

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 13, 2022

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

Re: 314 Arizona St. SE
Grading and Drainage Plan
Engineers Stamp Date 9/22/2021 (K18D110)
CO Certification Dated: 3/21/2022

Mr. Soule

PO Box 1293

Albuquerque

Based on the Certification received on 3/21/2022, the site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions please contact me at 924-3986 or at earmijo@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 314 ARIZONA **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOTS 23A FAIRGROUNDS ADDITION
City Address: 314 ARIZONA

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

Check all that Apply:

DEPARTMENT:
☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:
☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

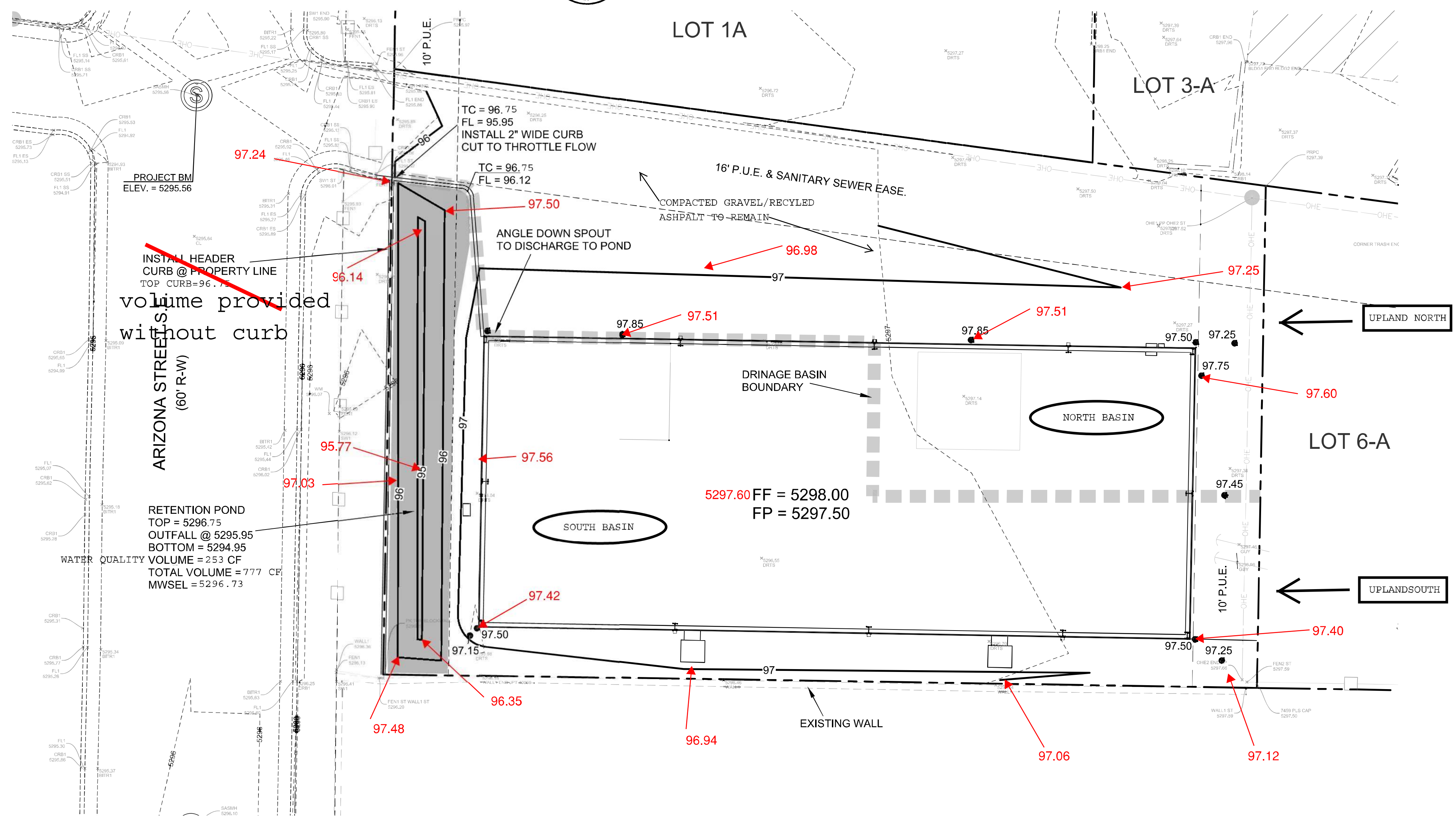
DATE SUBMITTED: _____ **By:** _____

COA STAFF:

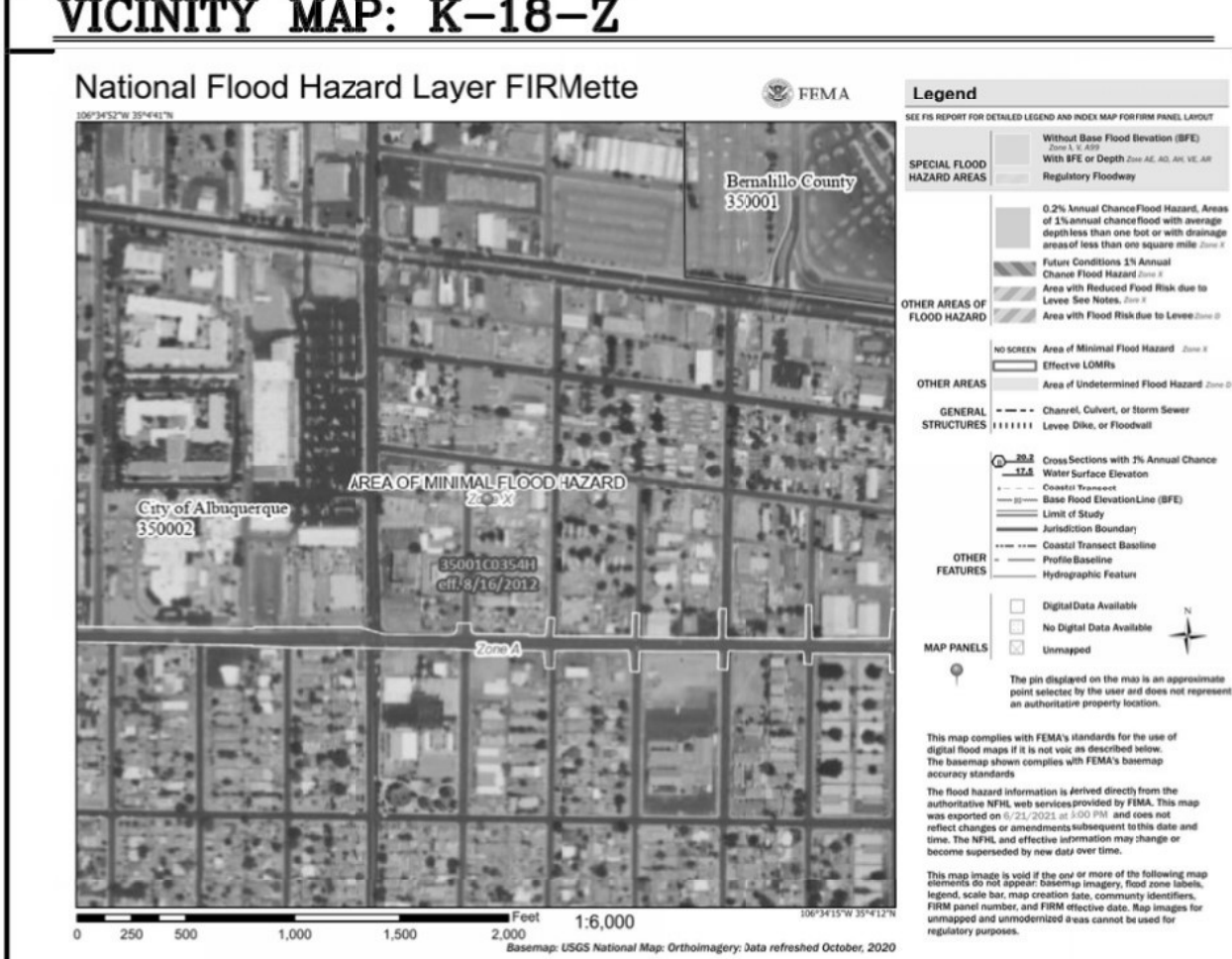
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

I David Soule, NMPE 14522 , of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 9/22/21. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by LORENZO DOMINGUEZ #10461. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose



- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



FIRM MAP:

LEGAL DESCRIPTION:
LOT 23A FAIR GROUNDS ADDITION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

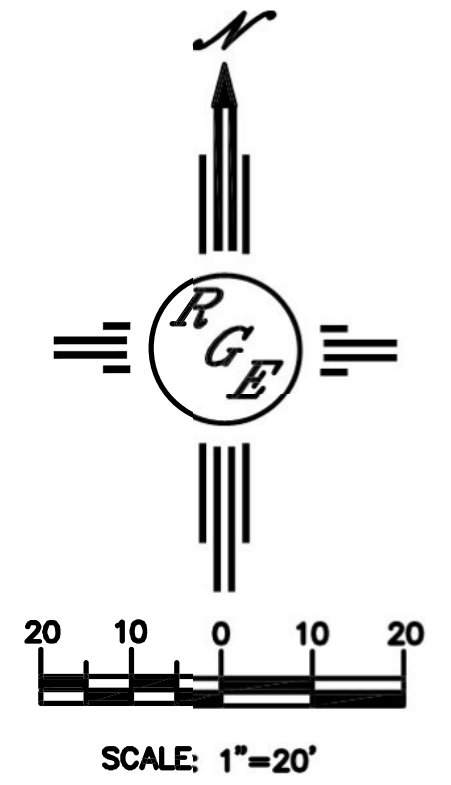
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
+	EXISTING SPOT ELEVATION
•	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	ADJACENT BOUNDARY
---	EXISTING CURB AND GUTTER
---	DRAINAGE BASIN BOUNDARY

