

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

July 9, 2021

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: Central Mercado
201 San Pedro SE
Grading and Drainage Plan
Engineer's Stamp Date: 06/11/21
Hydrology File: K18D111**

Dear Mr. Soule:

PO Box 1293

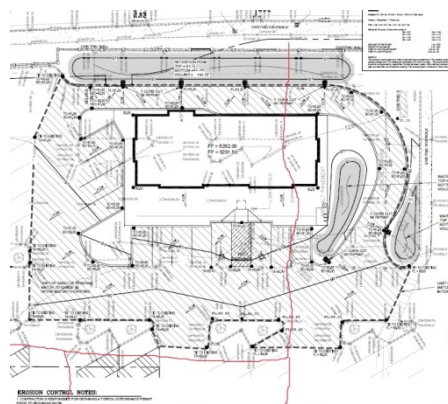
Based upon the information provided in your submittal received 06/14/2021, the Grading and Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

NM 87103

www.cabq.gov

1. There will need to be a replat of the property. There is a property line going through the proposed building. A Building Permit will not be issued for a building with a property line through it. The plat will have to be submitted to the DRB (Development Review Board) for approval.



2. The drawing shows and labels an existing retaining wall. However a street view taken February 2021 does not show this existing wall. It appears that this does not exist. With this and the lot line issues, I question the existing survey information. Please provide a more accurate survey.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: CENTRAL MERCADO CC **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: LOT 4-B CENTRAL MERCADO

City Address: 201 SAN PEDRO SE

Applicant: PETERSON PROPERTIES

Contact: _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING

Contact: DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

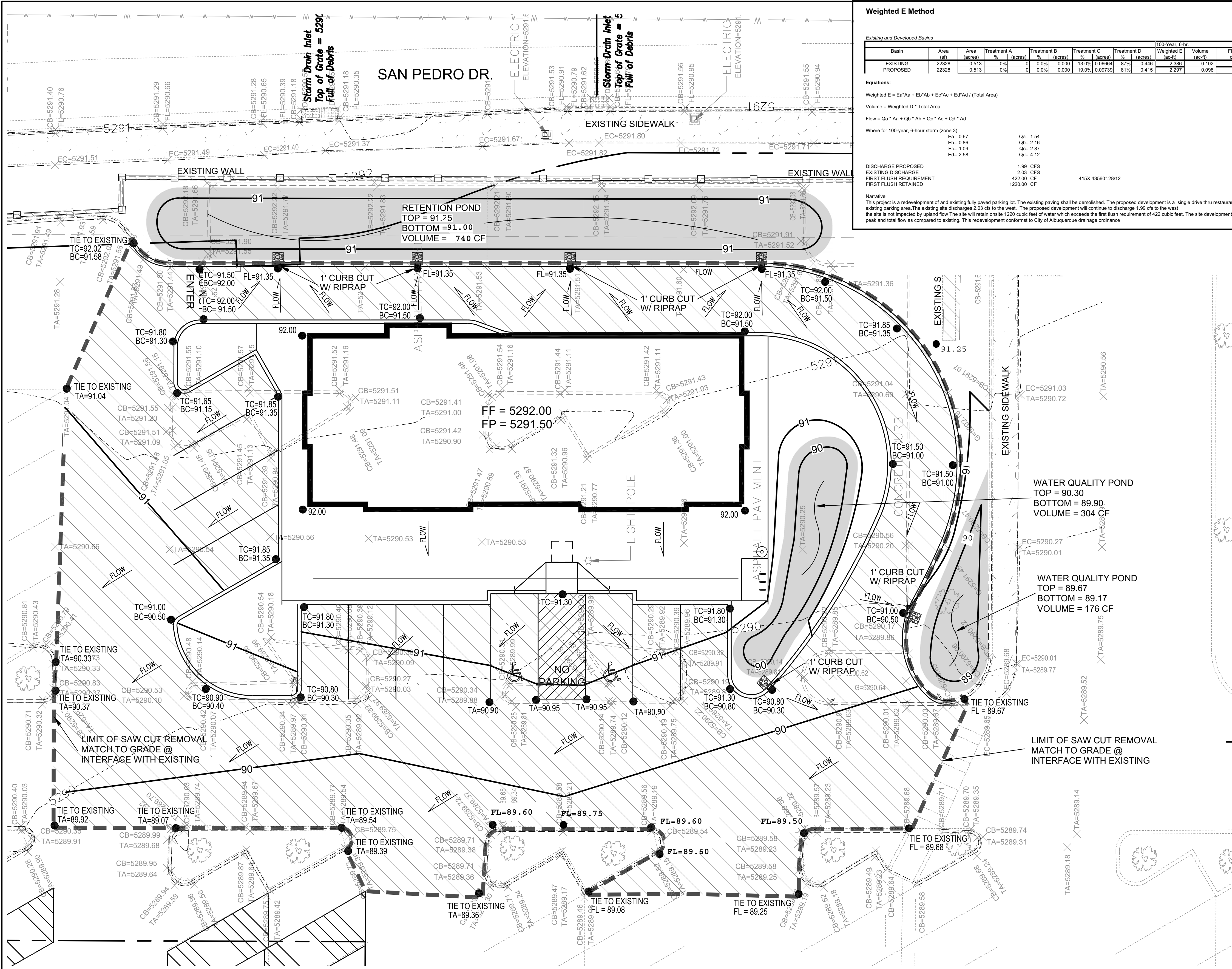
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



