



July 24, 2020

Matt Poel
2901 Juan Tabo, NE, Ste. 208
Great Linvin LLLC
Albuquerque NM 87112

Re: 617 Madeira Drive NE
Traffic Circulation Layout
Architect's Stamp 07-22-2020 (K18-D108)

Dear Mr. Poel,

The TCL submittal received 07-24-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

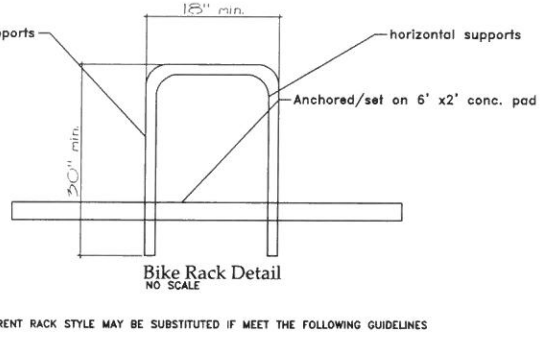
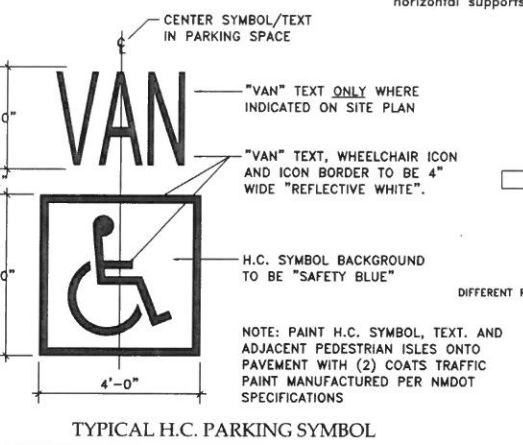
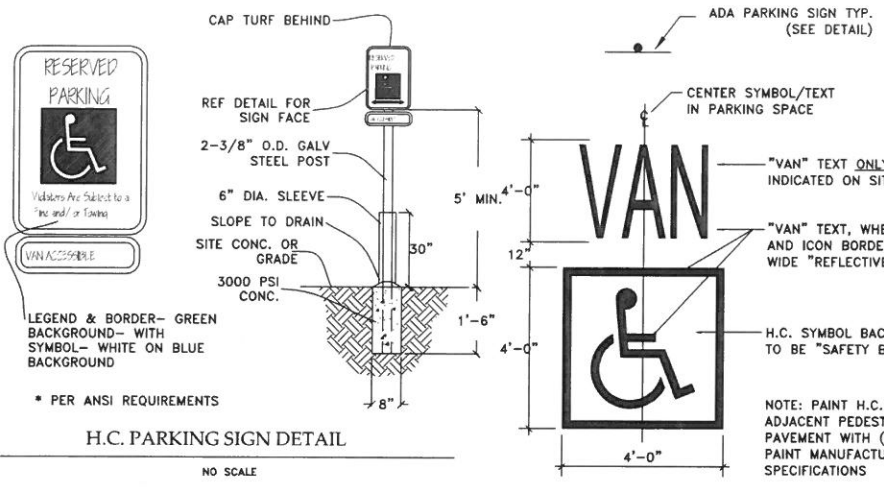
C: CO Clerk, File

