



**Planning Department
Transportation Development Services**

October 12, 2015

Freddie Montoya
2336 Sunshine Rd., SW
Albuquerque, NM 87105

**Re: A Façade Renovation
111 Cardenas NE
Traffic Circulation Layout**
Engineer's/Architect's Stamp dated 10-9-15 (K18-D106)

Dear Mr. Montoya,

Based upon the information provided in your submittal received 10-9-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. List the number of parking spaces required by the zoning code, as well as the proposed number of parking spaces.
3. Clarify the extents of the current phase.
4. Please identify all existing electrical and light poles that influence the parking and circulation on the site.
5. Identify all existing access easements and rights of way with dimensions.
6. Identify the right of way width, medians, curb cuts, and street widths on Cardenas Dr.
7. Please list the width and length for all parking spaces. Identify the distance between all angled parking spaces. Per DPM, there must be an 11 ft. drive isle between angled parking spaces.
8. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please show a detail of this signage.
9. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
10. Show all drive aisle widths and radii.

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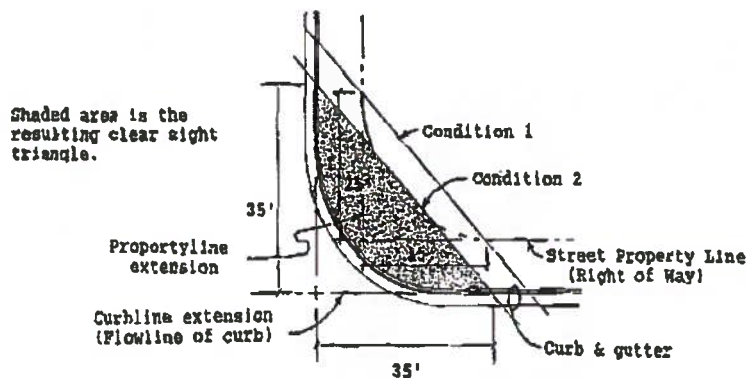
11. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet. Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger
12. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
13. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
14. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles.
15. Design delivery vehicle route needs to be shown.
16. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
17. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles. The drawing states that there is "existing earth", please clarify detail.
18. Please clarify how the site meets clear sight triangle requirements.
19. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please provide this detail on Cardenas Dr.

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20. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
21. Please include a copy of your shared access agreement with the adjacent property owner.

CITY OF ALBUQUERQUE



22. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
23. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

PO Box 1293

\gs via: email
C: CO Clerk, File

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New Mexico 87103

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Electronic copy - plndrs@cabq.gov

Project Title: A Facade Renovation 111 Cardenas NE Building Permit #: T201592343 City Drainage #: K18D106
DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 111 Cardenas Drive NE

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: Coe and Petersen, LLC Contact: _____

Address: 2325 San Pedro Dr. NE Albuquerque, NM 87110

Phone#: 505-881-4529 Fax#: _____ E-mail: _____

Architect: Freddie Montoya Contact: Freddie Montoya

Address: 2336 Sunshine Rd. SW Albuquerque, NM 87105

Phone#: 505-203-4135 Fax#: _____ E-mail: freddiemontoya@hotmail.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 10/8/15 By: Freddie Montoya

