

CITY OF ALBUQUERQUE



April 23, 2018

Sergio Meza
Greer Stafford/SJCF Architecture, Inc.
1717 Louisiana Blvd NE
Albuquerque, NM 87110

Re: TLS Training Kitchen Addition
5601 Domingo Rd. NE
Traffic Circulation Layout
Architect's Stamp dated 04-19-18 (K18-D107)

Dear Mr. Meza,

The TCL submittal received 04-19-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Logan Patz
Senior Engineer, Planning Department
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

KBD107

Project Title: TLS Training Kitchen Addition Building Permit #: N/A Hydrology File #: N/A
DRB#: N/A EPC#: N/A Work Order#: N/A
Legal Description: 028LTS 9 & 10 & 11 & 12 & 22 & 23 & 24 BLK 28 TIJERAS PLACE ADDN
City Address: 5601 Domingo RD. NE, Albuquerque, NM 87108

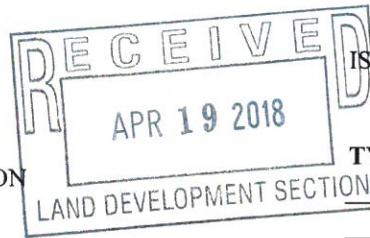
Applicant: Therapeutic Living Services (TLS) Contact: Jessica Forbes
Address: 5601 Domingo RD. NE, Albuquerque, NM 87108
Phone#: (505) 268-5295 Fax#: (505) 268-9967 E-mail: jforbes@tls-nm.org

Other Contact: Greer Stafford/SJCF Architecture, Inc. Contact: Sergio A. Meza
Address: _____
Phone#: (505) 821-0235 Fax#: (505) 821-0348 E-mail: smeza@greer-stafford.com

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION



IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☒ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 4/19/2018 By: _____

Digitally signed by Sergio
A. Meza
Date: 2018.04.19
10:43:47-06'00'

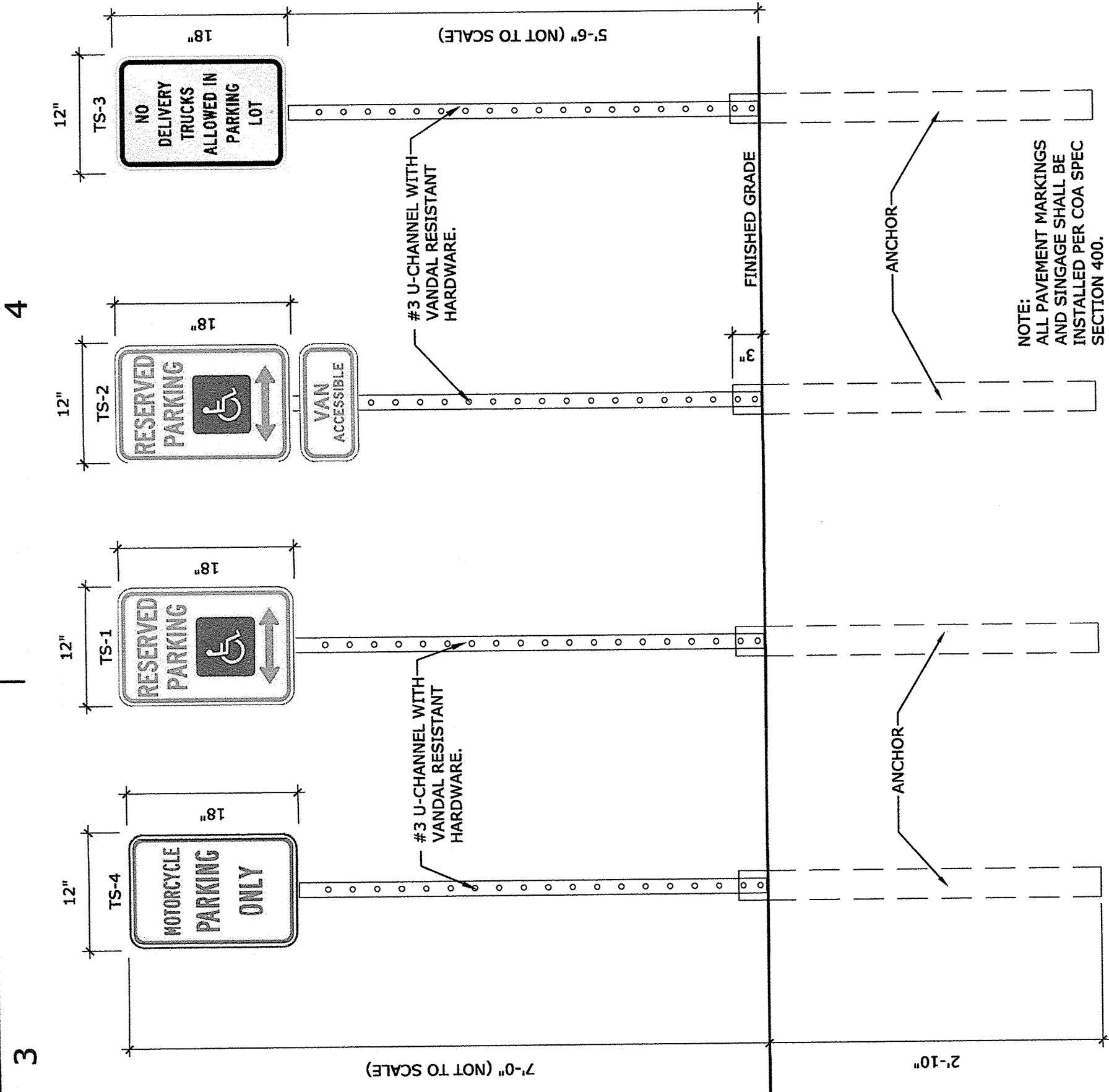
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



