

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

January 28, 2020

David Aube, P.E.  
Hartman & Majewski Design Group  
120 Vassar Dr SE, Suite 100  
Albuquerque, NM 87106

**RE: Alamosa Community Center Expansion  
6900 Gonzales Rd SW  
Grading and Drainage Plan  
Engineer's Stamp Date: 1/21/20  
Hydrology File: L10D013**

Dear Mr. Aube:

PO Box 1293

Based on the submittal received on 1/22/20, this Grading and Drainage Plan is approved for building permit.

Albuquerque

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

NM 87103

Sincerely,

www.cabq.gov

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

## I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING DRAINAGE CONDITIONS AS WELL AS THE PROPOSED DRAINAGE CONDITIONS OF THE ALAMOSA COMMUNITY CENTER ON AIRPORT DRIVE SW JUST EAST OF COORS BOULEVARD IN ALBUQUERQUE, NM. THE ZONE ATLAS PAGE FOR THE SITE IS K-17-Z.

## II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED AT THE SOUTHEAST CORNER OF COORS BOULEVARD AND GONZALES ROAD SW.

THE SITE WAS MASTERPLANNED IN 1995 AND IS NOW FULLY DEVELOPED.

## III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON SECTION 22.2, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL RELEASED JUNE 1997. TABLES WITHIN SECTION 22.2 WERE USED TO AID IN THE STUDY OF THE SITE HYDROLOGY.

## IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-6HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 1.

## V. EXISTING DRAINAGE CONDITIONS

THE SITE WAS DEVELOPED UNDER A GRADING AND DRAINAGE MASTERPLAN DEVELOPED BY JEFF MORTENSON AND ASSOCIATES IN 1995. THE SITE WAS DIVIDED INTO THREE DRAINAGE BASINS AS SHOWN ON CD-2 OF THIS STUDY. ACCORDING TO THE PRIOR STUDY BASIN B CONTAINS 43,550 SF AND WAS PLANNED TO CONTAIN 25% LAND TREATMENT B WITH THE REMAINING 75% BE LAND TREATMENT D. PER THE PRIOR STUDY THIS GENERATED A PEAK RUNOFF OF 3.8 CFS. THE MASTER PLAN SHOWED A LARGE PARKING LOT LOCATED TO THE EAST OF THE COMMUNITY CENTER BUILDINGS. THAT SUBSEQUENTLY HAS BEEN REMOVED AND CONVERTED INTO LANDSCAPING AND AMPHITHEATER SPACE. THIS HAS REDUCED THE 75% IMPERVIOUS SURFACES AREA FROM WHAT WAS ANALYZED AT THE TIME OF THE MASTER GRADING AND DRAINAGE PLAN.

## VI. PROPOSED DRAINAGE CONDITIONS

THE COMMUNITY CENTER IS IN NEED OF A WAREHOUSE SPACE TO CONTAIN THE GROWING NEEDS OF THE FACILITY. THIS PROJECT ADDS 1158 SF OF NEW BUILDING LOCATED ON THE NORTH WEST EDGE OF THE CURRENT BUILDINGS. THE AREA IS CURRENTLY LANDSCAPED AND HAS A LAND TREATMENT OF B. THE PROPOSED BUILDING WILL INCREASE THE RUNOFF WITHIN THE BASIN BY 0.07 CFS. PONDING IN THE IMMEDIATE VICINITY WILL BE SET AT 10' FROM THE FACILITY TO REDUCE MOISTURE CHANGES IN THE SOILS NEAR THE FOUNDATIONS.

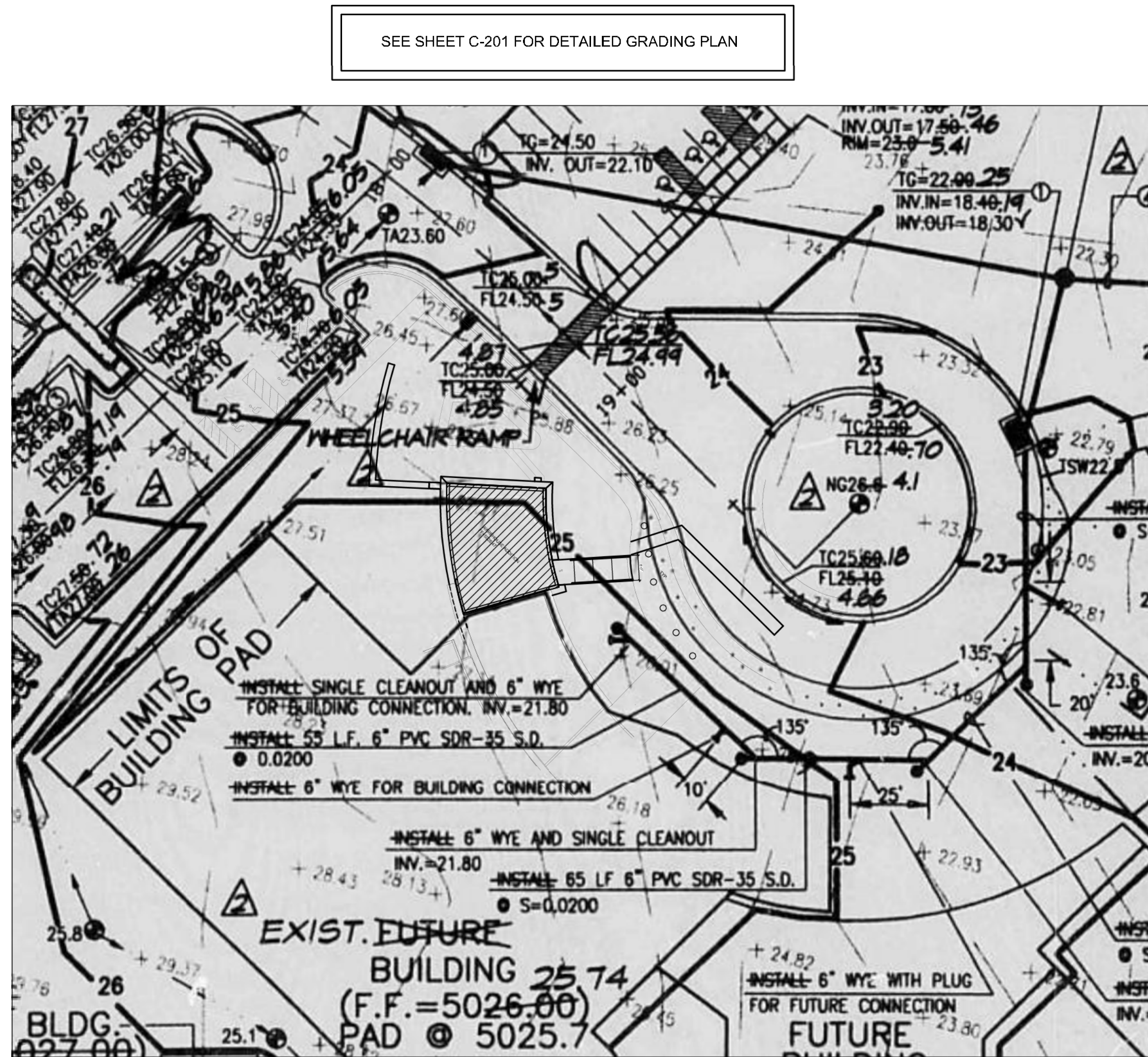
THE FIRST FLUSH VOLUME CREATED BY THIS NEW IMPERVIOUS SURFACE IS 25.1 CUBIC FEET. A SHALLOW POND AT 3" DEEP IS PROPOSED TO THE NORTH WEST TO CONTAIN THIS FIRST FLUSH VOLUME. THE POND HAS A SURFACE AREA AT THE BOTTOM OF 218 SQUARE FEET WITH THE TOP SURFACE OF 448 SQUARE FEET. PONDING VOLUME PROVIDED IS 83 CUBIC FEET. THIS VOLUME WILL FULLY CONTAIN THE 2 YEAR 6 HOUR RAINFALL EVENT. LARGER STORMS WILL OVERTOP THE BERM AND WILL CONTINUE TO FLOW WITHIN BASIN B FOLLOWING THE HISTORIC PATTERNS.