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

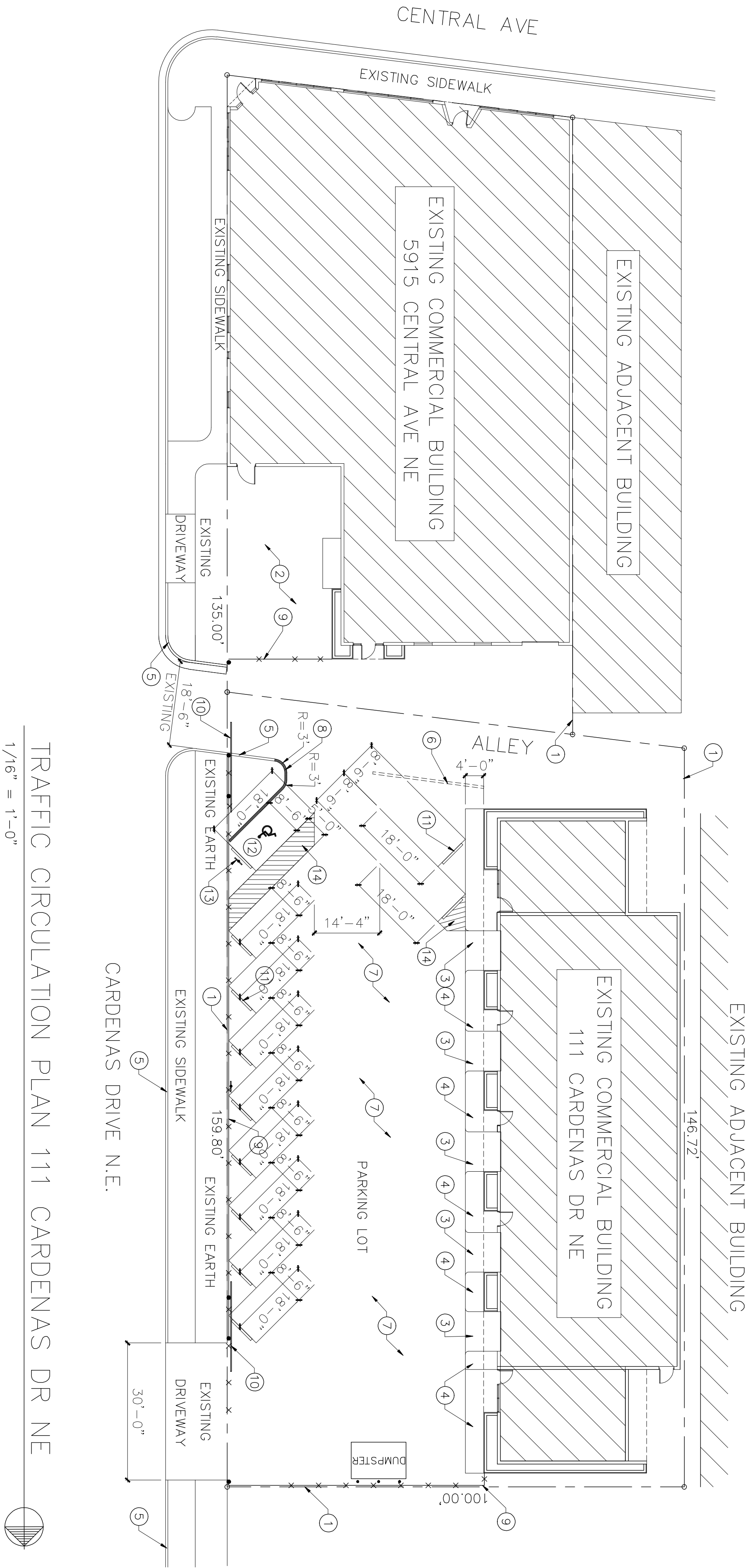
Rec'd
10/9/2015
[Signature]

LEGAL DESCRIPTION

Lots numbered Twelve (12), Thirteen (13), and Fourteen (14), in Block Numbered Four (4) of SANTILLA PLACE, an Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat of said addition, filed in the Office of the County Clerk Of Bernalillo County, New Mexico, on February 28, 1927.

KEYED NOTES:

- 1. PROPERTY LINE.
- 2. EXISTING EARTH PARKING LOT.
- 3. PAVED RAMP.
- 4. 4" THICK, 3000 PSI CONCRETE SIDEWALK W/ 6X6-10/10 WWF.
- 5. EXISTING CONCRETE CURB.
- 6. REMOVE EXISTING CONCRETE CURB.
- 7. REMOVE EXISTING PAVEMENT AND INSTALL NEW PAVING. RETAIN EXISTING GRADES.
- 8. EXTEND EXISTING CURB WITH NEW CURB AS INDICATED.
- 9. 5' HIGH FENCE, 3" DIA. GALVANIZED STEEL POSTS @ 4'-0" O.C. WITH WOVEN WIRE MESH.
- 10. CANTILEVER GATE.
- 11. 6' LONG CONCRETE PARKING BUMPERS (TYPICAL).
- 12. HC PARKING SPACE.
- 13. HC PARKING SIGN.
- 14. STRIPED AREA.



TRAFFIC CIRCULATION PLAN 111 CARDENAS DR NE
1/16" = 1'-0"

FACADE RENOVATION AT 111 CARDENAS DR NE

OCTOBER 8, 2015

