRETE BUMPERS - LESS THAN 2% SLOPE, SEE CIVIL
24. DIRECTIONAL STRIPING ON PAVEMENT
25. 4' X 8' MOTORCYCLE PARKING SPACE
26. SIGNAGE "MOTORCYCLE PARKING"
27. BICYCLE SPACES (2 BICYCLES)
28. LANDSCAPE AREA
29. RED PAINTED FIRE LANE W/ CURB NOTIFICATION AS PER NFC
30. BUS STOP SHELTER PERMANENT EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE, RECORDED IN BOOK D-181A, PAGE 890, AS DOCUMENT NO. 2005082442.3
31. EXISTING CONCRETE DRIVE TO REMAIN
32. COA STD STOP SIGN
33. SIDEWALK CULVERT WITH DIAMOND PLATE COVER
34. EXISTING POLE MOUNTED SIGN - TO BE RELOCATED
35. STOPPING DISTANCE TRIANGLE BASED ON 50 MPH WESTBOUND INSIDE LANE
36. POWER POLE TO BE REMOVED
37. 6' WIDE CONCRETE SIDEWALK TO BUILDING ENTRANCE
38. EXISTING 6'-6" WIDE PUBLIC SIDEWALK
39. EXISTING 5' PUBLIC SIDEWALK
40. EXISTING 6' WIDE SIDEWALK - PROVIDE SMOOTH TRANSITION TO 4' NEW SW
41. EXISTING DROP INLET TO REMAIN
42. EXISTING 16' WIDE PUBLIC UTILITY EASEMENT
43. SEE EMAIL ON FILE RE: ADJACENT PROPERTY OWNER'S APPROVAL FOR INSTALLATION OF SIDEWALK AND ROLLED CURB - 123 MADEIRA SE AND 5315 SILVER SE RESPECTIVELY
44. TRANSITION HEADER CURB TO ZERO AT 3' OFFSET
45. EXISTING POWER POLES TO BE RELOCATED
46. PAINTED PAVEMENT STOP BAR - INSTALL SOUTH OF PEDESTRIAN CROSSWALK
47. CONCRETE BUMPERS @ 6' WIDE SIDEWALK
48. 6' HIGH WROUGHT IRON FENCE

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for informational only and not part of approval. Separate DRG/Permit Approval and Work Order required.