THE INCREASE IN RUNOFF FROM BASIN B IS ALSO THE 0.07 CFS (INCREASING FROM 3.78 TO 3.85 CFS). THE OVERALL CAMPUS (PER THE MASTER G&D GENERATES 35.6 CFS) WILL ONLY INCREASE THE RUNOFF AMOUNT BY 0.2% WHICH IS WITHIN THE ALLOWABLE ACCURACY OF THE ORIGINAL COMPUTATIONS.

WITH THE CONVERSION OF THE PARKING LOT THAT WAS FORMERLY EAST OF THE COMMUNITY CENTER BUILDINGS, THE TOTAL RUNOFF FROM THE SITE IS LIKELY LOWER THAN PREDICTED BY THE MASTER G&D. THIS STUDY IS LIMITED TO THE AFFECTS OF THE PROPOSED ADDITION AND DOES NOT ATTEMPT TO QUANTIFY THE AFFECT OF OTHER CHANGES TO THE SITE.

## VII. CONCLUSIONS

THE PROPOSED 1,158 ADDITION TO THE FACILITY WILL CREATE AN INCREASE RUNOFF RATE OF 0.07 CFS. OVERALL THE CAMPUS GENERATES 35.6 CFS (PER THE MASTER G&D PREPARED BY JMA IN 1995). THE INCREASE CREATED BY THE SMALL ADDITION WILL INCREASE THIS RUNOFF BY 0.2%. THIS MINOR INCREASE IS WITHIN THE ACCURACY OF THE COMPUTATION AND DOWNSTREAM USERS SHOULD NOT BE AFFECTED BY THE CHANGES ON THE PROJECT SITE, BUT IS ALSO OFFSET BY THE FIRST FLUSH POND THAT IS PROPOSED EAR THE NEW FACILITY THAT HAS OVER THREE TIMES THE RETENTION REQUIRED AND WILL FULLY CONTAIN THE 2 YEAR 6 HOUR EVENT.



### COPY OF RUNOFF CALCULATIONS FROM 1995 MASER G&D PLAN

B. Basin 'B'

- Land Treatment ( $A_{TB} = 43,550 \text{ sf}/1.00 \text{ ac}$ ) [43,560?]

| Treatment Area | (sf/ac)     | %    |
|----------------|-------------|------|
| B              | 10,750/0.25 | 25.0 |
| D              | 32,800/0.75 | 75.0 |

- Volume

$$E_w = (E_{A,A} + E_{B,B} + E_{C,C} + E_{D,D}) / A_T$$

$$E_w = (0.67)(0.25) + 1.97(0.75) / 1.00 = 1.64 \text{ in.}$$

$$V_{100} = (E_w / 12) A_T$$

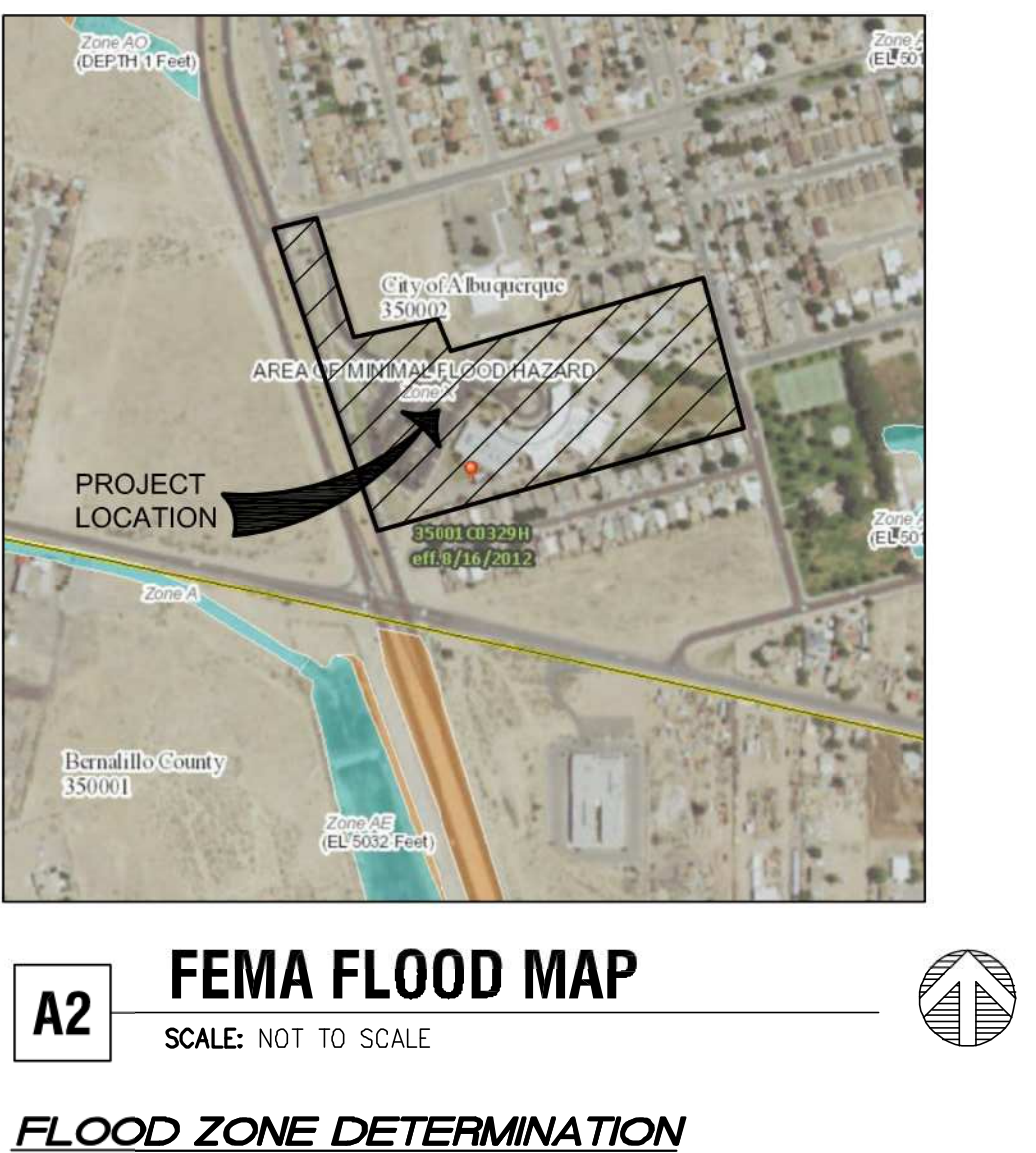
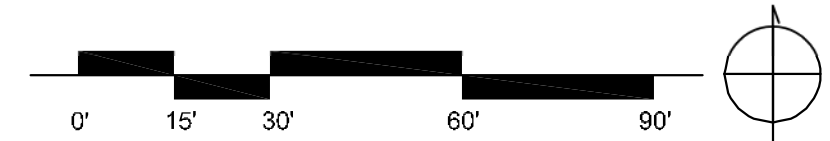
$$V_{100} = (1.64 / 12) 1.00 = 0.1367 \text{ ac.ft.} = 5,950 \text{ cf}$$