PO Box 1293

Albuquerque

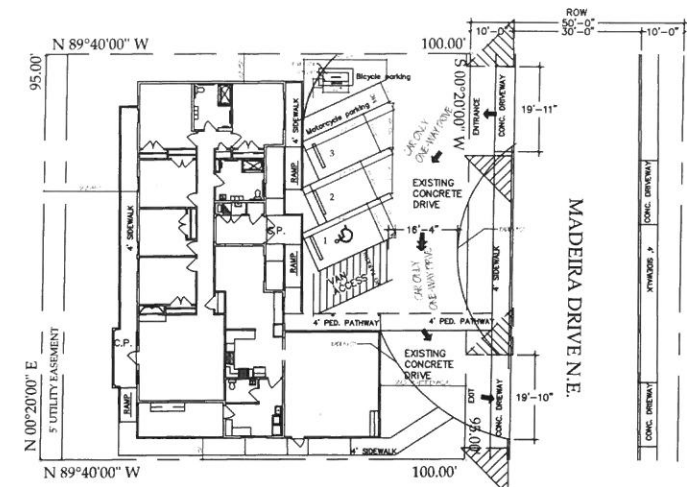
NM 87103

www.cabq.gov

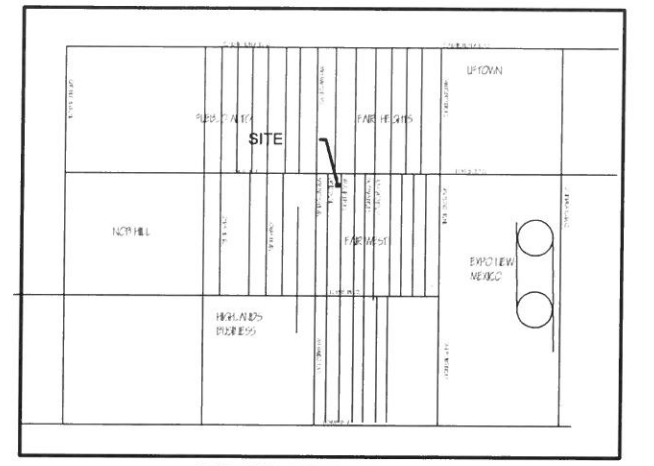


DIFFERENT RACK STYLE MAY BE SUBSTITUTED IF MEET THE FOLLOWING GUIDELINES

FRAME SPECIFICATIONS:
 - NOT TO EXCEED 100 LB. WEIGHT
 - 50" TALL x 18" WIDE (min.)
 - 3/4" x 1/2" x 1/2" CONC. PAD
 - 1" CLEARANCE AROUND BIKE RACK
 - PARKING SPACE - 8' LONG x 2' WIDE (min.)



NOTE: ACCESS AISLE: "NO PARKING" CAPITAL LETTERS 12" HIGH AND 2" WIDE AT REAR OF AISLE
 NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL ARE NOT ALLOWED IN CLEAR SITE TRIANGLE
 NOTE: 4' PEDESTRIAN PATHWAY (per IDO & ADA for < 5 parking spaces & residential)



NOTE: Must meet ANSI/A117.5 307 thru 307.5
 Sign must include "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]*
 Date: 7/24/2020

SCOPE OF WORK
 INTERIOR REMODEL:
 Interior remodel of an existing residential home to a new 5-bed ICF-IDD facility to meet all state code requirements for the State of New Mexico

PROJECT DATA:
 PROJECT ADDRESS: 617 MADEIRA DR. N.E. ALBUQUERQUE, NM 87108
 OWNER INFO: Great Livin LLC 2901 Juan Tabo Suite 208 ALBUQUERQUE, NM 87112
 ZONED R1-C
 Permitted uses: Community Residential (Small)



BUILDING CODES:
 International Building Code (2015)
 International Residential Code (2015)
 New Mexico Electrical Code (2014)
 New Mexico Plumbing and Mechanical Code (2012)
 I: Assisted Living Facility Type II

BUILDING DATA:
 Proposed Building Use: 2,773 SQ. FT.
 Proposed Building Type: 3,172 SQ. FT.
 Existing Building Area Heated: 3,573 SQ. FT.
 New Heated Area:
 New Total Area:

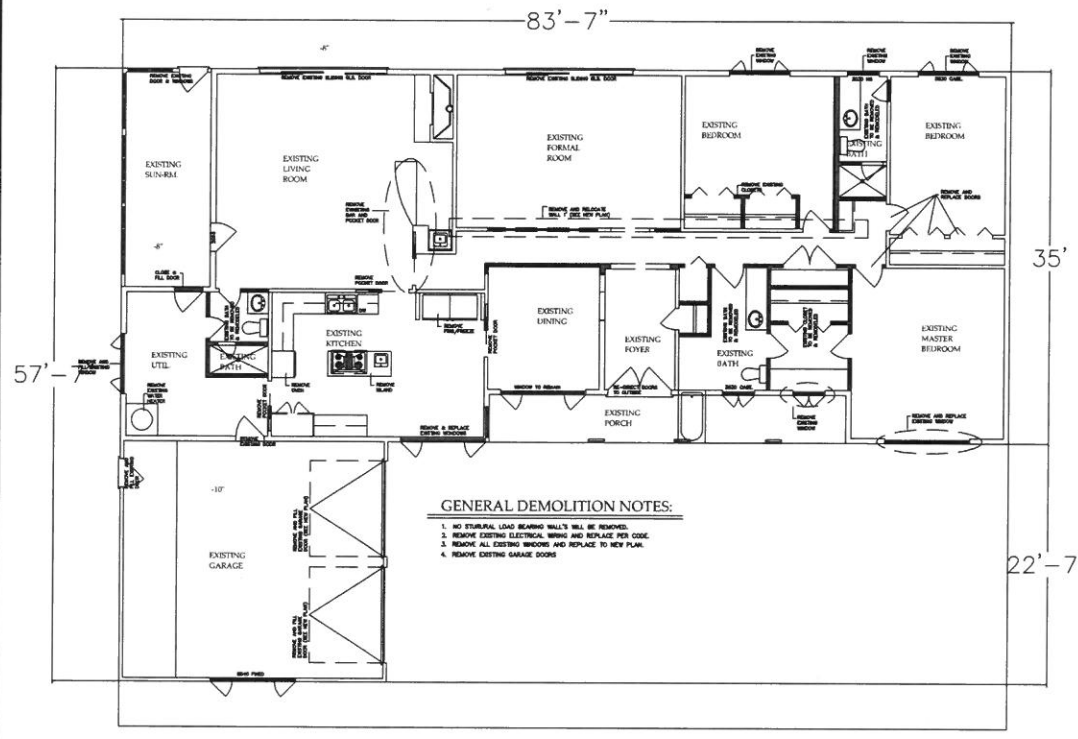
OCCUPANT LOAD DATA:
 Total Occupant Load Calculations:
 NEW BLDG. AREA = 3,172 S.F. = 1
 Bed 1 147 sq. ft. = 1
 Bed 2 130 sq. ft. = 1
 Bed 3 147 sq. ft. = 1
 Bed 4 190 sq. ft. = 1
 Bed 5 180 sq. ft. = 1
 TOTAL = 5