D1 VICINITY MAP
SCALE: NOT TO SCALE



KEYED NOTES:

1. PROPERTY LINE
2. EXISTING CURB CUT INTO EXISTING PARKING LOT.
3. EXISTING PILE CUT LOCATION TO REMAIN. PROTECT DURING CONSTRUCTION.
4. EXISTING CONCRETE WALK, CURB AND GUTTER TO REMAIN. PROTECT DURING CONSTRUCTION.
5. ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON THE WORK ORDER.
6. EXISTING SIDEWALK TO REMAIN.
7. EXISTING 6" HIGH METAL FENCE TO REMAIN.
8. NEW CONCRETE WALKSTOPS, TYPICAL.
9. NEW PAVEMENT MARKINGS, TYPICAL.
10. NEW PAVEMENT MARKERS, TYPICAL. PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER COA SPEC SECTION 400.
11. EXISTING AREA TO RECEIVE NEW LANDSCAPING.
12. NEW LANDSCAPING ISLAND.
13. NEW HEADER CURB.
14. NEW PAINTED TRAFFIC ARROWS. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER COA SPEC SECTION 400.
15. NEW ACCESSIBLE PARKING SIGN, TYPE TS-1. REFER TO D37CL-01. 12" X 18" SIGNS SHALL CONFORM TO THE STANDARDS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
16. NEW TRUCKS ALLOWED "TS-3 SIGN, REFER TO D37CL-01. 12" X 18" SIGNS SHALL CONFORM TO THE STANDARDS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
17. NEW 3'-0" CLEAR METAL GATE.
18. WHITE RETRACTIONAL STRIPE OF ACCESSIBILITY ON BLUE BACKGROUND. PAINTED ON THE PAVEMENT AT REAR OF THE PARKING SPACE.
19. BLUE 4" WIDE ACCESS AISLE DIAGONAL STRIPING.
20. BLUE 4" WIDE PARKING SPACE STRIPING.
21. "NO PARKING" LETTERING TO BE 12" HIGH, AND 2" WIDE. WHITE PAINT.
22. NEW "MOTORCYCLE" PARKING SIGN, TYPE TS-4. REFER TO D37CL-01. 12" X 18" SIGNS SHALL CONFORM TO THE STANDARDS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
23. NEW 12'-0" X 9'-6" CHU TRASH ENCLOSURE PER THE REQUIREMENTS OF THE COA SOLID WASTE MANAGEMENT DEPARTMENT.
24. WHITE 4" WIDE PARKING SPACE STRIPING. TYPICAL OF ALL NON ADA SPACES.