- Peak Discharge

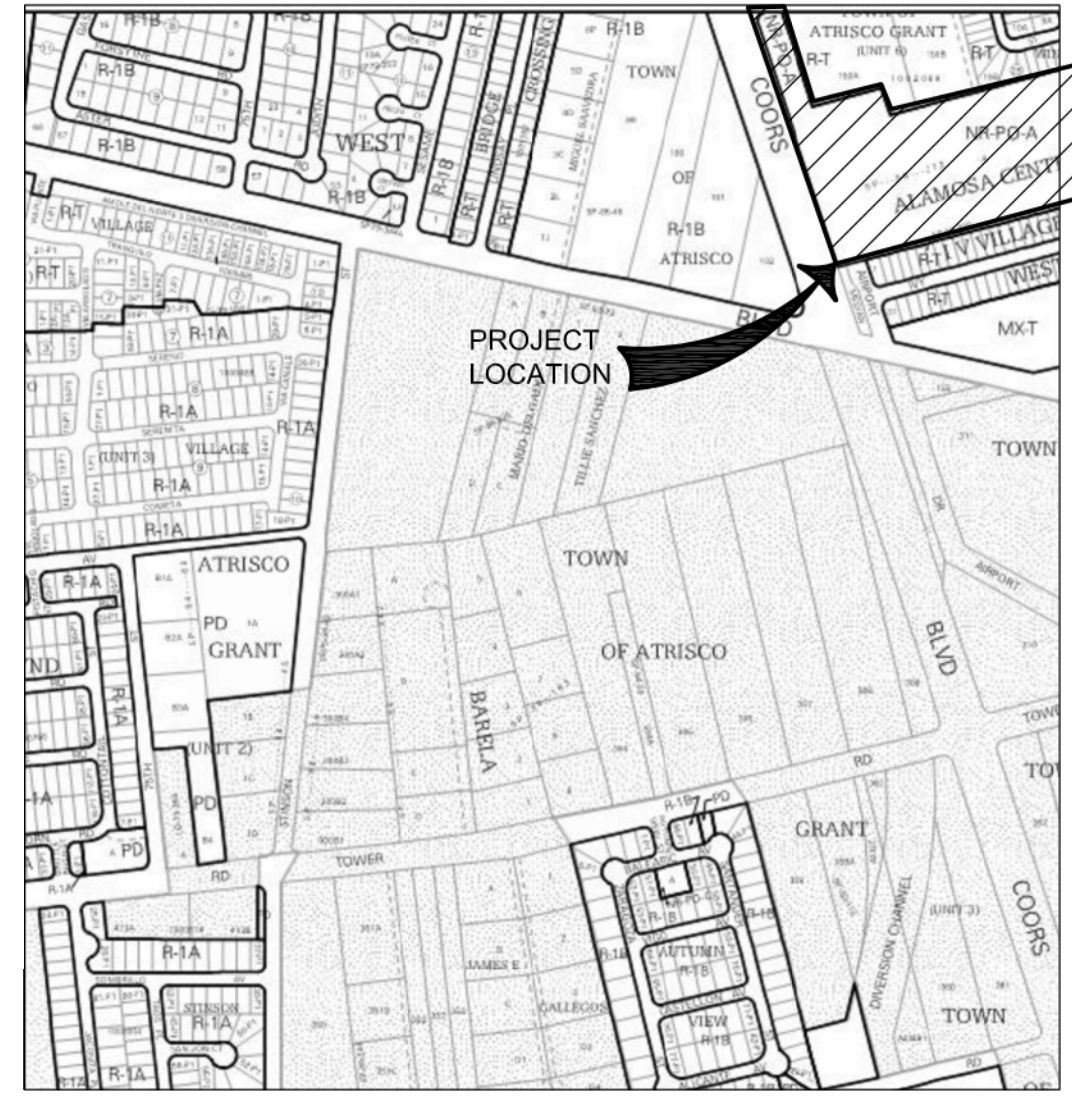
$$Q_p = Q_{PA}A + Q_{PB}B + Q_{PC}C + Q_{PD}D$$

$$Q_p = Q_{100} = 2.03(0.25) + 4.37(0.75) = 3.8 \text{ cfs}$$

A1 SITE PLAN SCALE 1"=30'



**FLOOD ZONE DETERMINATION**  
The subject properties appear to lie completely within "ZONE X" (areas determined to be outside 0.2 % annual chance flood plain), with "ZONE A" (No base Flood Elevations determined) as shown on National Flood Insurance Program Flood Insurance Rate Map Number 35001C0329H, Map Revised August 12, 2012.



## Drainage Summary

Project: Alamosa Community Center  
Project Number: 6800 AS20  
Date: 01/10/20  
By: Dave A

### Site Location

1 Per Table A-1 COA DPM Section 22.2

### Existing summary

| Basin Name        | Area (sf) | Area affected |         |
|-------------------|-----------|---------------|---------|
|                   |           | Ex Basin B    | Basin B |
| Area (acres)      | 43550     | 1160          | 1.00    |
| %A Land treatment | 0         | 0             | 0       |
| %B Land treatment | 25        | 100           | 0       |
| %C Land treatment | 0         | 0             | 0       |
| %D Land treatment | 75        | 0             | 0       |

### Soil Treatment (acres)

|          |      |      |
|----------|------|------|
| Area "A" | 0.00 | 0.00 |
| Area "B" | 0.25 | 0.03 |
| Area "C" | 0.00 | 0.00 |
| Area "D" | 0.75 | 0.00 |

### Excess Runoff (acre-feet)

|              |        |        |
|--------------|--------|--------|
| 100yr. 6hr.  | 0.1371 | 0.0015 |
| 10yr. 6hr.   | 0.0821 | 0.0005 |
| 2yr. 6hr.    | 0.0452 | 0.0000 |
| 100yr. 24hr. | 0.1658 | 0.0015 |

### Peak Discharge (cfs)

|         |      |      |
|---------|------|------|
| 100 yr. | 3.78 | 0.05 |
| 10yr.   | 2.36 | 0.02 |
| 2yr.    | 1.27 | 0.00 |

### Proposed summary

| Basin Name        | Area (sf) | Change in   |         |
|-------------------|-----------|-------------|---------|
|                   |           | Pro Basin B | Basin B |
| Area (acres)      | 43550     | 1160        | 1.00    |
| %A Land treatment | 0         | 0           | 0.027   |
| %B Land treatment | 22        | 0           | 0       |
| %C Land treatment | 0         | 0           | 0       |
| %D Land treatment | 78        | 100         | 0       |

### Soil Treatment (acres)

|          |      |      |
|----------|------|------|
| Area "A" | 0.00 | 0.00 |
| Area "B" | 0.22 | 0.00 |
| Area "C" | 0.00 | 0.00 |
| Area "D" | 0.78 | 0.03 |

### Excess Runoff (acre-feet)

|              |        |        |
|--------------|--------|--------|
| 100yr. 6hr.  | 0.1403 | 0.0044 |
| 10yr. 6hr.   | 0.0846 | 0.0028 |
| 2yr. 6hr.    | 0.0470 | 0.0016 |
| 100yr. 24hr. | 0.1702 | 0.0054 |

### Peak Discharge (cfs)

|         |      |      |
|---------|------|------|
| 100 yr. | 3.85 | 0.12 |
| 10yr.   | 2.42 | 0.08 |
| 2yr.    | 1.32 | 0.05 |

First Flush Ponding Volume (cf) 25.1

THE HARTMAN + MAJEWSKI  
**DESIGN GROUP**  
Architects • Engineers • Interior Design  
Planners • Urban Designers • LEED®

120 Vassar Dr. SE Suite 100  
Albuquerque New Mexico 87106  
T 505 242 6880 • F 505 242 6881

**CITY OF ALBUQUERQUE  
CAPITAL IMPLEMENTATION PROGRAM**

PROJECT TITLE: **ALAMOSA HSSC ADDITION**

DRAWING TITLE: **GRADING AND DRAINAGE PLAN**

|                         |                        |                    |             |             |
|-------------------------|------------------------|--------------------|-------------|-------------|
| Design Review Committee | City Engineer Approval | Last Design Update | Mo./Day/Yr. | Mo./Day/Yr. |
|                         |                        |                    |             |             |

City Project No. 7881.20 Zone Map No. DWG. **CD-1** Sheet

| CONTRACTOR | AS-BUILT INFORMATION |      | BENCH MARKS |    | SURVEY INFORMATION |    | FIELD NOTES |      | SEAL | REVISIONS | REMARKS |
|------------|----------------------|------|-------------|----|--------------------|----|-------------|------|------|-----------|---------|
|            | DATE                 | DATE | NO.         | BY | NO.                | BY | NO.         | DATE |      |           |         |
|            |                      |      |             |    |                    |    |             |      |      |           |         |