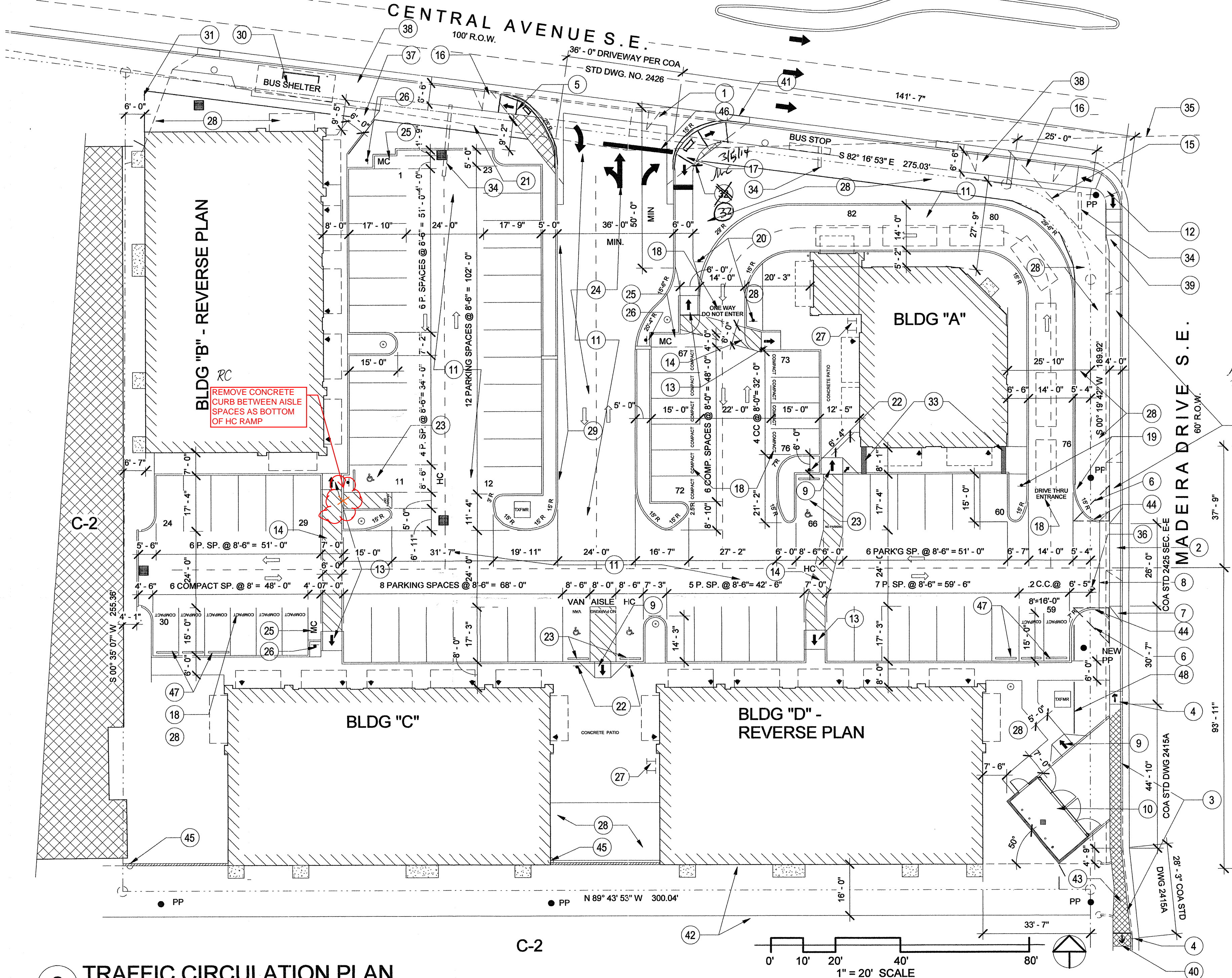
**Cinelli** / Roger Cinelli & Assoc.  
ARCHITECTS  
2418 Manuel Torres Lane N.W.  
Albuquerque, New Mexico 87107  
(505) 243-8211

