

CITY OF ALBUQUERQUE



November 5, 2020

Roger Cinelli, RA
Cinelli Architects
2418 Manuel Torres Ln. NW
Albuquerque, NM 87107

**Re: Apartments for Ahmet Tiryaki
5550 Zia Rd NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 1-9-18 (K18D105)
Certification dated 10-20-2020**

Dear Mr. Cinelli,

Based upon the information provided in your submittal received 11-3-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

Jeanne Wolfenbarger

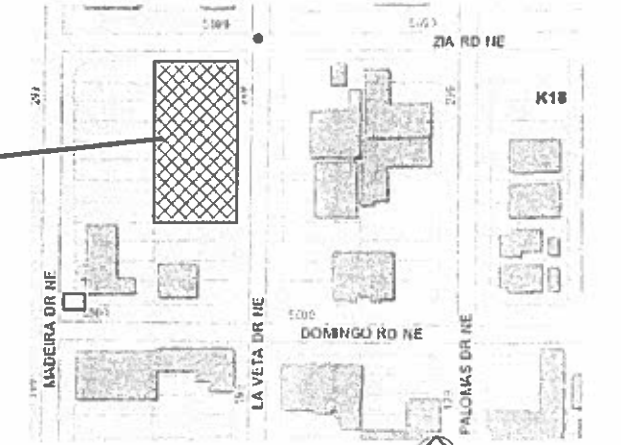
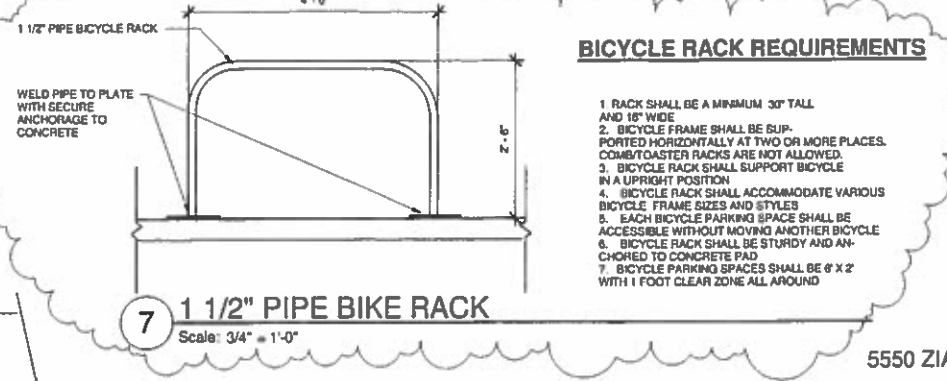
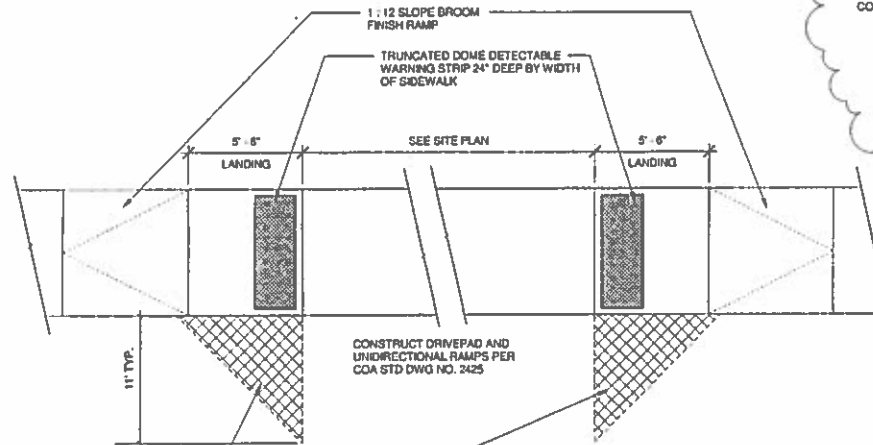
www.cabq.gov