7881.20 12/11/2016 2:04:36 PM

FOR REFERENCE ONLY

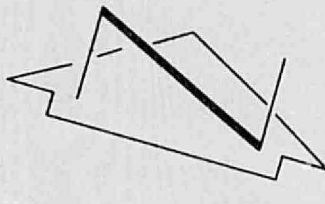
# RECORD DRAWING

## AS-BUILT LEGEND

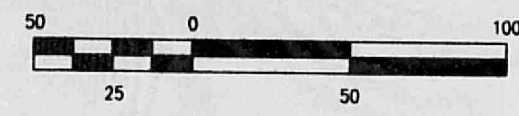
- AS-BUILT SPOT ELEVATION
- AS-BUILT = AS-DESIGNED SPOT ELEVATION

## LEGEND

- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- VALLEY CUTTER
- STANDARD CURB AND GUTTER
- SIDEWALK
- TOP OF CONCRETE
- BACK OF SIDEWALK
- FRONT OF SIDEWALK
- TOP OF ASPHALT
- TOP OF CURB
- FLOW LINE
- SANITARY SEWER
- WHEELCHAIR RAMP
- CONCRETE
- BARB WIRE FENCE
- WATER VALVE
- STORM DRAIN
- MANHOLE
- GUARD POST (METAL)
- TELEPHONE
- ELECTRIC
- GAS LINE
- TRAFFIC
- DECIDUOUS TREE
- FENCE ANGLE POINT
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED FLOWLINE



SCALE: 1" = 50'

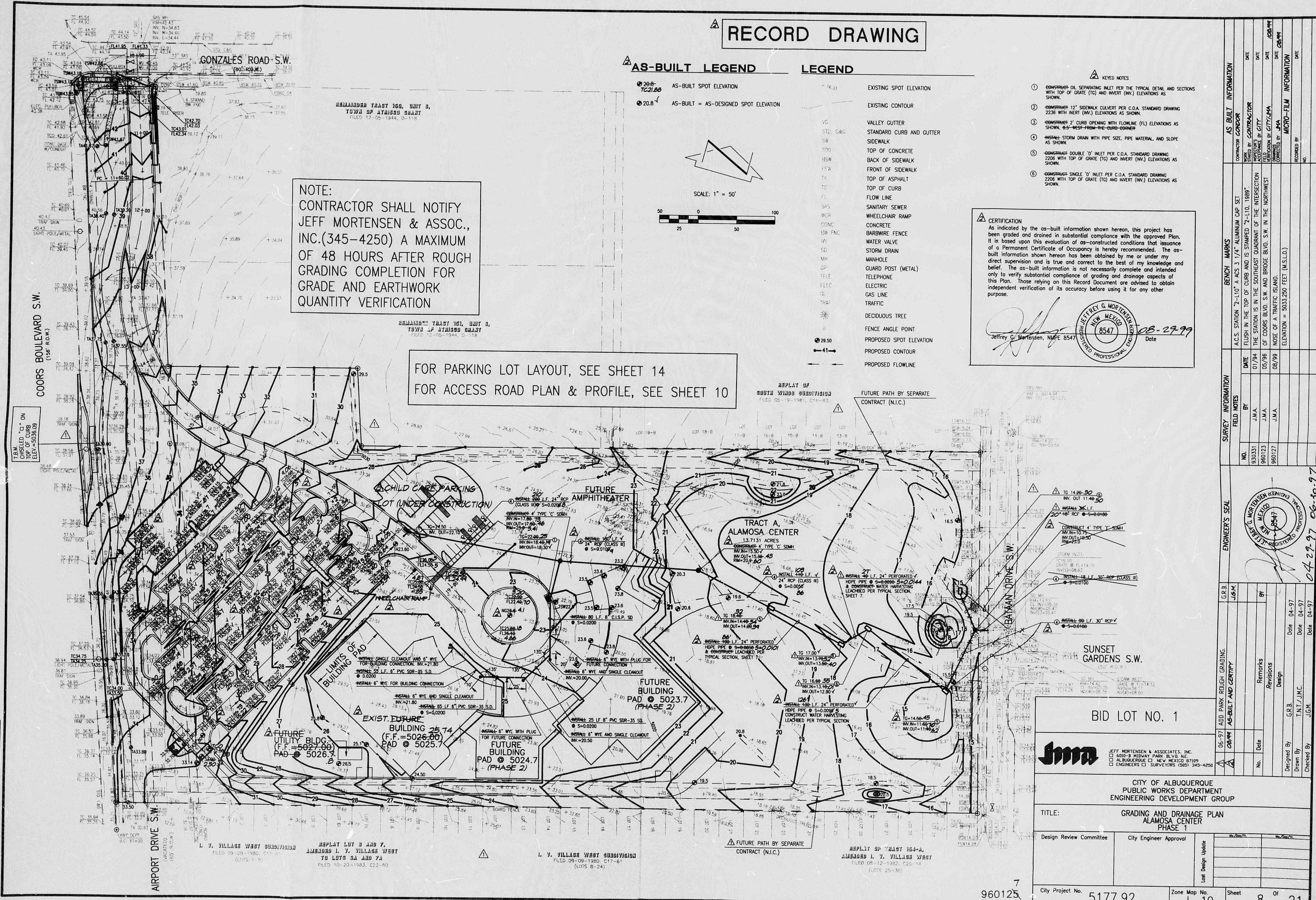


**CERTIFICATION**  
As indicated by the as-built information shown hereon, this project has been graded and drained in substantial compliance with the approved Plan. It is based upon this evaluation of as-constructed conditions that issuance of a Permanent Certificate of Occupancy is hereby recommended. The as-built information shown hereon has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built information is not necessarily complete and intended only to verify substantial compliance of grading and drainage aspects of this Plan. Those relying on this Record Document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Jeffrey G. Mortensen, N.M.P.E. 8547  
Date: 08-29-97

**NOTE:**  
CONTRACTOR SHALL NOTIFY JEFF MORTENSEN & ASSOC., INC. (345-4250) A MAXIMUM OF 48 HOURS AFTER ROUGH GRADING COMPLETION FOR GRADE AND EARTHWORK QUANTITY VERIFICATION

FOR PARKING LOT LAYOUT, SEE SHEET 14  
FOR ACCESS ROAD PLAN & PROFILE, SEE SHEET 10



| AS BUILT INFORMATION |      | BENCH MARKS   |   | SURVEY INFORMATION |        | ENGINEER'S SEAL |        |
|----------------------|------|---|---|--------------------|--------|-----------------|--------|
| CONTRACTOR           | DATE | A.C.S. STATION  | FLUSH IN THE TOP OF CURB AND IS STAMPED   | NO.                | BY     | CR.B.           | BY     |
| CONTRACTOR           | DATE | 2235 WITH BERT (INV.) ELEVATIONS AS SHOWN.  | "2-LID, 1889"   | 960123             | J.M.A. | J.M.A.          | J.M.A. |
| CONTRACTOR           | DATE | CONTRACTOR'S 2" CURB OPENING WITH FLOWLINE (FL) ELEVATIONS AS SHOWN, 8.5'-WIDE FROM THE CURB SIDING | THE STATION IS IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF COORS BLVD. S.W. AND BRIDGE BLVD. S.W. IN THE NORTHWEST CORNER OF A TRAFFIC ISLAND. | 960127             | J.M.A. | J.M.A.          | J.M.A. |
| CONTRACTOR           | DATE | CONTRACTOR'S 12" SIDEWALK CLEVERT PER C.O.A. STANDARD DRAWING                                       | ELEVATION = 5033.250 FEET (M.S.L.D.)  |                    |        |                 |        |
| CONTRACTOR           | DATE | CONTRACTOR'S 2" DOUBLE INLET PER C.O.A. STANDARD DRAWING  |   |                    |        |                 |        |
| CONTRACTOR           | DATE | CONTRACTOR'S SINGLE 10" INLET PER C.O.A. STANDARD DRAWING   |   |                    |        |                 |        |
| AS BUILT INFORMATION |      | BENCH MARKS   |   | SURVEY INFORMATION |        | ENGINEER'S SEAL |        |
| CONTRACTOR           | DATE | A.C.S. STATION  | FLUSH IN THE TOP OF CURB AND IS STAMPED   | NO.                | BY     | CR.B.           | BY     |
| CONTRACTOR           | DATE | 2235 WITH BERT (INV.) ELEVATIONS AS SHOWN.  | "2-LID, 1889"   | 960123             | J.M.A. | J.M.A.          | J.M.A. |
| CONTRACTOR           | DATE | CONTRACTOR'S 2" CURB OPENING WITH FLOWLINE (FL) ELEVATIONS AS SHOWN, 8.5'-WIDE FROM THE CURB SIDING | THE STATION IS IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF COORS BLVD. S.W. AND BRIDGE BLVD. S.W. IN THE NORTHWEST CORNER OF A TRAFFIC ISLAND. | 960127             | J.M.A. | J.M.A.          | J.M.A. |
| CONTRACTOR           | DATE | CONTRACTOR'S 12" SIDEWALK CLEVERT PER C.O.A. STANDARD DRAWING                                       | ELEVATION = 5033.250 FEET (M.S.L.D.)  |                    |        |                 |        |
| CONTRACTOR           | DATE | CONTRACTOR'S 2" DOUBLE INLET PER C.O.A. STANDARD DRAWING  |   |                    |        |                 |        |
| CONTRACTOR           | DATE | CONTRACTOR'S SINGLE 10" INLET PER C.O.A. STANDARD DRAWING   |   |                    |        |                 |        |

PLAN SHOT TWICE ONCE ON LIGHT ONCE ON DARK

CITY OF ALBUQUERQUE  
THIS MICROIMAGE IS THE BEST POSSIBLE REPRODUCTION DUE TO THE POOR QUALITY OF THE ORIGINAL DOCUMENT.