PROJECT TITLE:  
**RETAIL SHOPPING CENTER**  
**SANTOSH MODY**  
**5400 CENTRAL AVE SE**  
**ALBUQUERQUE, NEW MEXICO**

DRAWING TITLE:  
**TRAFFIC CIRCULATION PLAN**

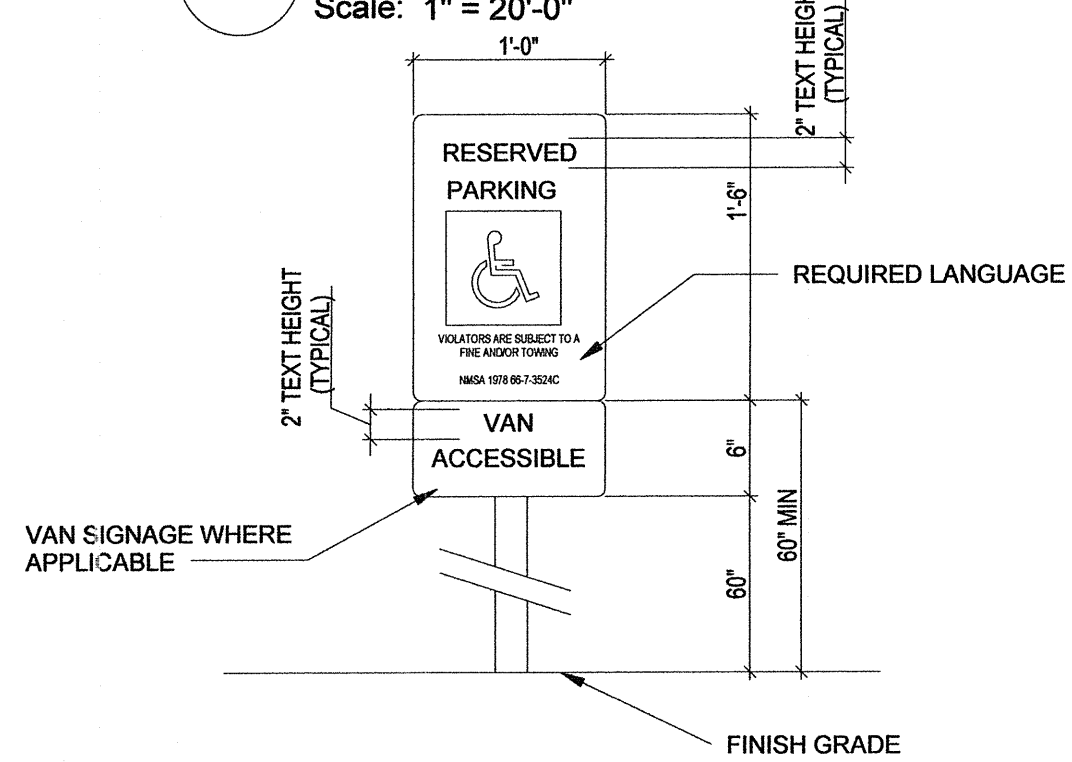
SEAL:   
DATE: MARCH 2014  
PROJECT NO.: MODS  
DRAWING NO.: **C103**  
3/1/14

TRAFFIC CIRCULATION LAYOUT  
APPROVED  
3/1/14  
Signed:



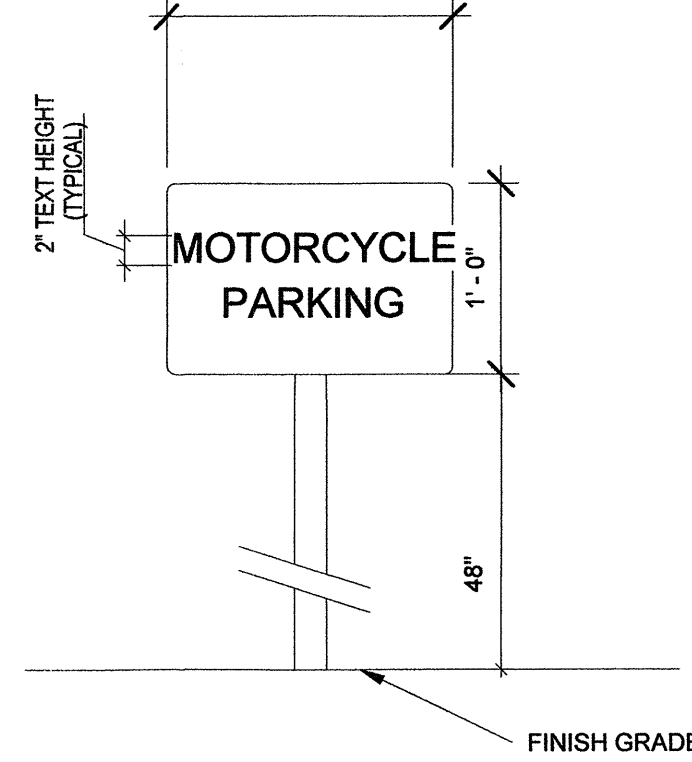
**TRAFFIC CIRCULATION PLAN**

Scale: 1" = 20'-0"



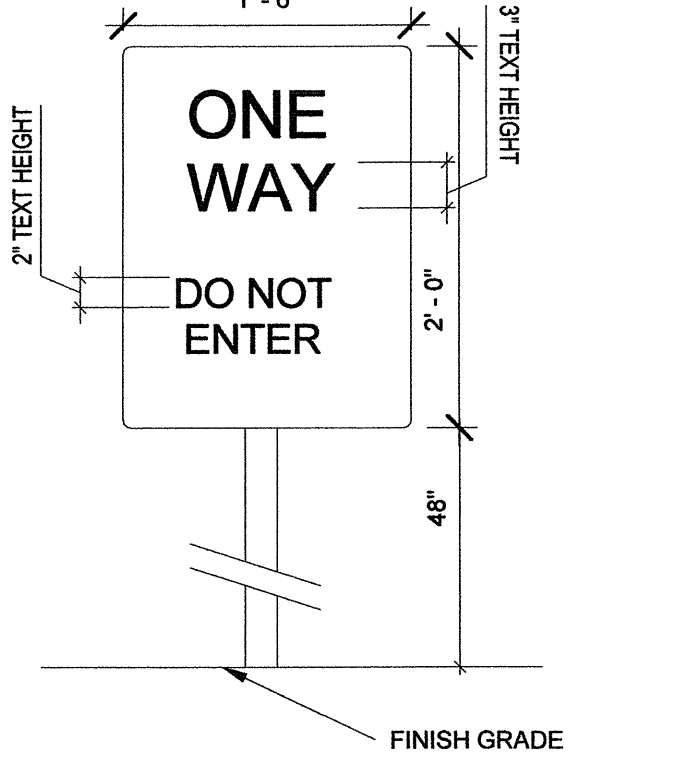
**HANDICAP PARKING SIGN**

Scale: 1" = 1'-0"



