

# CITY OF ALBUQUERQUE



October 29, 2020

Roger Cinelli, RA  
Cinelli Architects  
2418 Manuel Torres Ln. NW  
Albuquerque, NM 87107

**Re: Apartments for Ahmet Tiryaki  
5550 Zia Rd NE  
30-Day Temporary Certificate of Occupancy  
Transportation Development Final Inspection  
Engineer's/Architect's Stamp dated 1-9-18 (K18D105)  
Certification dated 10-20-2020**

Dear Mr. Cinelli,

Based upon the information provided in your submittal received 10-22-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please remove security fence, construction debris and materials from site.

Once these corrections are complete, email pictures showing the changes to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov), and [epgomez@cabq.gov](mailto:epgomez@cabq.gov) for release of Final CO.

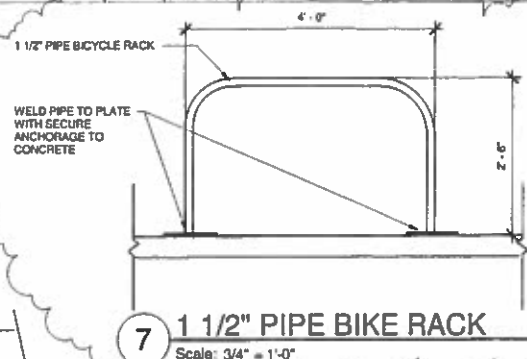
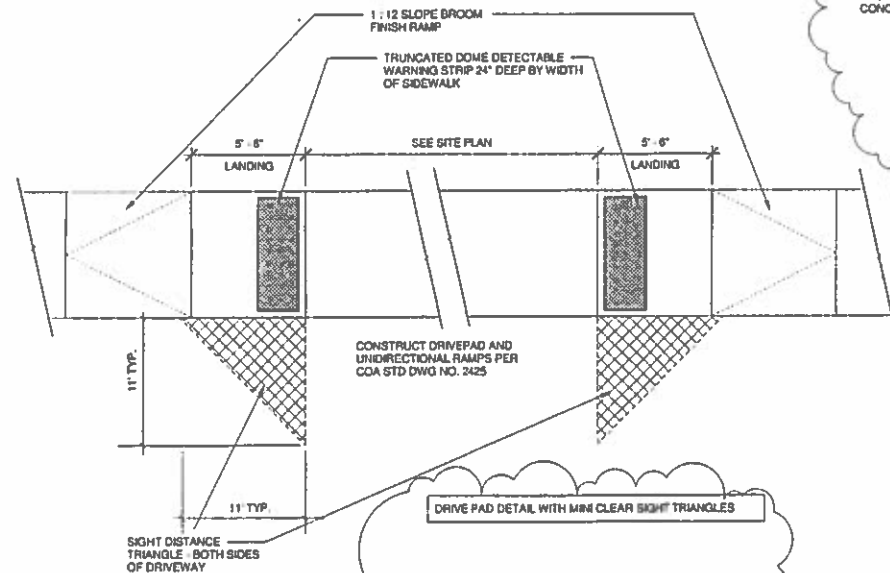
If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File

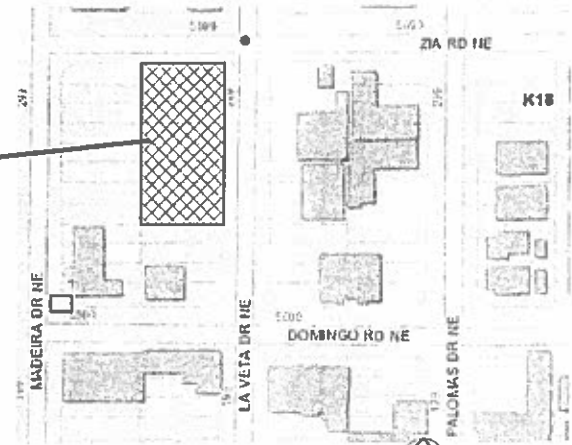
## TRAFFIC CONTROL LAYOUT LEGEND



## BICYCLE RACK REQUIREMENTS

1. RACK SHALL BE A MINIMUM 30" TALL AND 18" WIDE
2. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMBINATION RACKS ARE NOT ALLOWED.
3. BICYCLE RACK SHALL SUPPORT BICYCLE IN AN UPRIGHT POSITION
4. BICYCLE RACK SHALL ACCOMMODATE VARIOUS BICYCLE FRAME SIZES AND STYLES
5. EACH BICYCLE PARKING SPACE SHALL BE ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE
6. BICYCLE RACK SHALL BE STURDY AND ANCHORED TO CONCRETE PAD
7. BICYCLE PARKING SPACES SHALL BE 6' X 2' WITH 1 FOOT CLEAR ZONE ALL AROUND