DATE 3-27-2009 ESP

CITY OF ALBUQUERQUE  
This microimage is certified to be a complete and accurate copy of the original as it appears in the files of the Public Works Department and was created in the normal course of business.

The photographic process used meets the Basic Microfilm Standards of the National Micrographics Association (MS115-1527)

Chris J. Kelly 11/5/02  
DIRECTOR

Roberta Duran  
NOTARY PUBLIC  
OFFICIAL SEAL  
Roberta Duran  
NOTARY PUBLIC  
STATE OF NEW MEXICO  
11/16/02

BID LOT NO. 1

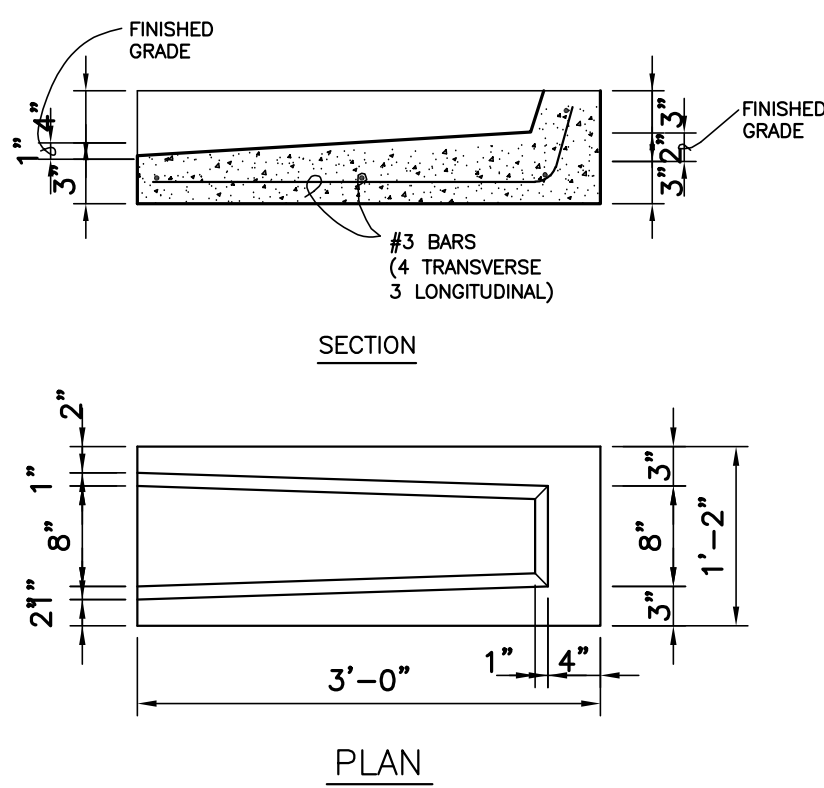
**JMA** JEFF MORTENSEN & ASSOCIATES, INC.  
800-B MIDWAY PARK BLVD. NE  
ALBUQUERQUE, N.M. 87109  
ENGINEERS & SURVEYORS (505) 345-4250

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP

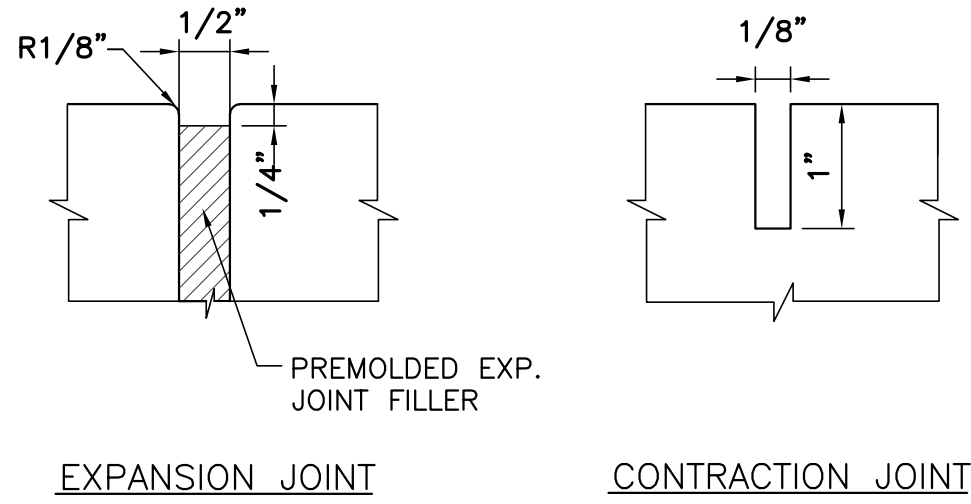
TITLE: GRADING AND DRAINAGE PLAN  
ALAMOSA CENTER  
PHASE 1

Design Review Committee City Engineer Approval

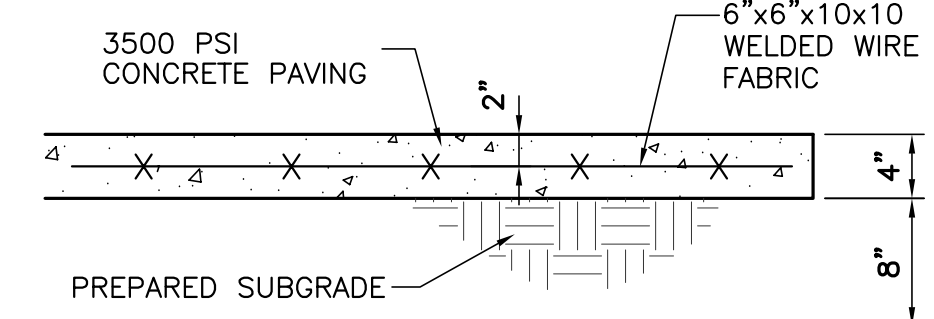
City Project No. 5177.92 Zone Map No. L-10 Sheet 8 of 21



**C1 CONCRETE SPLASH BLOCK**  
NOT TO SCALE



**C2 CONCRETE SIDEWALK**  
NOT TO SCALE



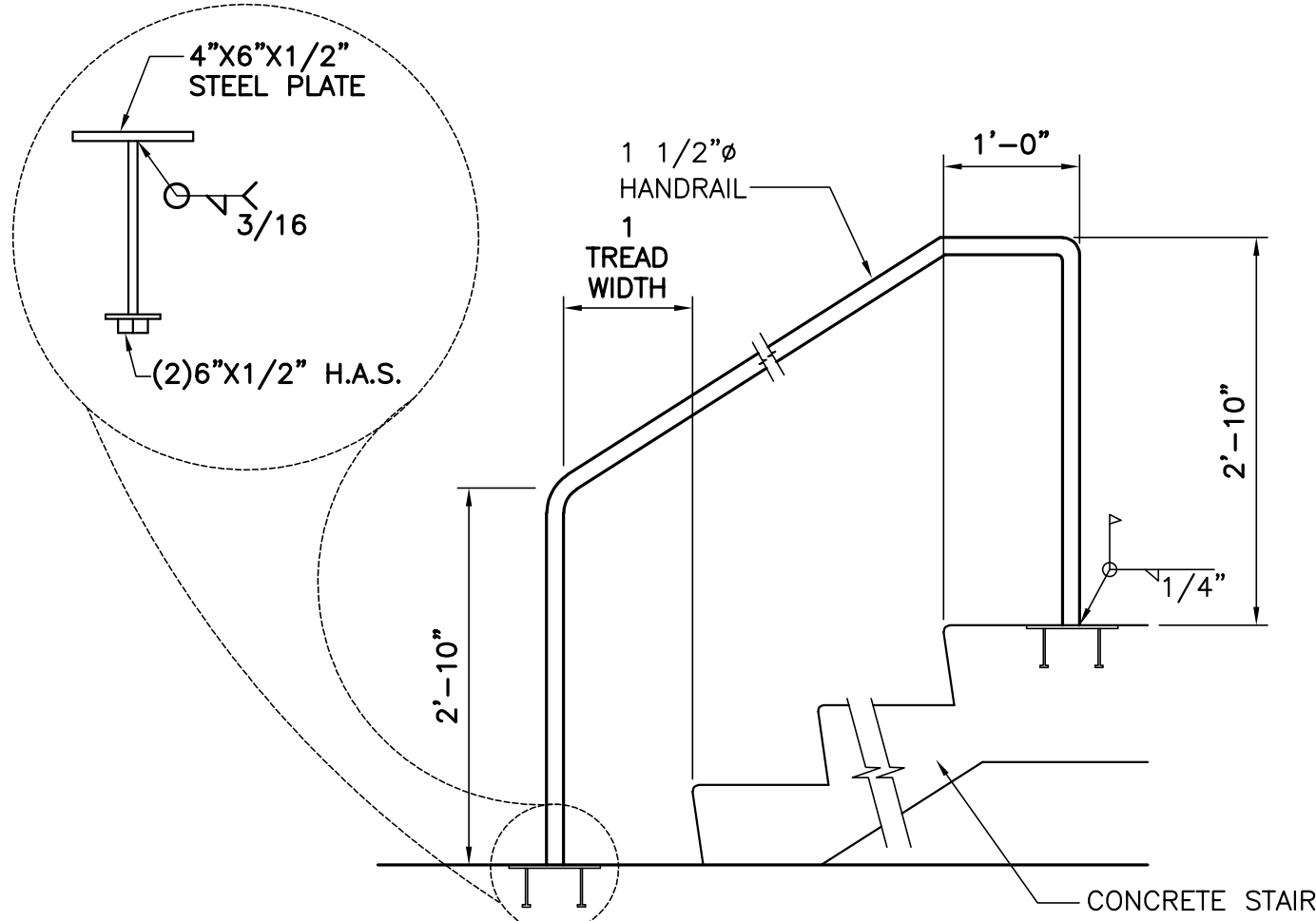
**C3 CURB SECTIONS**  
NOT TO SCALE

**KEYED NOTES:**

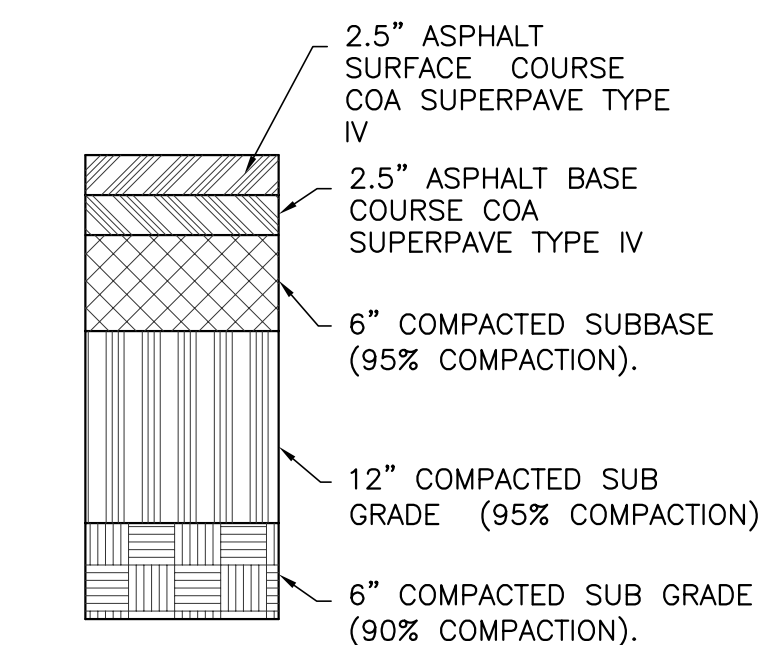
1. LANDSCAPING AREA
2. FINISHED GRADE.
3. PREPARED SUBGRADE.
4. CONCRETE WITH LIGHT BROOM FINISH
5. EXPANSION JOINT.
6. BUILDING, SEE ARCH.

**CURB & GUTTER CONSTRUCTION NOTES:**

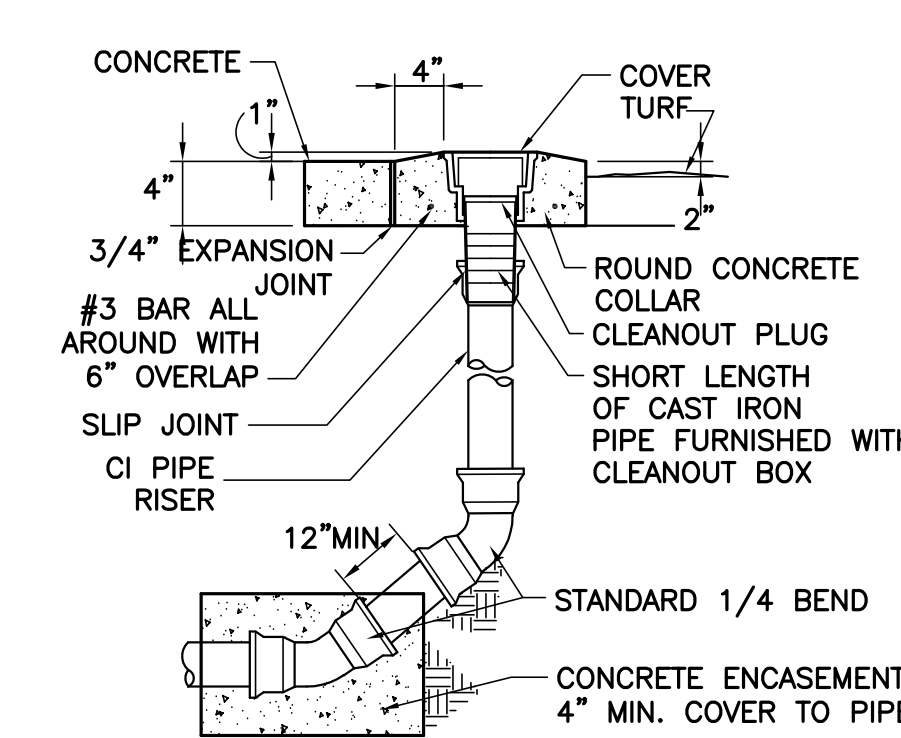
- CURBS, GUTTERS & CUT-OFF WALLS TO BE CONSTRUCTED OF 3500 PSI P.C.C. UNLESS OTHERWISE NOTED.
- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
- REMOVE & REPLACE 12" WIDE STRIP OF PAVEMENT BEYOND LIP OF GUTTER WHEN CONSTRUCTING CURB & GUTTER ADJACENT TO EXISTING A.C. PAVEMENT.
- DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
- FOR 6" CURB & GUTTER PROVIDE CONTROL JTS. @ 6' O.C. MAX, ALSO PROVIDE 1/2" EXPANSION JTS. AT 30' O.C. MAX, AT CURB RETURNS, & AT EACH SIDE OF DRIVEWAYS.
- FOR ALL OTHER CURBING PROVIDE CONTROL JTS @ 10' O.C., PROVIDE EXPANSION JOINTS @ 50' O.C. & ADJACENT TO BUILDINGS AND WALLS.



**C4 METAL HANDRAILS**  
NOT TO SCALE



**C5 ASPHALT PAVEMENT**  
NOT TO SCALE



**B5 TERMINAL CLEANOUT**  
NOT TO SCALE

**GENERAL SHEET NOTES**

A. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION REQUEST CLARIFICATION FROM THE ARCHITECT/ENGINEER.