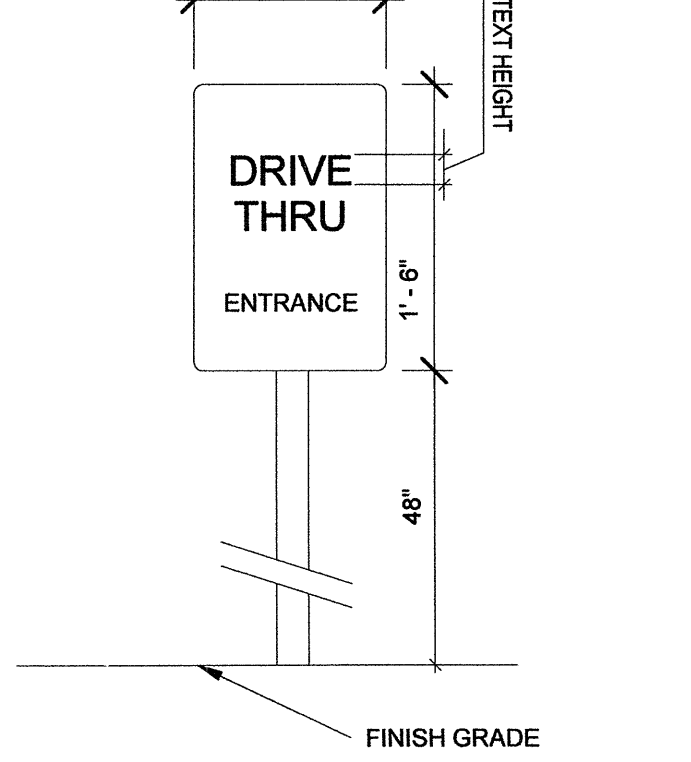
**MOTORCYCLE PARKING SIGN**

Scale: 1" = 1'-0"



**DO NOT ENTER SIGN**

Scale: 1" = 1'-0"



**DRIVE THROUGH SIGN**

Scale: 1" = 1'-0"



## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2012)

PROJECT TITLE: RETAIL STRIP CENTER ZONE MAP: K182  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 3-A, BL 1, EVANS ADDITION  
 CITY ADDRESS: 5400 CENTRAL AVE SE.

ENGINEERING FIRM: SBS CONSTR. & ENGIN. LLC CONTACT: SHAWN  
 ADDRESS: PO BOX 10264 PHONE: 804-5013  
 CITY, STATE: ABQ, NM ZIP CODE: \_\_\_\_\_  
 EMAIL: \_\_\_\_\_

OWNER: SANTOSH MOODY CONTACT: SANTOSH  
 ADDRESS: 5817 SIGNAL AVE NE PHONE: 440-5857  
 CITY, STATE: ABQ, NM ZIP CODE: \_\_\_\_\_

ARCHITECT: ROGER CINELLI CONTACT: ROGER  
 ADDRESS: 2418 MANUEL TORRES LN NW PHONE: 243-8211  
 CITY, STATE: ABQ, NM ZIP CODE: 87107  
 EMAIL: rcinelli@q.com

SURVEYOR: HARRIS SURVEYING CONTACT: TONY  
 ADDRESS: 2412 MONROE NE PHONE: 889-8050  
 CITY, STATE: ABQ ZIP CODE: \_\_\_\_\_

CONTRACTOR: KLINGER CONSTR. CONTACT: MARK  
 ADDRESS: 8701 WASHINGTON NE PHONE: 822-9990  
 CITY, STATE: ABQ ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☒ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ OTHER (SPECIFY) SO-19 \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 12/9/14 BY: Roger Cinelli

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.