TOTAL OCCUPANT LOAD = 5
 ALTERNATING STAFF PER ASSIGNED TIMES

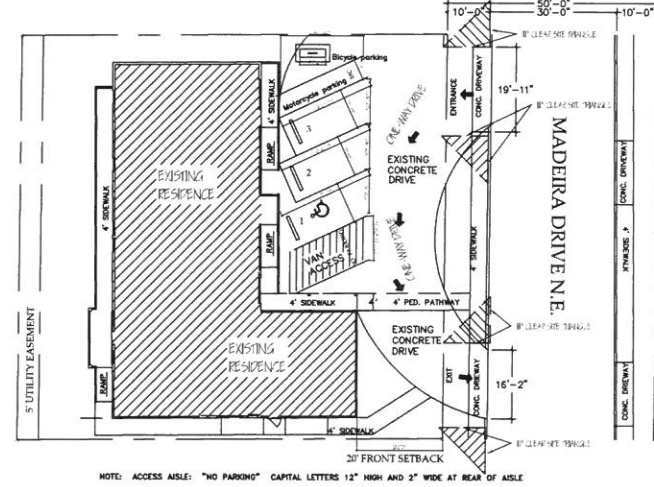
SETBACKS:	REQ'D	PROVIDED
FRONT	20'	20'
SIDE	5'	5'
SIDE	5'	6.75'
REAR	15'	21.5'

PARKING:
 IDO REQ'D PROVIDED
 Auto = (1 per 4 design capacity) = 2 spaces + ADA van = 3
 Bicycle = 1 space 1
 Motorcycle = 1 space 1

30° DIAGONAL PARKING DIMENSIONS (as shown per DTM)



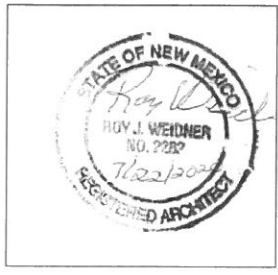
GENERAL DEMOLITION NOTES:
 1. NO STRUCTURAL LOAD BEARING WALLS WILL BE REMOVED.
 2. REMOVE EXISTING ELECTRICAL WIRING AND REPLACE PER CODE.
 3. REMOVE ALL EXISTING FINISHES AND REPLACE TO NEW PLAN.
 4. REMOVE EXISTING GARAGE DOORS



NOTE: ACCESS AISLE: "NO PARKING" CAPITAL LETTERS 12" HIGH AND 2" WIDE AT REAR OF AISLE
 NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL ARE NOT ALLOWED IN CLEAR SITE TRIANGLE

SCOPE OF SITE WORK:
 - PAINT AND STRIPE PARKING ON EXISTING CONC. DRIVEWAY
 - NO WORK IS PROPOSED WITHIN PUBLIC RIGHT OF WAY
 - CURB CUTS ARE EXISTING - NO ADDITIONAL WORK PROPOSED
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER
 - PROPOSED PARKING AND DRIVE IS EXISTING CONCRETE
 - TRAFFIC CIRCULATION IS WITHIN EXISTING PRIVATE DRIVEWAY
 - DRAINAGE TRANSPORTATION INFORMATION
 - ALL EXISTING SURFACES "NO ADVERSE IMPACT"
 - NO STORM DRAIN IMPROVEMENTS TO EXISTING SITE

DRAWING INDEX
 ARCHITECTURAL
 A1: Cover Sheet/ Existing Plan/ Demo.
 A2: New Interior Remodel & Porch Add.
 A3: Ada Detail Sheet
 A4: Exterior Elevations/ Roof Framing
 A5: Electrical Layout
 A7: Site Plan



PROJECT:	ROY WEIDNER ARCHITECTURE 1024 PRACTILLIANO SANTA FE, NM 87505 ph: 473-5792 cell: 699-2245		DESIGN: A-1
	DESIGN:	APPROVED: <i>[Signature]</i>	
PROJECT:	GREAT LIVIN LLC 617 MADEIRA DRIVE ALBUQUERQUE, NM		DRAWN BY: <i>[Signature]</i>
	DESIGN:	APPROVED: <i>[Signature]</i>	
TITLE:	SITE PLAN & DEMO PLAN		