**SHEET KEYNOTES**

- CONCRETE SIDEWALK PER DETAIL C2/C-101. MATCH BROOM FINISH.
- PROVIDE CONTRACTION JOINTS AT 6' ON CENTER MAX PER DETAIL C2/C-101.
- LANDSCAPING AREA SEE A1/LP-101
- EXISTING CURB ACCESS RAMP TO REMAIN.
- EXISTING BOLLARD LIGHTS TO REMAIN.
- METAL ROOF DRAIN NOZZLE. SEE ARCHITECTURAL.
- CONCRETE SPLASH BLOCK PER DETAIL C1/C-101
- CONCRETE MOW STRIP PER DETAIL C3/C-101. MATCH EXISTING FINISH
- EXISTING MOW STRIP TO REMAIN. PROTECT DURING CONSTRUCTION.
- SAWCUT, REMOVE AND REPLACE CONCRETE SIDEWALK AS REQUIRED FOR INSTALLATION OF NEW 4" SANITARY SEWER LINE.
- SAWCUT, REMOVE AND REPLACE CONCRETE CURB AND GUTTER AS REQUIRED FOR INSTALLATION OF NEW SEWER LINE. MATCH EXISTING.
- SAWCUT, REMOVE AND REPLACE EXISTING ASPHALT PAVEMENT TO ALLOW FOR INSTALLATION OF NEW SEWER LINE. NEW ASPHALT PAVEMENT PER DETAIL C5/C-101.
- NEW 4" PVC SDR35 SANITARY SEWER LINE AT 1% SLOPE MINIMUM.
- DOUBLE CLEAN OUT. SEE PLUMBING PLANS FOR DETAIL AND CONTINUATION.
- TERMINAL CLEAN OUT PER DETAIL B5/C-101.
- EXISTING 6" SANITARY SEWER LINE.
- NEW 4" SERVICE LATERAL CONNECTION ONTO EXISTING 6" LINE PER COA STD DWG 2125.
- NEW 4"x4"x4" WYE IN SANITARY SEWER LINE.
- NEW POND AREA. 3' DEEP. SEE SHEET C-201.
- REMOVE IRRIGATION HEADS AS REQUIRED.
- METAL HANDRAILS PER DETAIL C4/C-101.

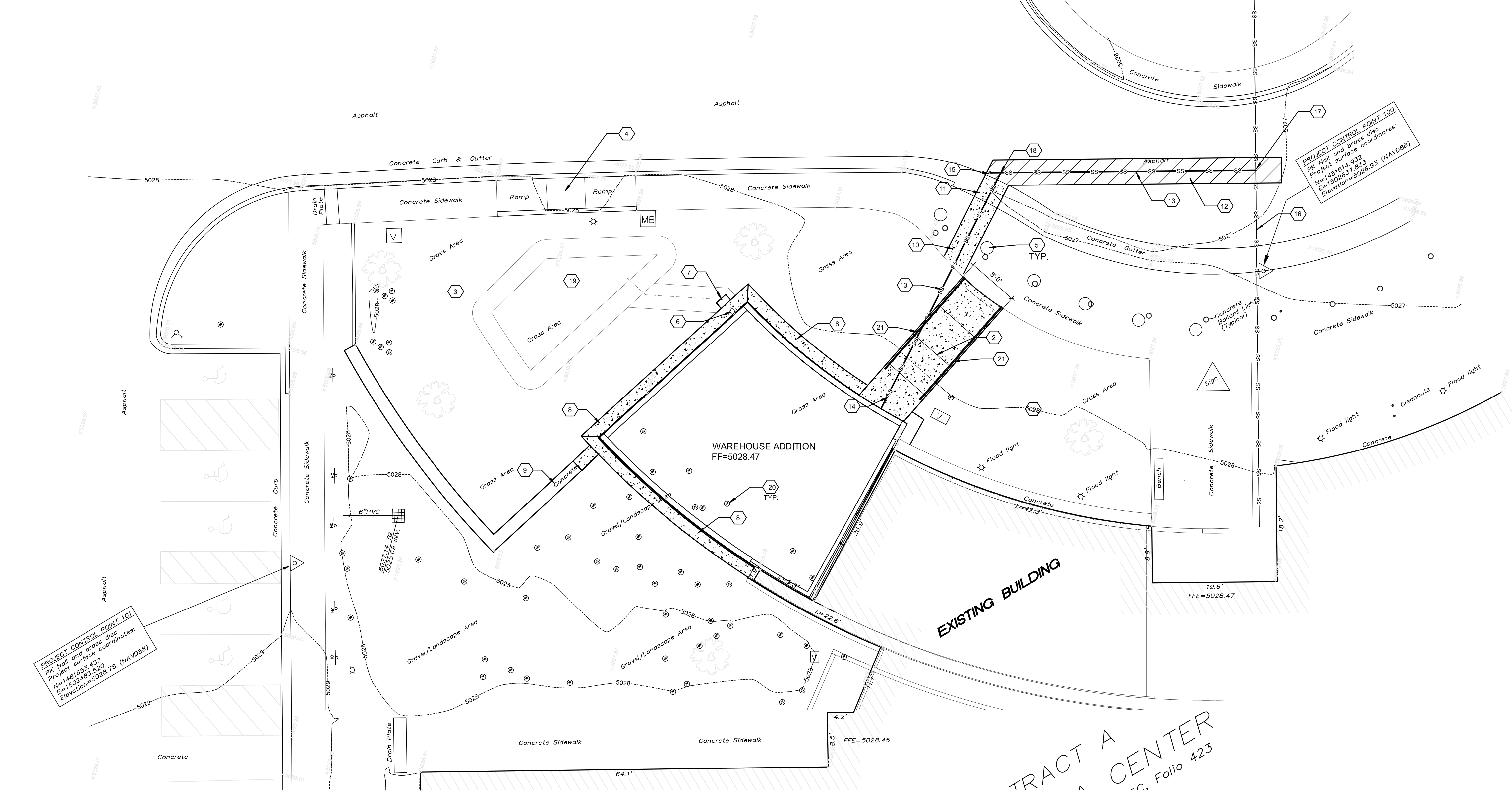
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CITY OF ALBUQUERQUE  
**CAPITAL IMPLEMENTATION PROGRAM**

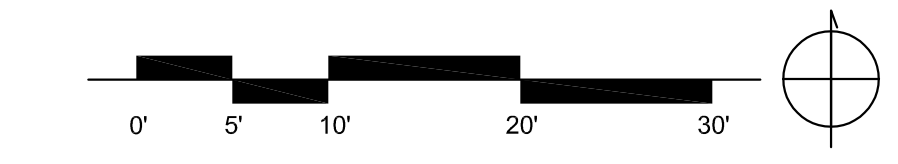
PROJECT TITLE:  
**ALAMOSA HSSC ADDITION**

DRAWING TITLE:  
**SITE PLAN**

|                         |                        |              |                  |
|-------------------------|------------------------|--------------|------------------|
| Design Review Committee | City Engineer Approval |              |                  |
|                         |                        | Mo./Day/Yr.  | Mo./Day/Yr.      |
|                         |                        |              |                  |
|                         |                        |              |                  |
|                         |                        |              |                  |
|                         |                        |              |                  |
| City Project No.        | 7881.20                | Zone Map No. | DWG.             |
|                         |                        |              | <b>C-101</b>     |
|                         |                        |              | Sheet<br>3 OF 22 |



**A1 SITE PLAN**  
SCALE: 1" = 10'-0"



| AS-BUILT INFORMATION      |      | BENCH MARKS |  | SURVEY INFORMATION |  |
|---------------------------|------|-------------|--|--------------------|--|
| CONTRACTOR                | DATE |             |  | FIELD NOTES        |  |
| WORKED BY                 | DATE |             |  | BY                 |  |
| INSPECTOR'S ACCEPTANCE BY | DATE |             |  | NO.                |  |
| VERIFICATION BY           | DATE |             |  |                    |  |
| DRAWING CHECKED BY        | DATE |             |  |                    |  |
| DESIGNED BY               | DATE |             |  |                    |  |
| RECORDED BY               | DATE |             |  |                    |  |
|                           |      |             |  |                    |  |

SEAL

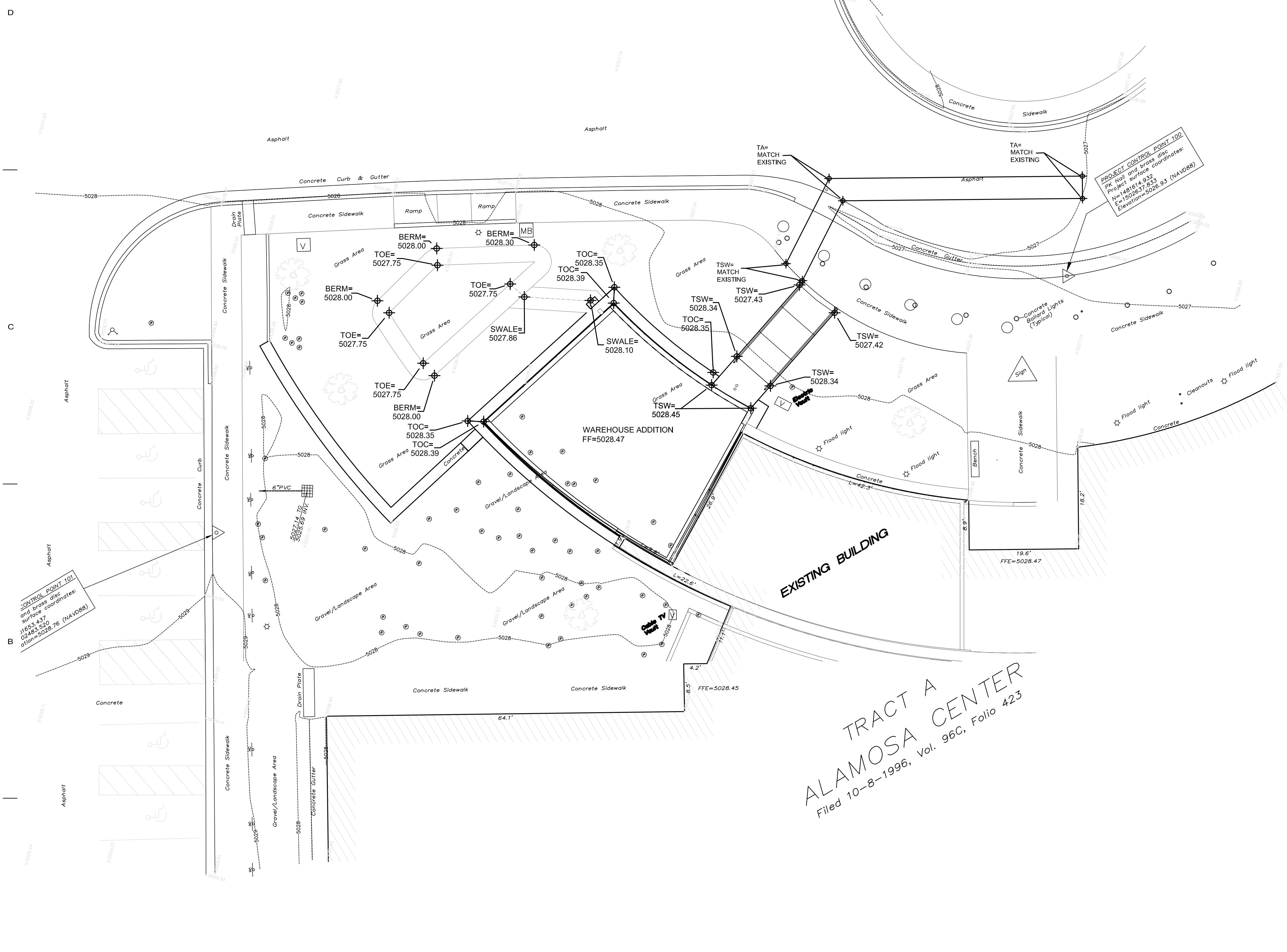
| REVISIONS | REMARKS          | By | Date               |
|-----------|------------------|----|--------------------|
|           | DESIGN           |    |                    |
|           | DESIGNED BY: DAA |    | DATE: MAR 13, 2019 |
|           | DRAWN BY: DAA    |    | DATE: MAR 13, 2019 |
|           | CHECKED BY: MW   |    | DATE: MAR 13, 2019 |

**CIVIL MASTER LEGEND:**

|                         | EXISTING: | NEW: |
|-------------------------|-----------|------|
| INDEX CONTOURS          |           |      |
| INTERMEDIATE CONTOURS   |           |      |
| GRADING SPOT ELEVATIONS |           |      |

**ABBREVIATIONS:**

|                 |     |                       |     |
|-----------------|-----|-----------------------|-----|
| EXISTING GROUND | EG  | TOP OF CURB           | TC  |
| FINISH GRADE    | FG  | TOP OF CONCRETE       | TOC |
| FINISH FLOOR    | FF  | TOP OF RETAINING WALL | TOW |
| FLOWLINE        | FL  | TOP OF SIDEWALK       | TSW |
| INVERT          | INV | RIM                   | RIM |
| TOP OF ASPHALT  | TA  |                       |     |



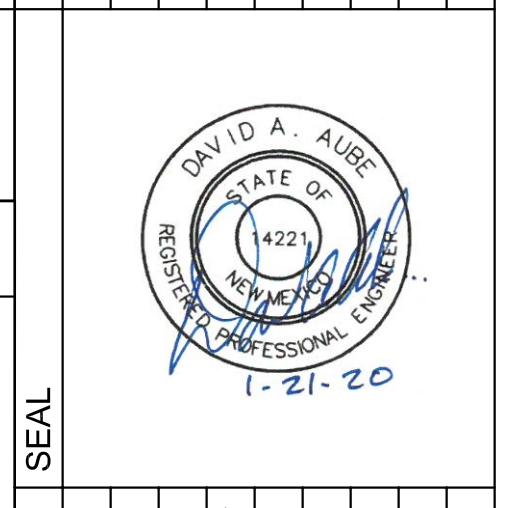
**GENERAL SHEET NOTES**

A. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION REQUEST CLARIFICATION FROM THE ARCHITECT/ENGINEER.

**SHEET KEYNOTES**

1.

| AS-BUILT INFORMATION |      | BENCH MARKS     |      | SURVEY INFORMATION |      |
|----------------------|------|-----------------|------|--------------------|------|
| CONTRACTOR           | DATE | CONTRACTOR      | DATE | NO.                | DATE |
| WORKED BY            | DATE | INSPECTORS      | DATE | BY                 | DATE |
| ACCEPTANCE BY        | DATE | VERIFICATION BY | DATE |                    |      |
| DRAWING NUMBER       | DATE | RECORDED BY     | DATE |                    |      |
|                      |      |                 |      |                    |      |



| No. | Date | REVISIONS | By |
|-----|------|-----------|----|
|     |      | DESIGN    |    |

Designed By: DAA DATE: MAR 13, 2019  
 Drawn By: DAA DATE: MAR 13, 2019  
 Checked By: MW DATE: MAR 13, 2019

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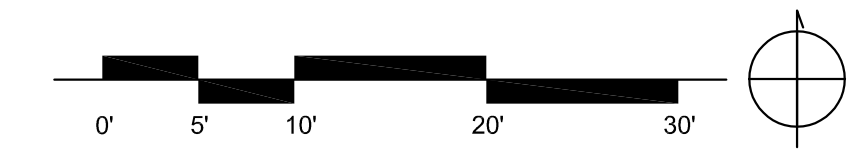
PROJECT TITLE: **ALAMOSA HSSC ADDITION**

DRAWING TITLE: **SITE GRADING PLAN**

| Design Review Committee | City Engineer Approval | Last Design Update | Mo./Day/Yr. | Mo./Day/Yr. |
|-------------------------|------------------------|--------------------|-------------|-------------|
|                         |                        |                    |             |             |

|                  |         |              |      |              |       |         |
|------------------|---------|--------------|------|--------------|-------|---------|
| City Project No. | 7881.20 | Zone Map No. | DWG. | <b>C-201</b> | Sheet | 3 OF 22 |
|------------------|---------|--------------|------|--------------|-------|---------|

**A1 SITE GRADING PLAN**  
 SCALE = 1/8" = 1'-0"



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