EXECUTIVE SUMMARY

THIS PROJECT IS LOCATED AT 5604 DOMINGO RD. NE, ALBUQUERQUE, NEW MEXICO 87108.

THE SCOPE OF WORK FOR THIS PROJECT INCLUDES A 500 SF, SINGLE STORY TRAFFIC ENTRANCE AND EXITING WILL BE RESTRICTED TO THE EXISTING DRIVE CURB CUTS. NEW PAINTED TRAFFIC ARROWS WILL DIRECT TRAFFIC IN TWO FLOW PATTERNS.

THIS PROJECT WILL HAVE NO IMPACT ON ADJACENT SITES.

THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT HAS ALREADY APPROVED THIS PROJECT FOR THE MARSH AND ADJACENT WATERSHEDS. THE FIRM 1 PLAN WILL BE SUBMITTED TO THE MARSH AND ADJACENT WATERSHEDS FOR REVIEW.

ZONING INFORMATION

OWNER NAME: TRANSITIONAL LIVING SERVICES INC
OWNER ADDRESS: 5601 DOMINGO RD NE, ALBUQUERQUE NM 87108
UPC: 10186570952338725
LEGAL DESCRIPTION: 038.75 S 9, 10, 11, 12, 22 & 24 BLK 28 TIERRAS PLAGE
PROPERTY CLASS: C DOCUMENT NUMBER: 2003098342 866063 WPO E
ACRES: 0.36
ZONING: O-1
LAND USE: COMMERCIAL SERVICE
LOT: 10 BLOCK: 28 SUBDIVISION: TIERRAS PLAGE ADDN
SECTOR PLAN: N/A AREA PLAN: N/A
ZONE ATLAS PAGE: K18

PARKING CALCULATIONS:

FIRST FLOOR SPACES REQUIRED = 4,669 GSF / 200 = 24 SPACES
SECOND FLOOR SPACES REQUIRED = 4,251 GSF / 300 = 14 SPACES
TOTAL SPACES REQUIRED = 38 SPACES REQUIRED

PARKING SPACES PROVIDED (APPROVED BY ADMINISTRATIVE APPROVAL):
ON-STREET PARKING SPACES = 31 SPACES
ON-STREET PARKING AVAILABLE = 7 SPACES
(14 SPACES X .50 = 7 SPACES)
TOTAL PARKING PROVIDED = 38 SPACES