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

TRAFFIC CONTROL LAYOUT LEGEND



K-18-2 VICINITY MAP - NTS

TCL DESIGN CRITERIA

APPLICABLE CODES: 2015 IBC, 2017 IBC, 2015 UMC, 2015 UPC, 2017 NEC, 2015 IRC
 ADDRESS: 5550 ZIA ROAD N.E., ALBUQUERQUE, NEW MEXICO
 ZONE ATLAS PAGE: K-18-2
 LEGAL DESCRIPTION: LOT 13A, BLOCK 27, TUERAS PLACE
 SEE DOC# 201904882 REC 10/4/2019

ALLOWABLE AREA:
 TABLE 506.2 (2015 IBC) - TYPE VB - ALLOWABLE AREA = 7000 SF PER STORY - 6,782 AND 5,952 < 7000 SF - COMPLIES

SEISMIC ZONE D

OFF STREET PARKING REQUIRED:
 12 - 1 BATH APARTMENTS 830 SF NET LEASABLE
 1.5 SPACES PER UNIT REQUIRED PER 14-18-3-1(A) (24)(b) - (18) SPACES REQUIRED

OFF STREET PARKING PROVIDED:
 18 OFF STREET PARKING SPACES PROVIDED - COMPLIES
 (1) HANDICAP VAN PARKING SPACE PROVIDED

MOTORCYCLE PARKING PER 14-18-3-1(C)(1):
 (1) SPACE REQUIRED
 MC PARKING PROVIDED - (1) SPACE COMPLIES

REQUIRED BICYCLE PARKING:
 12/2 = 6 BICYCLE PARKING SPACES REQUIRED
 6 BICYCLE PARKING SPACES PROVIDED (2 PER BREEZEWAY) - COMPLIES

BICYCLE PARKING PROVIDED AS PER TABLE 5-5-5.100:
 3 BICYCLE PARKING SPACES REQUIRED
 3 BICYCLE PARKING SPACES PROVIDED - COMPLIES