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

As-Built

02/21/2022

LORENZO E. DOMINGUEZ #10461



ENGINEER'S SEAL	LOT 23A FAIR GROUNDS ADDITION 314 ARIZONA STREET S.E.	DRAWN BY DEM
DAVID SOULE NMPE 14522 REGISTERED PROFESSIONAL ENGINEER	GRADING AND DRAINAGE PLAN	DATE 6-24-21
9/22/21 6/24/21	Rio Grande Engineering PO BOX 93824 ALBUQUERQUE, NM 87189 (505) 321-9009	LOT 23A FAIR GROUNDS ADDITION, DWG
DAVID SOULE P.E. #14522		SHEET # C1
		JOB #

[illegible]

BASIN DATA														
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Q100	Q100	WATER QUALITY	WATER QUALITY
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	GENERATED	DISCHARGED	REQUIRED	PROVIDED
EXISTING LOT	11609.00	0.267	0%	0	0%	0.000	90%	0.2399	10%	0.027	0.85	2.66*		
UPLAND NORTH	8220.00	0.189	0%	0	0%	0.000	72%	0.1359	28%	0.053	0.65	0.65		
UPLAND SOUTH	15211.00	0.349	0%	0	0%	0.000	80%	0.2794	20%	0.070	1.16	1.16		
NORTH BASIN	9150.00	0.210	0%	0	0%	0.000	64%	0.1344	36%	0.076	0.75	1.4*	71	
SOUTH BASIN	6061.00	0.139	0%	0	6%	0.008	33%	0.0459	61%	0.085	0.54	1.39*	80	777
PROPOSED LOT												2.66**		

*DISCHARGE INCLUDED INCLUSION OF UPLAND FLOW IMPACTED

** SITE DISCHARGE CALCULATED UTILIZING AHYMO. THE DETENTION PONDS HAVE DIFFERENT Tp THEREFORE THE CUMULATIVE DISCHARGE IS SLIGHTLY LESS THAT THE SUMMATION OF EACH BASIN

Narrative

The subject property is located within a fully developed area of SE Albuquerque. All down stream drainage improvements have been completed. This is a redevelopment of an site that accepts 1.81 cfs from upland properties. The existing site generates a peak discharge of .85 cfs. The combined flow rate leaving this site to Arizona Avenue is 2.66 cfs. The proposed improvements consist of 2 onsite basins, the north basin accepts .65 cfs from upland flow and generates .75 cfs, free discharging 1.4 cfs to Arizona. This basin has a water quality treatment volume requirement of 71 cf. The southern basin accepts 1.16 cfs from the upland basins and generates.54 cfs. This basin has a water quality treatment volume requirement of 80 cf This combined flow is routed through a detention pond. The peak flow leaving this pond is 1.39 cfs. The compined flow discharging this site in the proposed condition is 2.66 cfs which matches the historical. A fee in lieu of \$568 shall be paid for untreated first flush volume from north basin

*** REDEVELOPMENT 0.26 INCHES PER SF IMPERVIOUS

BCSO beats obtained from Bernalillo County GIS | agis - agis@cabq.gov | city o...

VOLUME CALCULATIONS

AREA SF	VOLUME PER UNIT	VOLUME CUMULATIVE	VOLUME AC-FT	Q (CFS)
36.0000				
470.0000	253.0000	253.0000	0.006	0.00
840.0000	524.0000	777.0000	0.018	1.41

<div> <div>ENGINEER'S SEAL</div> <div> </div> <div>DAVID SOULE P.E. #14522</div> </div>	<div> <div>LOT 23A FAIR GROUNDS ADDITION</div> <div>314</div> <div>ARIZONA STREET S.E.</div> </div> <div> <div>CALCULATION SHEET</div> <div> </div> </div>	<div>DRAWN BY DEM</div> <div>DATE 6-24-21</div> <div>LOT 23A FAIR GROUNDS ADDITION DWG</div>
		<div>SHEET # C2</div> <div>JOB #</div>

9/22/21

6/24/21

DAVID SOULE

P.E. #14522

PO BOX 93924

ALBUQUERQUE, NM 87199

(505) 321-9099