ADA PARKING REQUIREMENTS
OFF-STREET PARKING SPACES = 31 SPACES
ADA PARKING SPACES REQUIRED = 2 SPACES

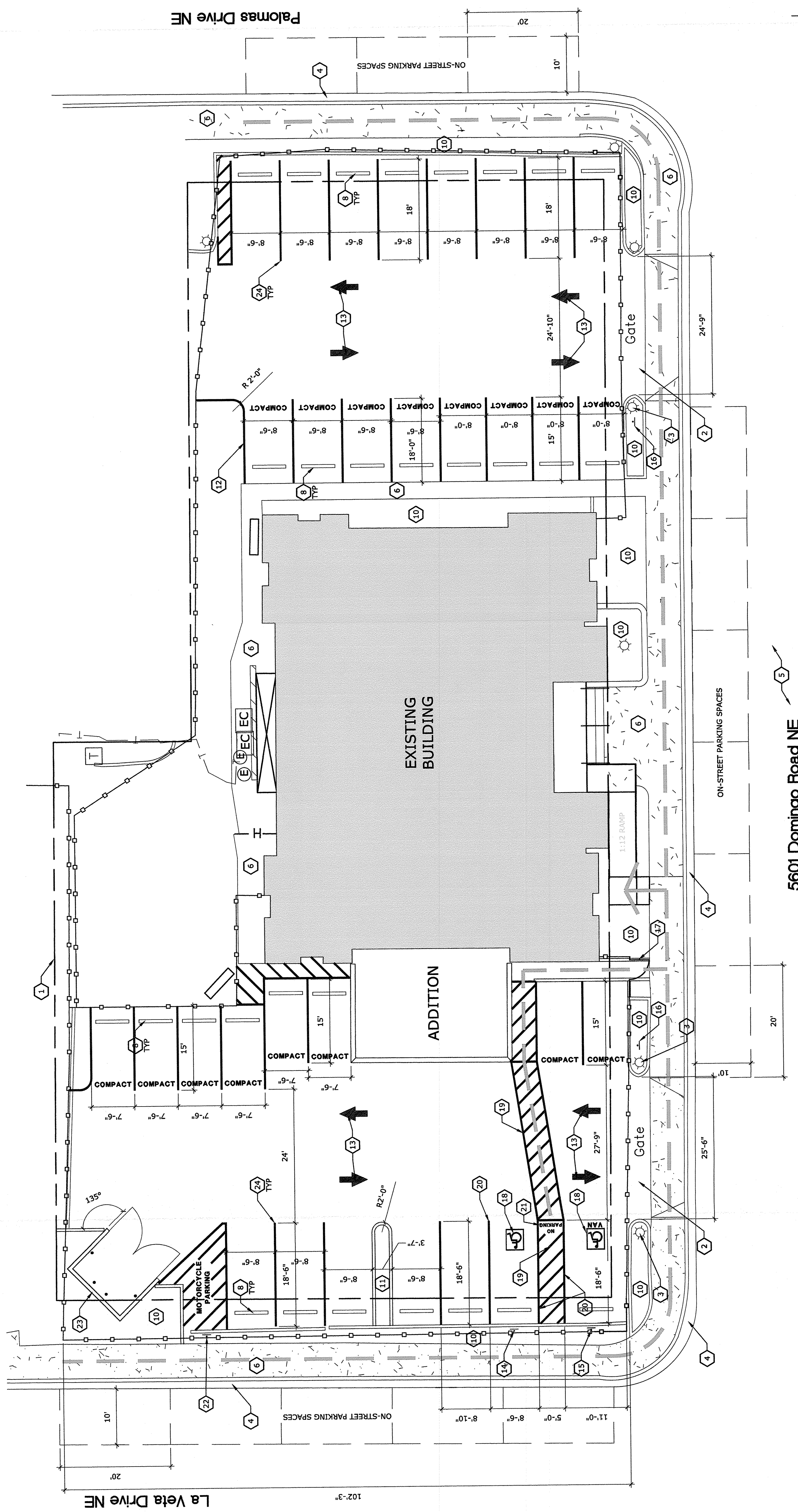
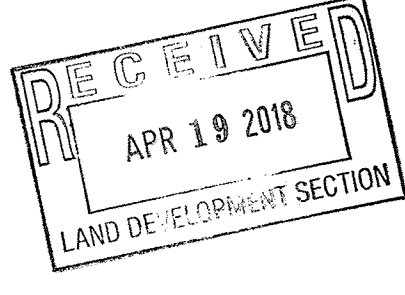
MOTORCYCLE PARKING SPACES REQUIRED = 5 SPACES

TRAFFIC CIRCULATION LAYOUT
APPROVED

Loyola _____
Signed

_____ Date
04-23-18

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



A1 PROPOSED PARKING LAYOUT
SCALE: 1" = 10'-0"

5601 Dominga Road NE

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IG SHEET

LEGEND:

[illegible]

DRAWN BY:
