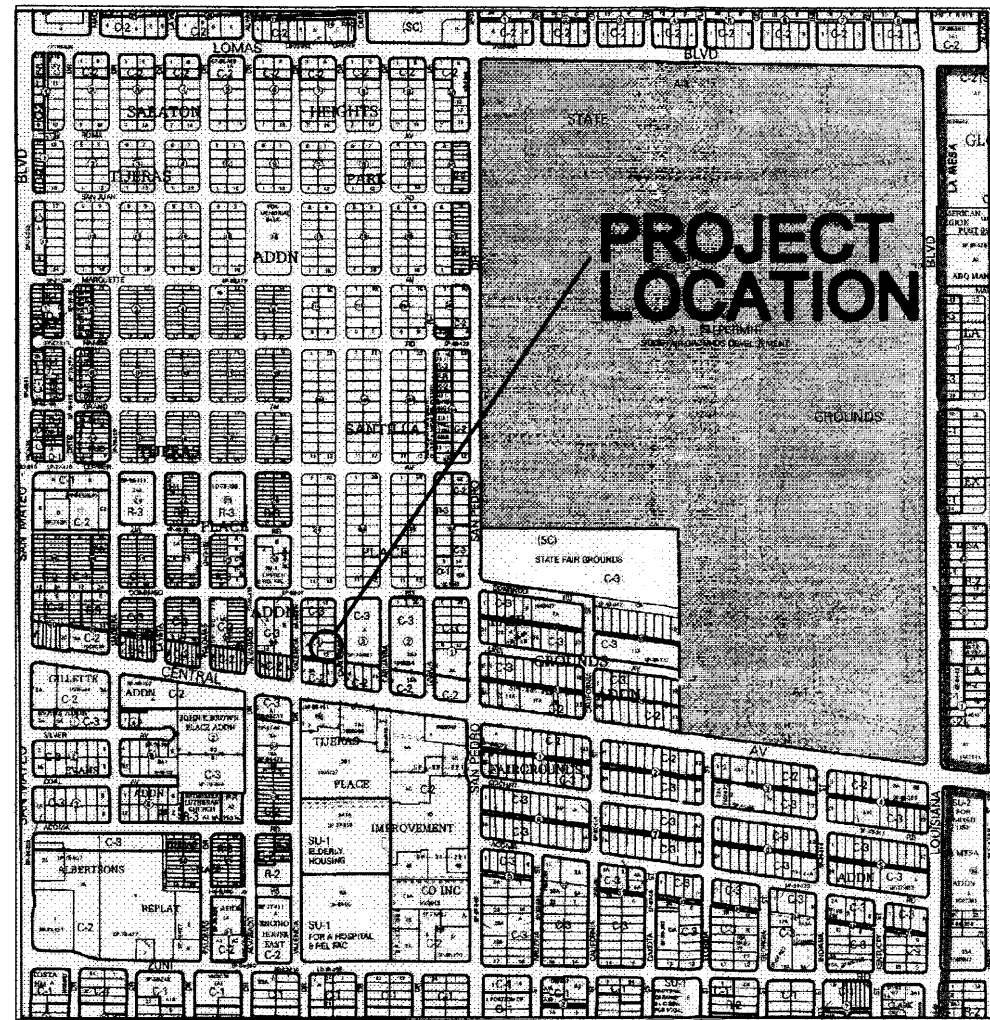


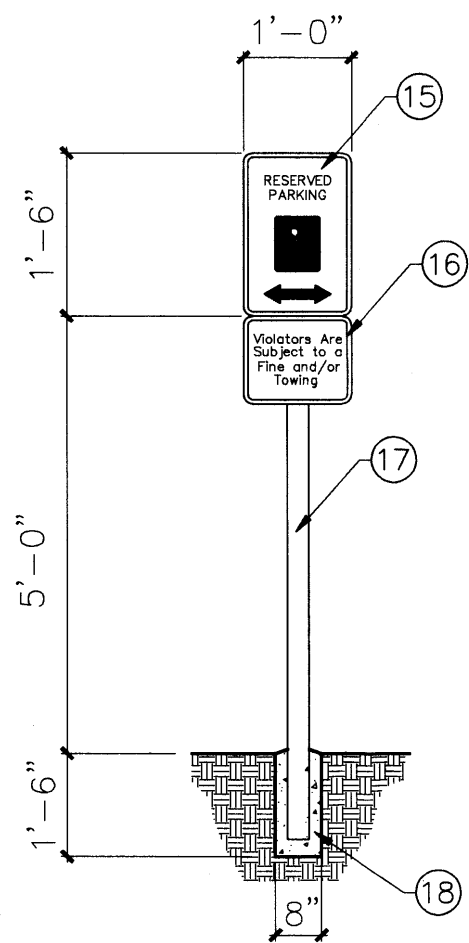
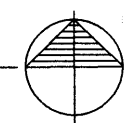
TRAFFIC CIRCULATION LAYOUT  
APPROVED  
10/22/15

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

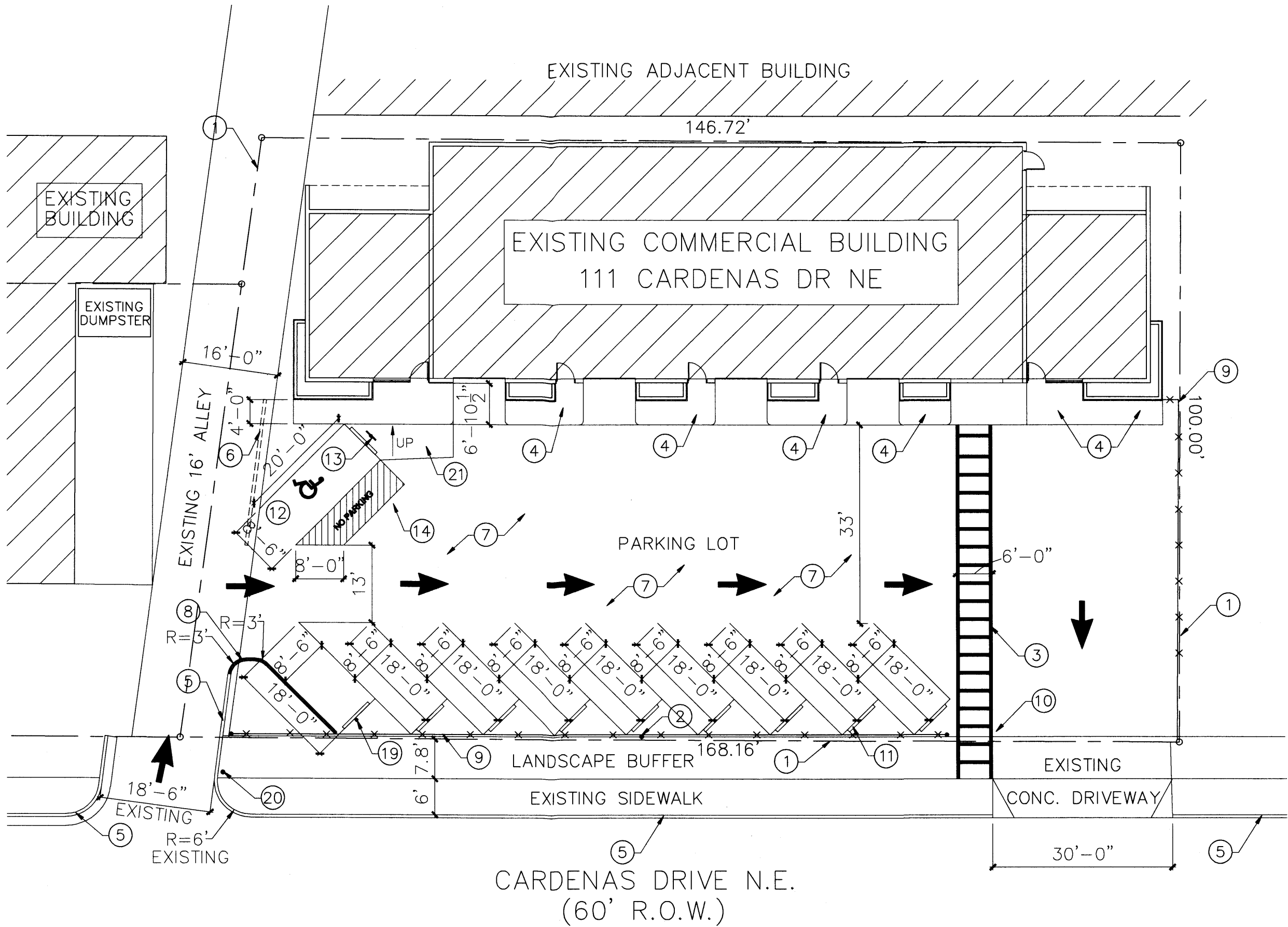


ZONE ATLAS PAGE K-18-Z

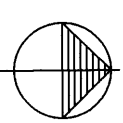
VICINITY MAP  
NOT TO SCALE



1 H.C. PARKING SIGN  
C1 NOT TO SCALE



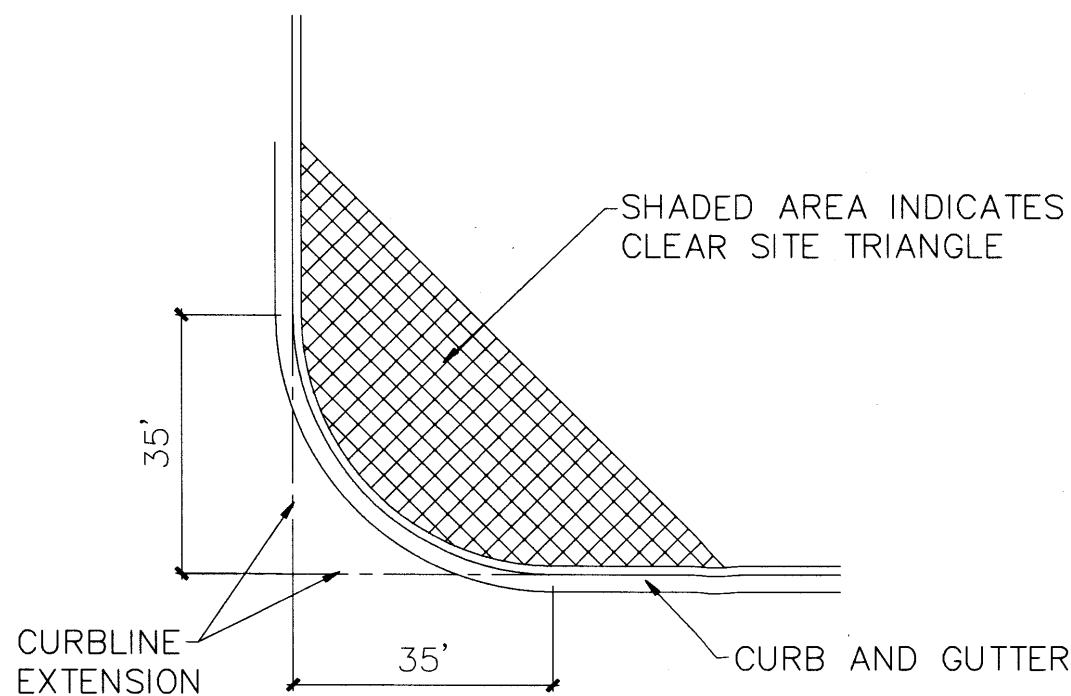
TRAFFIC CIRCULATION PLAN 111 CARDENAS DR NE  
1/16" = 1'-0"



A. PROJECT SCOPE:

FACADE RENOVATION

The scope of work consists of the addition of a new building facade to an existing building with an existing occupancy classification "B". The existing Occupancy "B" will remain as is. The building is currently in a shelled state. The existing parking lot will be re-paved with the existing grades to remain.



2 CLEAR SITE TRIANGLE @ INTERSECTIONS  
C1 NOT TO SCALE

NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTED.