MOTORCYCLE PARKING:
 1 MOTORCYCLE SPACE REQUIRED
 1 MOTORCYCLE SPACE PROVIDED - COMPLIES

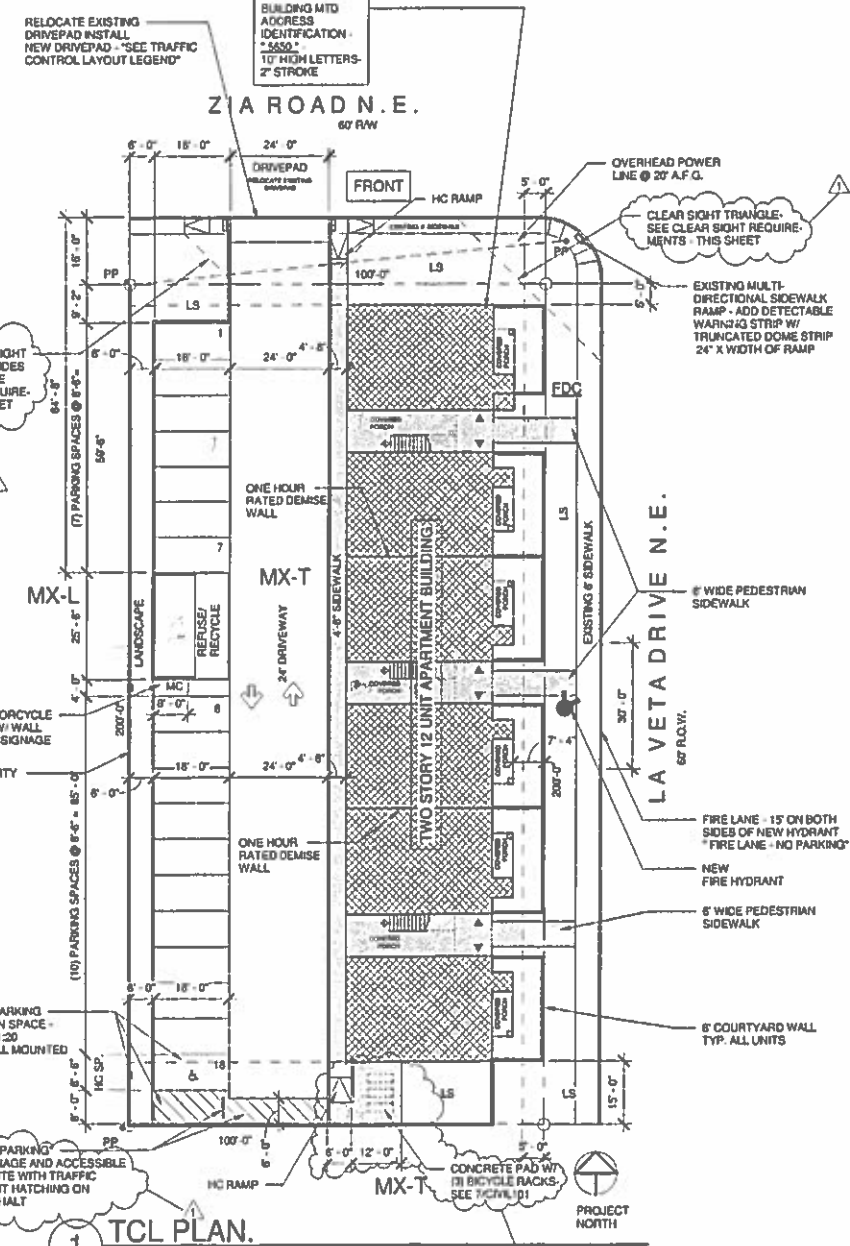
TYPICAL UNIT AREAS:
 TYPICAL TWO BR UNIT 875 SF HEATED
 TYP. UNIT STORAGE 22 SF UNHEATED
 TYP. COV. PORCH 55 SF
 952 SF

BUILDING HEIGHT:
 HEIGHT OF BUILDING TO MIDPOINT OF SLOPE ROOF < 26'

HEATED AREA:
 TWO BR UNIT LOWER LEVEL HEATED AREA = 6 X 875 = 5,250 SF
 TWO BR UNIT UPPER LEVEL HEATED AREA = 6 X 875 = 5,250 SF
 TOTAL TWO BR UNIT HEATED AREA = 5,250 + 5,250 = 10,500 SF HEATED AREA

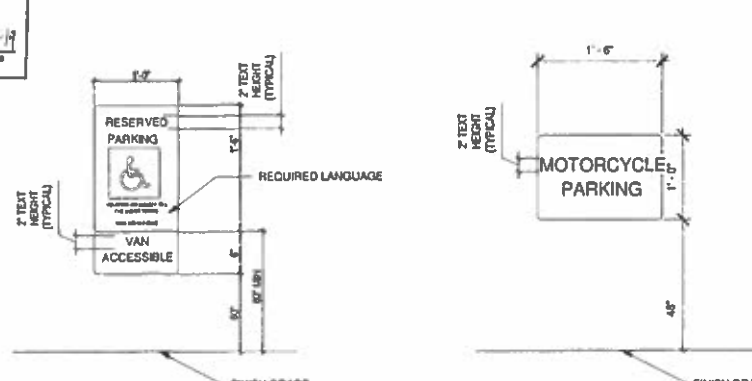
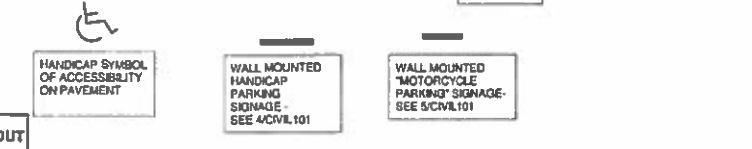
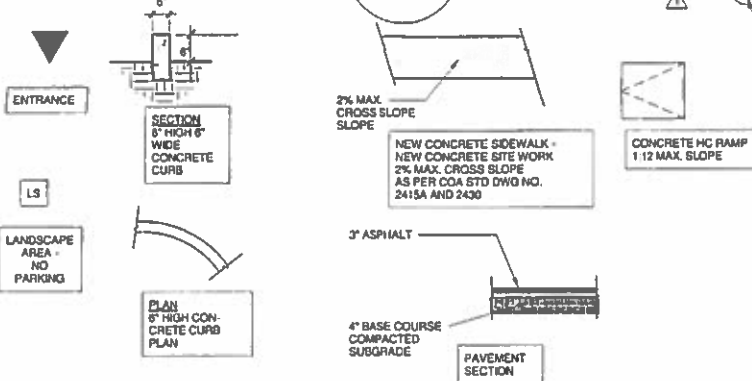
BUILDING AREA:
 TWELFLEX LOWER LEVEL BUILDING AREA INCLUDING BREEZEWAYS = 6 X 952 = 5,712 SF + 1050 SF (BREEZEWAYS) = 6,762 SF
 TWELFLEX UPPER LEVEL BUILDING AREA INCLUDING STAIR LANDINGS = 6 X 952 = 5,712 SF + 240 SF (STAIR LANDINGS) = 5,952 SF
 TOTAL TWELFLEX BUILDING = 6,762 + 5,952 = 11,790 SF FLOOR AREA