Weighted E Method

Existing and Developed Basins									
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (sf)	Volume (sf)	Flow cfs
EXISTING	2238	0.513	0%	0.0%	0.000	13.0%	0.0664	0%	0.102
PROPOSED	2238	0.513	0%	0.0%	0.000	19.0%	0.09735	81%	0.415

Equations:

Weighted E = Ea* Aa + Eb* Ab + Ec* Ac + Ed* Ad / (Total Area)

Volume = Weighted E * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm (zone 3)

Ea= 0.67
Eb= 0.86
Ec= 1.09
Ed= 2.58

Qa= 1.54
Qb= 2.16
Qc= 2.87
Qd= 4.12

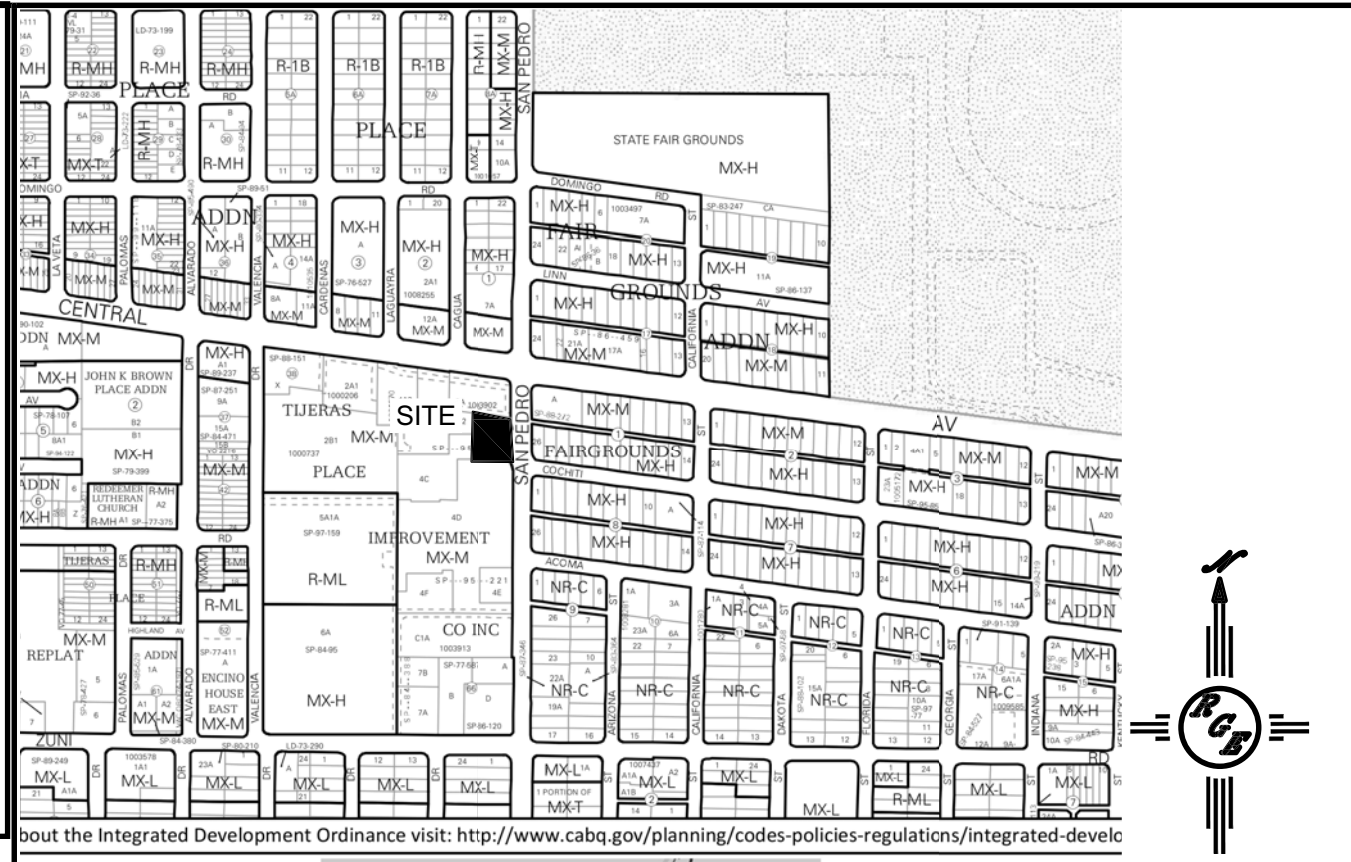
DISCHARGE PROPOSED
EXISTING DISCHARGE
FIRST FLUSH REQUIREMENT
FIRST FLUSH RETAINED