LEGAL DESCRIPTION

Lots numbered Twelve (12), Thirteen (13), and Fourteen (14), in Block Numbered Four (4) of SANTILLA PLACE, an Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat of said addition, filed in the Office of the County Clerk Of Bernalillo County, New Mexico, on February 28, 1927.

KEYED NOTES:

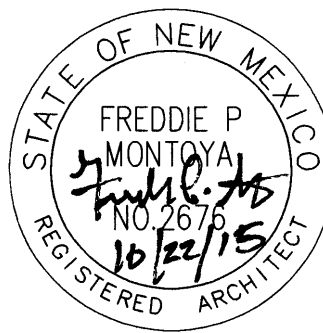
1. PROPERTY LINE.
2. EXISTING LIGHT POLE.
3. 6' WIDE HC ACCESSIBLE PEDESTRIAN PATHWAY. SIDEWALK TO BLDG.
4. 4" THICK, 3000 PSI CONCRETE SIDEWALK W/ 6X6-10/10 WWF.
5. EXISTING CONCRETE CURB.
6. REMOVE EXISTING CONCRETE CURB.
7. REMOVE EXISTING PAVEMENT AND INSTALL NEW PAVING. RETAIN EXISTING GRADES.
8. NEW 6" HIGH HEADER CURB.
9. 5' HIGH FENCE. 3" DIA. GALVANIZED STEEL POSTS @ 4'-0" O.C. WITH WOVEN WIRE MESH.
10. CANTILEVER GATE.
11. 6" HIGH X 6' LONG CONCRETE PARKING BUMPERS (TYPICAL).
12. HC PARKING SPACE.
13. HC PARKING SIGN. SEE DETAIL 1/C1.
14. STRIPED AREA WITH 12" HIGH X 2" WIDE TEST, "NO PARKING".
15. 12"x18" SIGN WITH THE INTERNATIONAL HANDICAPPED SYMBOL AND HANDICAPPED TEXT.
16. SIGN WITH THE FOLLOWING TEXT: Violators Are Subject to a Fine and/or Towing.
17. 2" DIA. GALVANIZED PIPE, PAINTED.
18. 8" DIA, 3000 PSI CONCRETE FOOTING. SLOPE TOP FOR DRAINAGE.
19. EXISTING BUSINESS SIGN.
20. EXISTING POWER POLE.
21. RAMP UP TO SIDEWALK. 1:12 SLOPE MAXIMUM. NO HIGHER THAN 6".

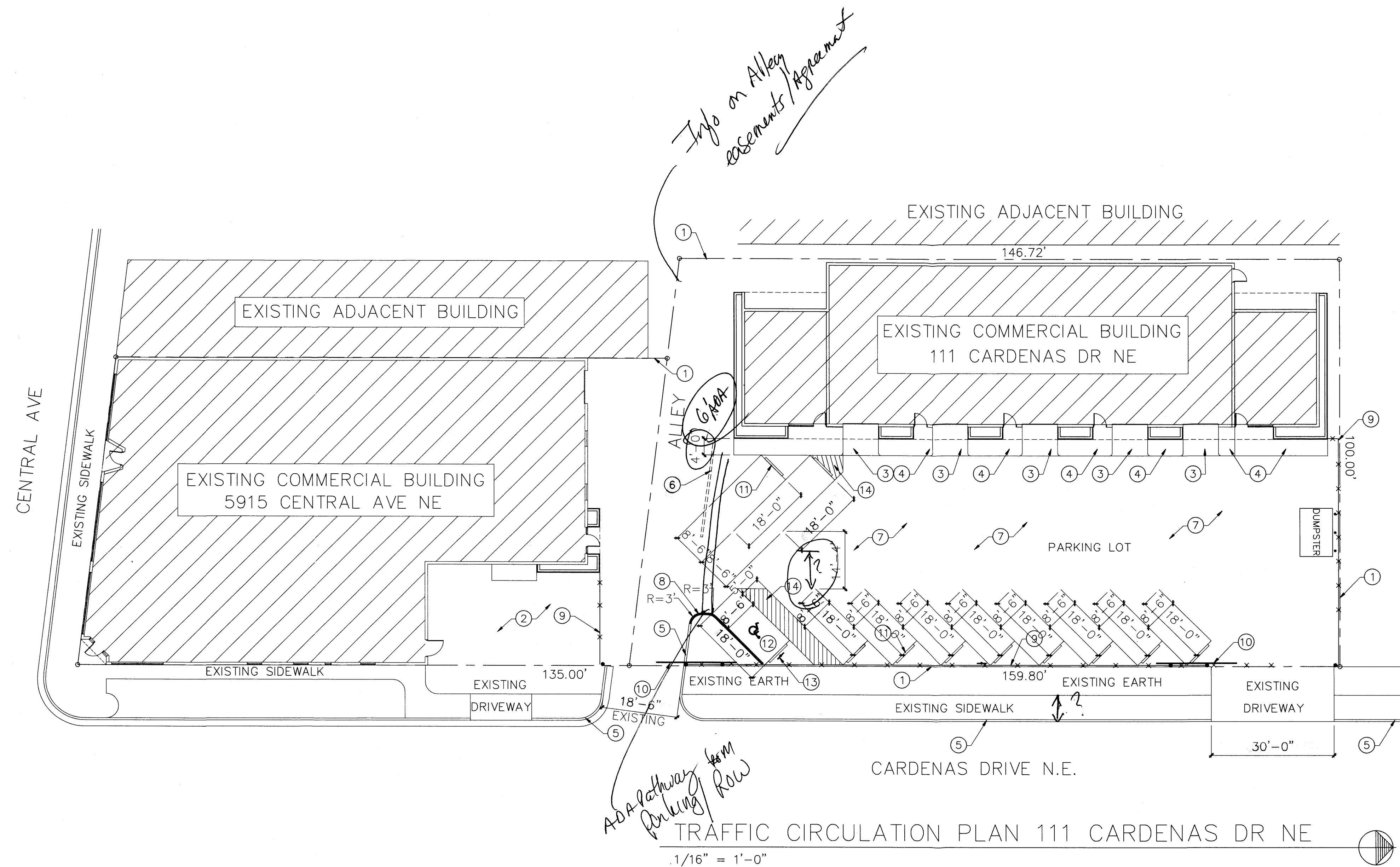
REQUIRED PARKING:

CITY OF ALBUQUERQUE ZONING CODE

SECTION 14-16-3-1 OFF STREET PARKING REGULATIONS, PARAGRAPH ONE STATES, "In zones where off-street parking is required, off-street parking shall be provided for all uses and buildings, except buildings constructed before October 22, 1965 need apply such parking only to the extent on-premise ground space is available."

This building was constructed prior to this date. Therefore, 10 total parking spaces have been provided, including one HC Parking Space.





## LEGAL DESCRIPTION

Lots numbered Twelve (12), Thirteen (13), and Fourteen (14), in Block Numbered Four (4) of SANTILLA PLACE, an Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat of said addition, filed in the Office of the County Clerk Of Bernalillo County, New Mexico, on February 28, 1927.

## KEYED NOTES:

1. PROPERTY LINE.
2. EXISTING EARTH PARKING LOT.
3. PAVED RAMP.
4. 4" THICK, 3000 PSI CONCRETE SIDEWALK W/ 6X6-10/10 WWF.
5. EXISTING CONCRETE CURB.
6. REMOVE EXISTING CONCRETE CURB.
7. REMOVE EXISTING PAVEMENT AND INSTALL NEW PAVING. RETAIN EXISTING GRADES.
8. EXTEND EXISTING CURB WITH NEW CURB AS INDICATED.
9. 5' HIGH FENCE. 3" DIA. GALVANIZED STEEL POSTS @ 4'-0" O.C. WITH WOVEN WIRE MESH.
10. CANTILEVER GATE.
11. 6' LONG CONCRETE PARKING BUMPERS (TYPICAL).
12. HC PARKING SPACE.
13. HC PARKING SIGN.
14. STRIPED AREA.

- Vicinity Map
- Parking Calc
- ADA from Parking/ROW

