

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

November 18, 2022

Xavier Nuno, RA  
DezignX  
879 Sliver Ave. SW  
Albuquerque, NM 87102

**Re: MCI Auto Sales**  
**6420 Central Ave. SE**  
**Traffic Circulation Layout** K18-D113  
Architect's Stamp 03-16-2022 (K18-D113)

Dear Mr. Nuno,

The TCL submittal received 10-28-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

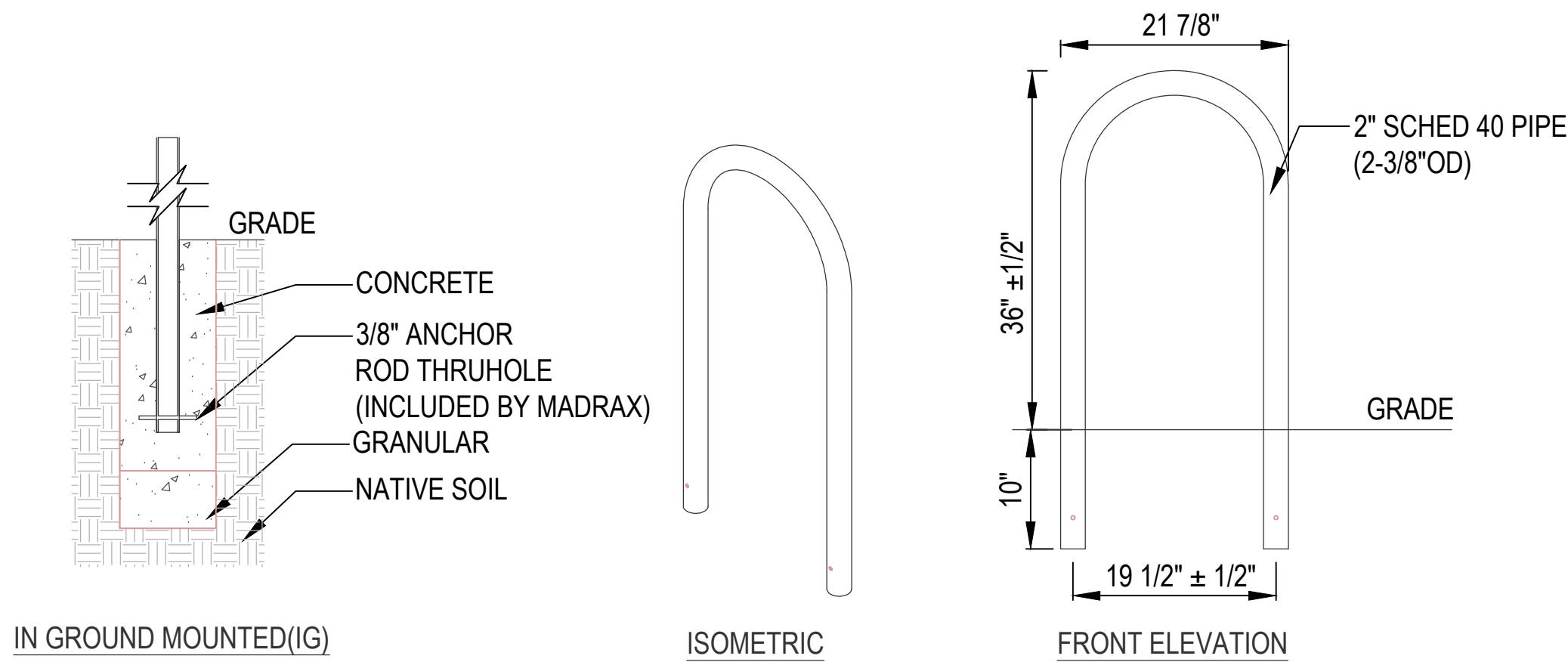
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File

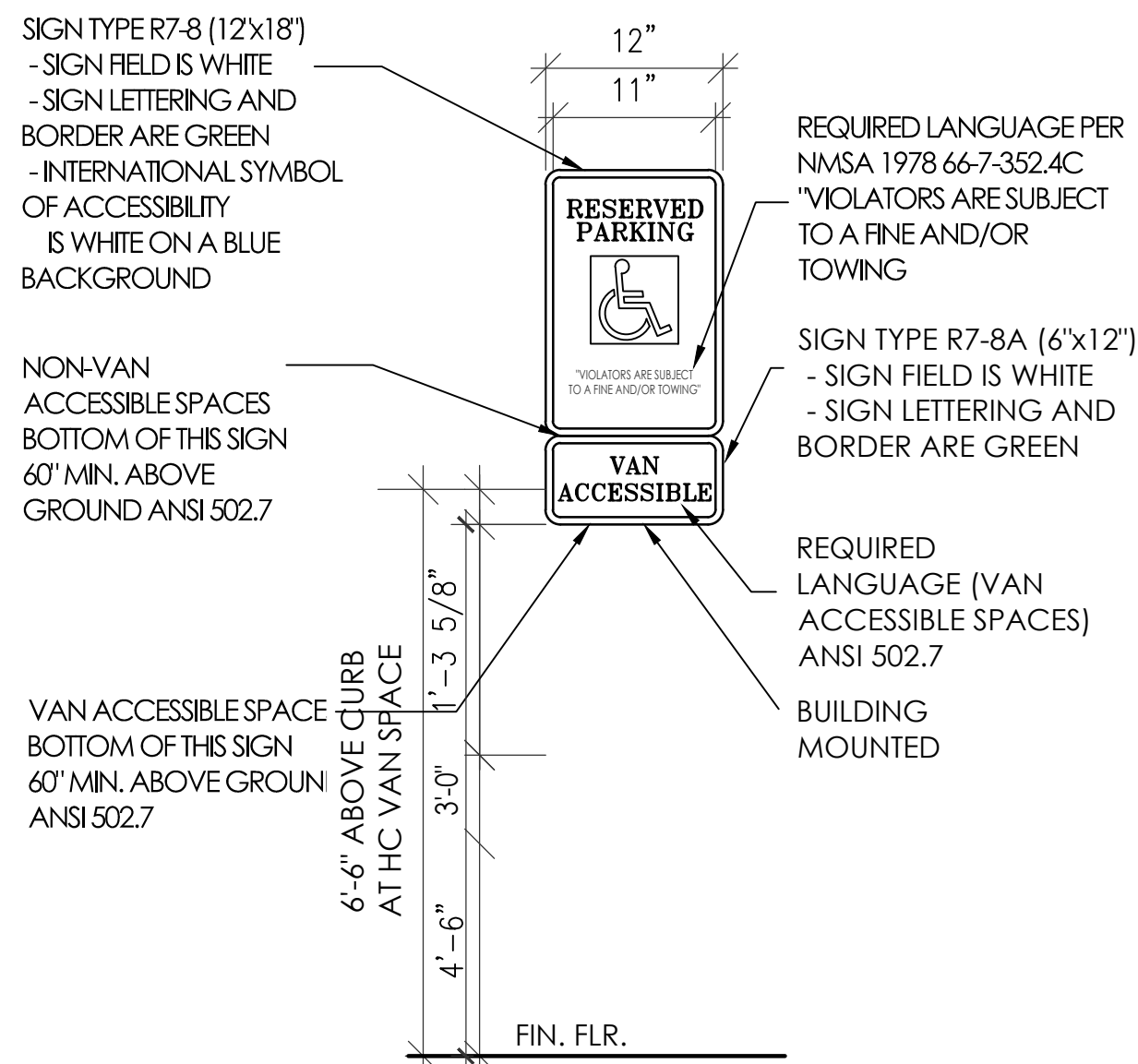


**C BICYCLE RACK DETAIL**  
SCALE: 1"=1'-0"

**TRAFFIC CIRCULATION  
LAYOUT APPROVED**

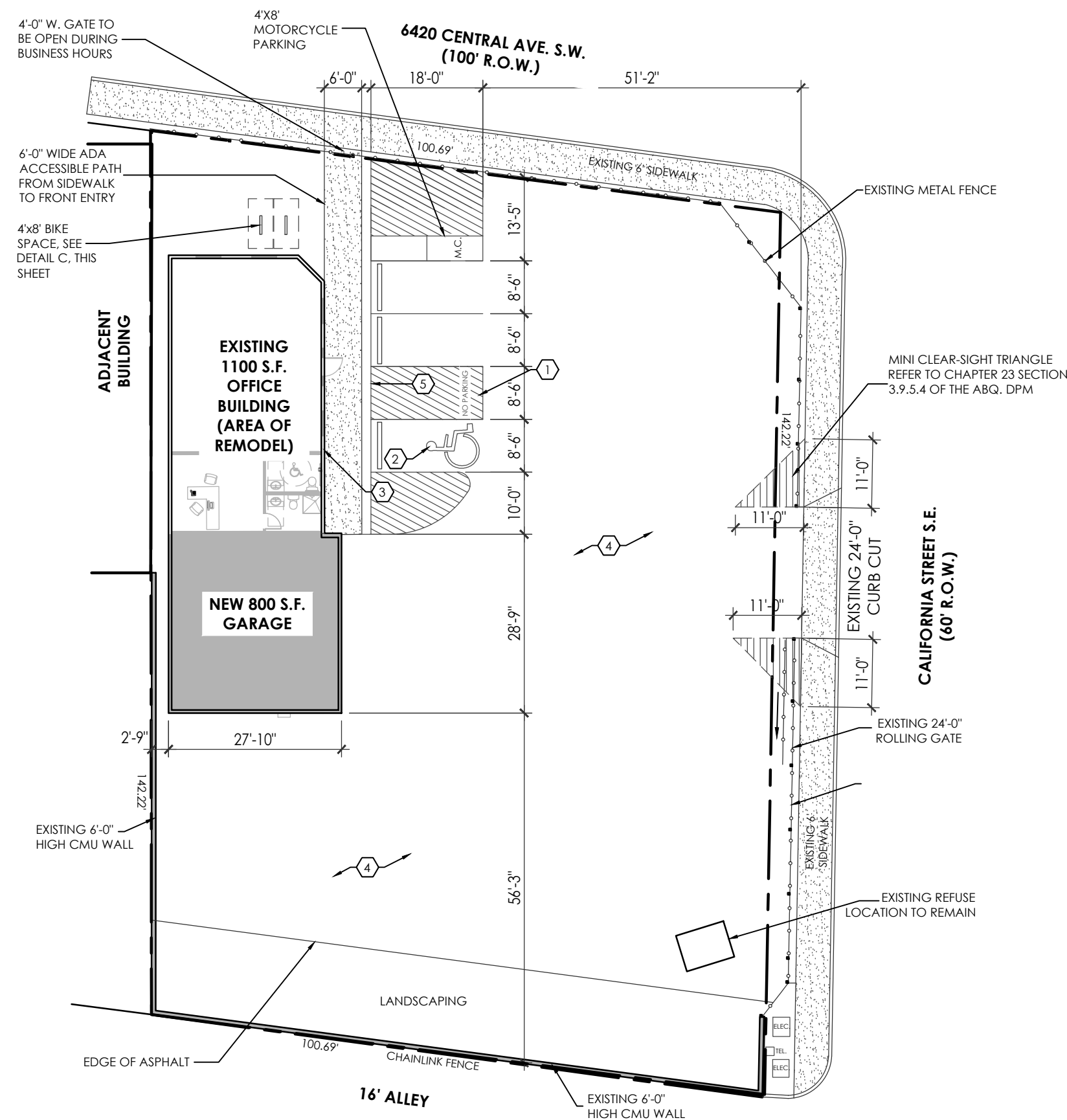
*Ernest Armijo* 11/18/2022  
Signed Date

- KEYED NOTES**
- HANDICAP ACCESSIBLE AISLE STRIPING PER LOCAL CITY CODE & STANDARDS WITH THE WORD "NO-PARKING" MIN. 12" HIGH 2" STROKE, BLUE COLOR, 4" WIDE WHITE STRIPPING @ 1'-6" O.C. AT 45° ANGLE, TYPICAL
  - INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE, SYMBOL SHALL BE COLOR WHITE ON BLUE BACKGROUND
  - INSTALL WALL MOUNTED ACCESSIBLE PARKING SIGN AT ALL ACCESSIBLE SPACES. SEE DETAIL B/AS-1
  - EXISTING ASPHALT PAVING THROUGHOUT PARKING LOT
  - ASPHALT IS FLUSH WITH EXISTING SIDEWALK IN THIS AREA
- TCL NOTES:**
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
  - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