5550 ZIA RD N.E.



## TCL DESIGN CRITERIA

APPLICABLE CODES: 2015 IBC, 2017 IBC, 2015 UMC, 2015 UPC, 2017 NEC, 2015 IRC

ADDRESS: 5550 ZIA ROAD N.E., ALBUQUERQUE, NEW MEXICO

ZONE ATLAS PAGE: K-18-2

LEGAL DESCRIPTION: LOT 13A, BLOCK 27, TIERRAS PLACAS

SEE DOC# 201904482 REC 10/4/2019

ALLOWABLE AREA:

TABLE 506.2 (2015 IBC) - TYPE VB - ALLOWABLE AREA = 7000 PER STORY - 6,782 AND 5,952 < 7000 SF - COMPLIES

SEISMIC ZONE D

OFF STREET PARKING REQUIRED:

12 - 1 BATH APARTMENTS - 830 SF NET LEASABLE 1.5 SPACES PER UNIT REQUIRED PER 14-18-3-1(A) (24)(b) - (18) SPACES REQUIRED

OFF STREET PARKING PROVIDED:

18 OFF STREET PARKING SPACES PROVIDED - COMPLIES (1) HANDICAP VAN PARKING SPACE PROVIDED

MOTORCYCLE PARKING PER 14-18-3-1(C)(1):

(1) SPACE REQUIRED MC PARKING PROVIDED - (1) SPACE COMPLIES

REQUIRED BICYCLE PARKING:

12/2 = 6 BICYCLE PARKING SPACES REQUIRED 6 BICYCLE PARKING SPACES PROVIDED (2 PER BREEZEWAY) - COMPLIES

BICYCLE PARKING PROVIDED AS PER TABLE 5-5-5.100: 3 BICYCLE PARKING SPACES REQUIRED 3 BICYCLE PARKING SPACES PROVIDED - COMPLIES

MOTORCYCLE PARKING:

1 MOTORCYCLE SPACE REQUIRED 1 MOTORCYCLE SPACE PROVIDED - COMPLIES

HEATED AREA:

TWO BR UNIT LOWER LEVEL HEATED AREA = 6 X 875 = 5,250 SF

TWO BR UNIT UPPER LEVEL HEATED AREA = 6 X 875 = 5,250 SF

TOTAL TWO BR UNIT HEATED AREA = 5,250 + 5,250 = 10,500 SF HEATED AREA

BUILDING AREA:

TWELFLEX LOWER LEVEL BUILDING AREA INCLUDING BREEZEWAYS = 6 X 952 = 5,712 SF + 1050 SF (BREEZEWAYS) = 6,762 SF

TWELFLEX UPPER LEVEL BUILDING AREA INCLUDING STAIR LANDINGS = 6 X 952 = 5,712 SF + 240 SF (STAIR LANDINGS) = 5,952 SF

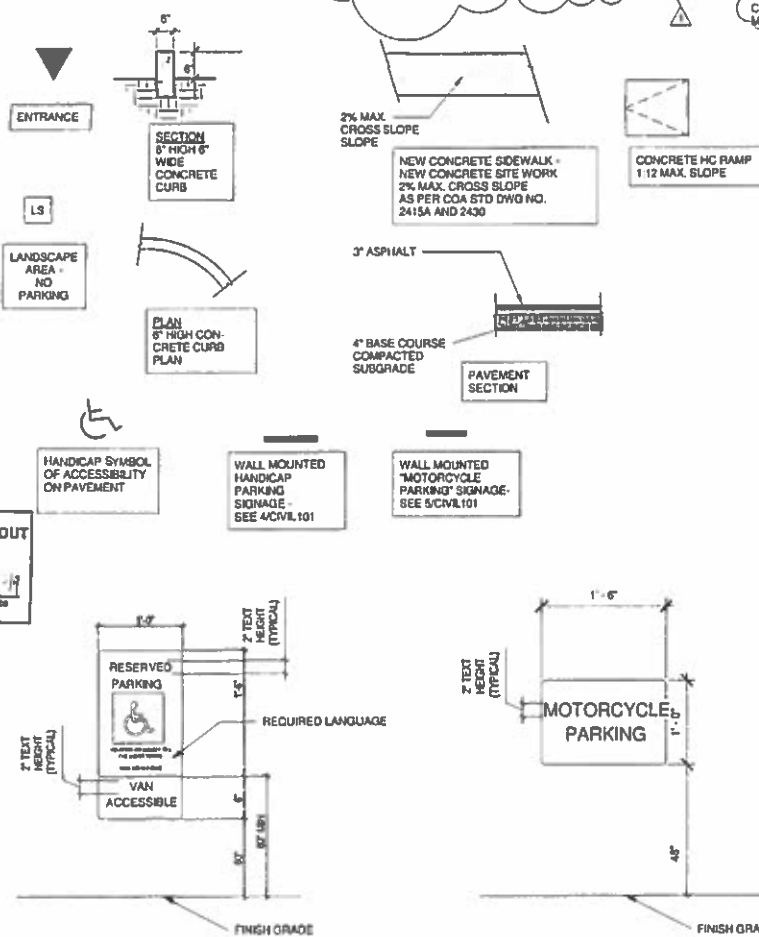
TOTAL TWELFLEX BUILDING = 6,762 + 5,952 = 12,714 SF FLOOR AREA

## TCL NOTES

1. ALL BROKEN OR CRACKED SIDEWALK SHALL BE REPLACED WITH SIDEWALK, CURB AND GUTTER AS PER COA STD DWG #2415A AND 2430
2. SEE TRAFFIC CONTROL PLAN LEGEND THIS SHEET FOR COA STANDARD DRIVEPAD, CURBS, SIDEWALKS AND PAVEMENT SECTION DETAIL
3. ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOME WARNING STRIPS.
4. ZIA RD N.E. IS NOT A MAJOR TRANSIT ROUTE. ZIA RD N.E. IS NOT A BUS TRANSIT ROUTE

## REVISION HISTORY

REV. 1 10/29/19



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

**Cinelli** / Roger Cinelli & Assoc.  
2418 Manuel Torres Lane N.W.  
Albuquerque, New Mexico 87107  
(505) 243-8211

PROJECT TITLE: 12 UNIT APARTMENT PROJECT FOR AHMET 5550 ZIA RD. N.E., ABQ. N.M.

DRAWING TITLE: TRAFFIC CONTROL LAYOUT

DATE: AUGUST 2019 PROJECT NO. TRF46  
DRAWING NO. CIVIL101

1/9/18  
REVISED 10/29/19

# Cinelli

## ARCHITECTS

OFFICE ( 505 ) 243-8211 FAX ( 505 ) 243-8196  
ROGER CINELLI & ASSOCIATES, INC. 2418 MANUEL TORRES LANE N.W. ALBUQUERQUE, NEW MEXICO 87107

10/21/20

CITY OF ALBUQUERQUE  
TRANSPORTATION DEVELOPMENT SECTION  
PLAZA DEL SOL BUILDING  
600 2<sup>ND</sup> STREET N.W.  
ALBUQUERQUE, NEW MEXICO 87102

RE: TWO STORY APARTMENT PROJECT WORKING DRAWINGS - (12) TWO BEDROOM, ONE BATH UNITS IN ONE 10,500+ SF APARTMENT BUILDING - 5550 ZIA RD. N.E., ALBUQUERQUE, NEW MEXICO - LOT 13A, BLOCK 27, TIJERAS PLACE, K-18-Z (WORK) - K18D105

DEAR SIRs,

I, ROGER CINELLI, NMRA 1102, OF THE FIRM, ROGER CINELLI & ASSOCIATES INC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN, APPROVAL LETTER DATED 11/1/2020

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON OCTOBER 21 2020.

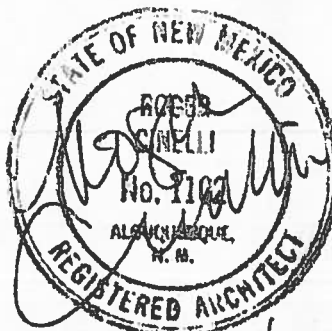
I FURTHER SUBMIT THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SINCERELY,

  
ROGER CINELLI, ARCHITECT

10/21/2020  
DATE



10/20/2020