ZIA ROAD N.E.



TCL PLAN

Scale: 1" = 20'-0"



TCL NOTES

- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB AND GUTTER AS PER COA STD DWG #2415A AND 2430
- SEE TRAFFIC CONTROL PLAN LEGEND THIS SHEET FOR COA STANDARD DRIVEPAD, CURBS, SIDEWALKS AND PAVEMENT SECTION DETAIL
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOME WARNING STRIPS.
- ZIA RD N.E. IS NOT A MAJOR TRANSIT ROUTE. ZIA RD N.E. IS NOT A BUS TRANSIT ROUTE.

REVISION HISTORY

REV. 1 10/29/19

Cinelli / Roger Cinelli & Assoc.
 2418 Manuel Torres Lane N.W., Albuquerque, New Mexico 87107
 (505) 243-8211

PROJECT TITLE: 12 UNIT APARTMENT PROJECT FOR AHMET 5550 ZIA RD. N.E., ABQ. N.M.

DRAWING TITLE: TRAFFIC CONTROL LAYOUT

SEAL	DATE: AUGUST 2019	PROJECT NO.: TRY46
	DRAWING NO.	<h1>CIVIL101</h1>
	1/9/18	

TRAFFIC CIRCULATION LAYOUT APPROVED
 [Signature] 11-1-19

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Cinelli

ARCHITECTS

OFFICE (505) 243-8211 FAX (505) 243-8196
ROGER CINELLI & ASSOCIATES, INC. 2418 MANUEL TORRES LANE N.W. ALBUQUERQUE, NEW MEXICO 87107

10/21/20

CITY OF ALBUQUERQUE
TRANSPORTATION DEVELOPMENT SECTION
PLAZA DEL SOL BUILDING
600 2ND STREET N.W.
ALBUQUERQUE, NEW MEXICO 87102

RE: TWO STORY APARTMENT PROJECT WORKING DRAWINGS - (12) TWO BEDROOM, ONE BATH UNITS IN ONE 10,500+ SF APARTMENT BUILDING - 5550 ZIA RD. N.E., ALBUQUERQUE, NEW MEXICO - LOT 13A, BLOCK 27, TIJERAS PLACE, K-18-Z (WORK) - K18D105

DEAR SIRs,

I, ROGER CINELLI, NMRA 1102, OF THE FIRM, ROGER CINELLI & ASSOCIATES INC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN, APPROVAL LETTER DATED 11/1/2020

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON OCTOBER 21 2020.

I FURTHER SUBMIT THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SINCERELY,


ROGER CINELLI, ARCHITECT

10/21/2020
DATE



10/20/2020