1.99 CFS
2.33 CFS
422.00 CF
1220.00 CF

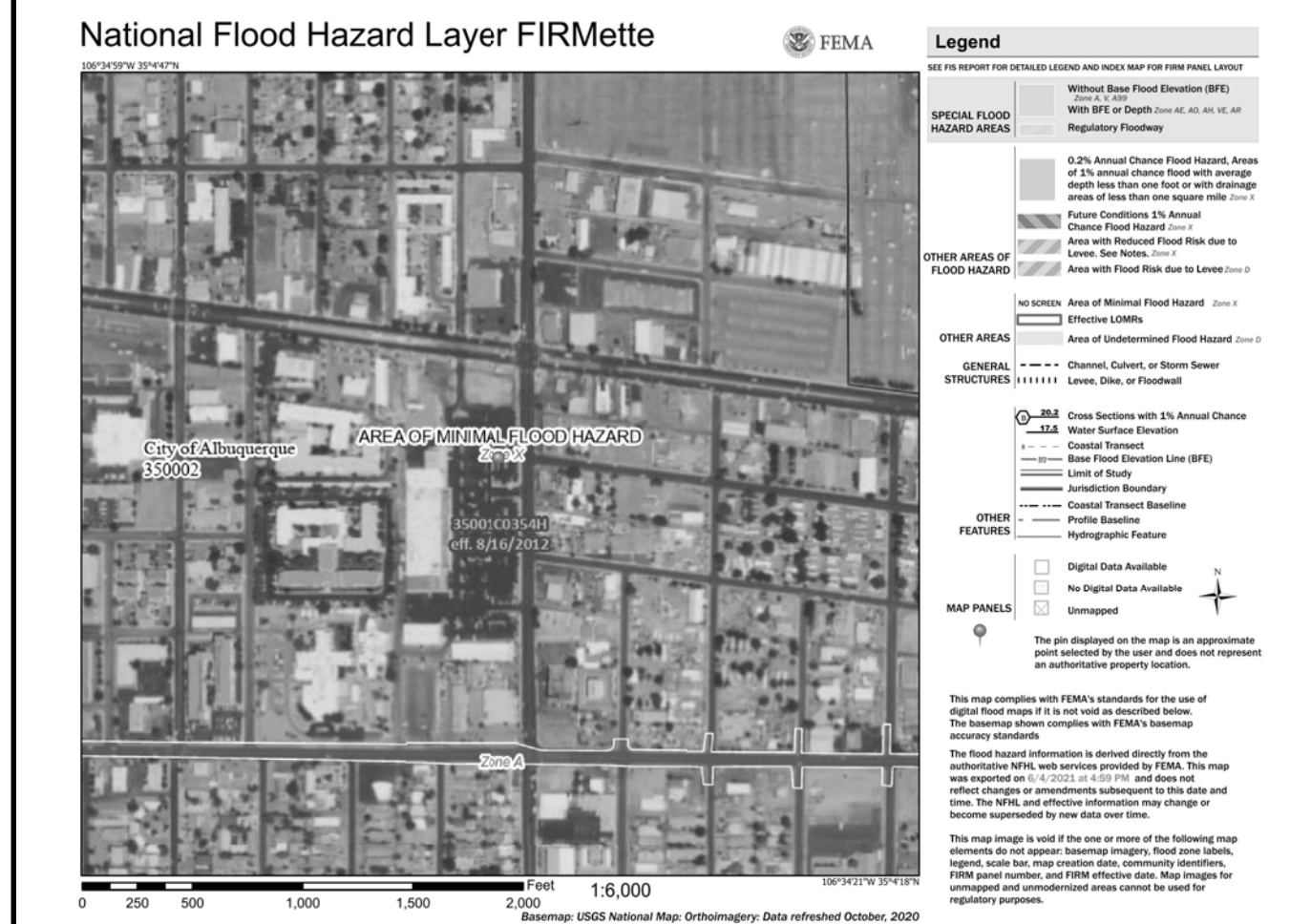
= .415X 43560' 2812

Narrative

This project is a redevelopment of existing fully paved parking lot. The existing paving shall be demolished. The proposed development is a single drive thru restaurant within existing parking area. The existing site discharges 2.03 cfs to the west. The proposed development will continue to discharge 1.99 cfs to the west the site is not impacted by upland flow. The site will retain onsite 1220 cubic feet of water which exceeds the first flush requirement of 422 cubic feet. The site development will red peak and total flow as compared to existing. This redevelopment conforms to City of Albuquerque drainage ordinance



VICINITY MAP: K-18-Z



FIRM MAP:

LEGAL DESCRIPTION:

LOT 4-B CENTRAL MERCADO
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

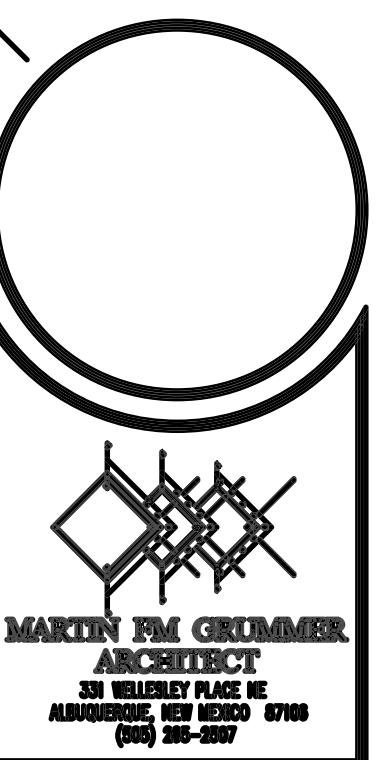
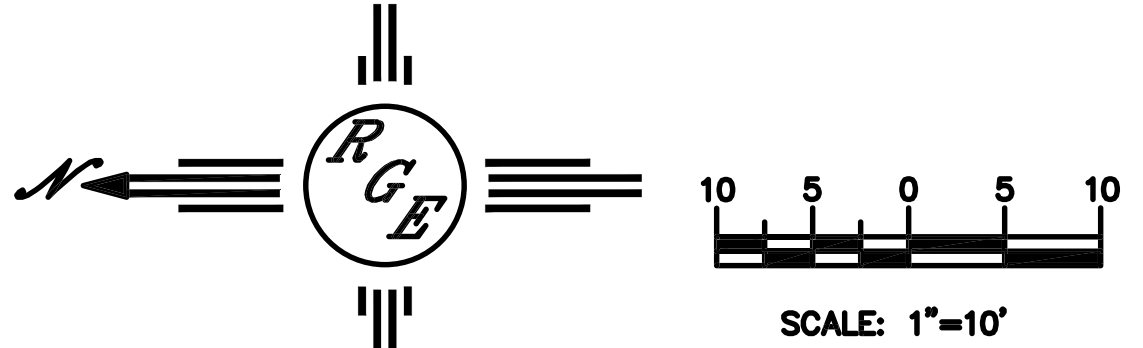
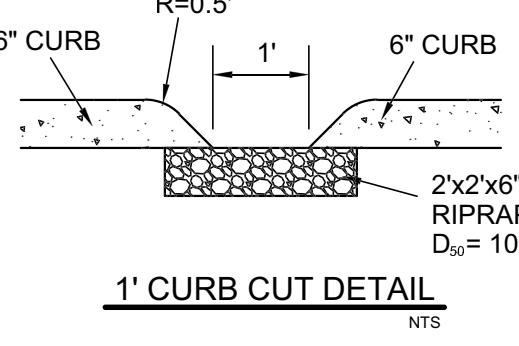
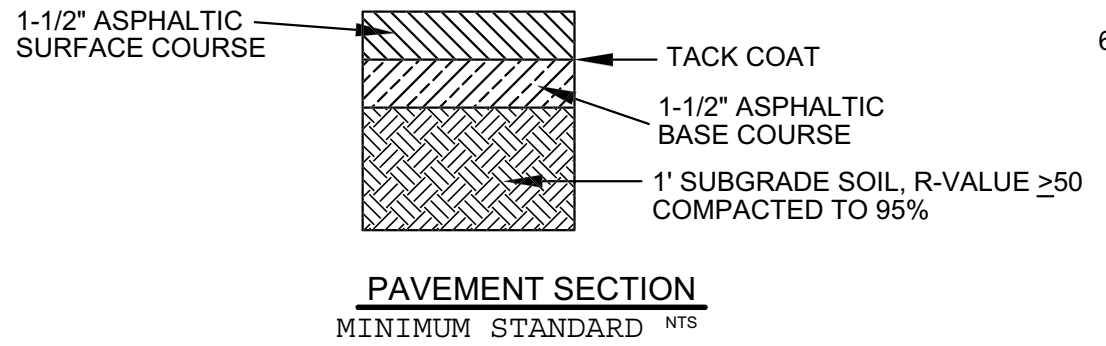
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED TOP OF CUB ELEVATION
- PROPOSED BOTTOM OF CUB ELEVATION
- PROPOSED TOP OF ASPHALT ELEVATION
- PROPOSED FLOWLINE ELEVATION
- PROPOSED DRAINAGE FLOW DIRECTION
- BOUNDARY
- EXISTING EASEMENT
- EXISTING CURB AND GUTTER
- LIMIT OF SAW CUT REMOVAL
- PROPOSED PONDING AREA
- PROPOSED ASPHALT SEE PAVEMENT SECTION

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

CAUTION:

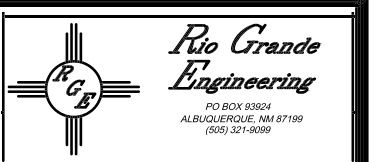
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



CENTRAL MERCADO BLDG CC
CENTRAL & SAN PEDRO SE
ALBUQUERQUE, NM 87108
LOT 4-B CENTRAL MERCADO
201, 301 SAN PEDRO DR. SE

DATE: 9 JUNE 2021
DRAWN BY: DEM
CHECKED BY: DS
VERIFIED BY: DS

REVISIONS	



SHEET NO:
C1