  - REFUSE VEHICLE MANEUVERING SHALL BE CONTAINED ON-SITE. THE REFUSE VEHICLE SHALL NOT BACK INTO THE PUBLIC RIGHT AWAY.



**B ACCESSIBLE PARKING SIGN DETAIL**  
SCALE: 1"=1'-0"

PARKING CALCULATIONS	
REQUIRED SPACES: PER CABQ IDO 2021 ZONING: MX-M USE: LIGHT VEHICLE SALES & RENTALS = 2 SPACES / 1,000 S.F. GFA = 2 SPACES REQUIRED ACCESSIBLE PARKING SPACES REQUIRED = 1 (VAN ACCESSIBLE)	
PARKING SPACES PROVIDED: REGULAR PARKING SPACES = ACCESSIBLE PARKING SPACES = TOTAL SPACES PROVIDED =	3 SPACES PROVIDED 1 SPACES PROVIDED 4 SPACES PROVIDED
MOTOCYCLE SPACES: BICYCLE PARKING:	1 PROVIDED 2 SPACE BIKE RACK PROVIDED
GENERAL NOTES	
A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED. B. PREMISE IDENTIFICATION - SHALL BE MINIMUM 24 INCHES HIGH x .5 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.	



**A NEW SITE PLAN**  
SCALE: 1"=20'  
0' 10' 20' 30' 40'  
BAR SCALE IN FEET