

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 11, 2023

Jeffrey T. Wooten, P.E.  
Wooten Engineering  
PO Box 15814  
Rio Rancho, NM 87174

**RE: District 505 Tower 10 Apartments  
300 San Mateo Blvd. NE  
Grading and Drainage Plans  
Engineer's Stamp Date: 07/9/2024  
Hydrology File: K18D114**

Dear Mr. Wooten:

PO Box 1293  
Albuquerque  
Based upon the information provided in your submittal received 07/09/2024, the Grading & Drainage Plan **is approved** for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

NM 87103  
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov  
If you have any questions, please contact me at 924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: District 505 Tower 10 Apartments Hydrology File # K18/D086  
Legal Description: Parcels B, D, and E, Block 20  
City Address, UPC, OR Parcel: 300 San Mateo NE

Applicant/Agent: Wooten Engineering Contact: Jeffrey T. Wooten  
Address: PO Box 15814, Rio Rancho, NM 87174 Phone: \_\_\_\_\_  
Email: jeffwooten.pe@gmail.com

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Email: \_\_\_\_\_

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) \_\_\_\_\_ ☐ RESIDENCE  
☐ DFT SITE ☒ ADMIN SITE

RE-SUBMITTAL: ☒ YES ☐ NO

DEPARTMENT: ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

### TYPE OF SUBMITTAL:

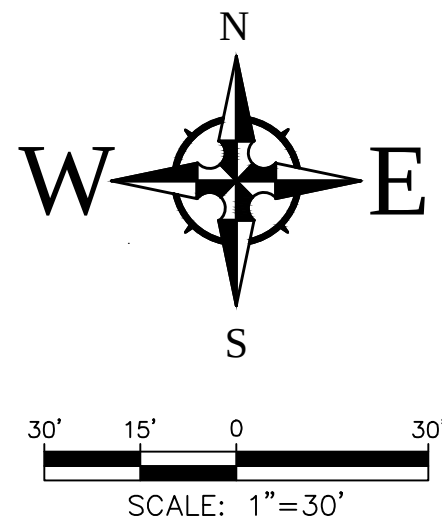
- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☒ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (Temporary)
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: June 8, 2024





CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTE: NEW SIDEWALK CULVERTS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED VIA SO-19 PERMIT.

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 7/11/2024  
BY: [Signature]  
HydroTrans #: K18D114  
THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSIDERED AN ENDORSEMENT OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM ADVISING THE CONTRACTOR OF CHANGES IN PLANS, SPECIFICATIONS OR CONDITIONS. NO ALTERATIONS SHALL BE MADE WITHOUT THE CITY'S WRITTEN AUTHORIZATION.  
APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

LEGEND

- 27.8 ← FLOW ARROW  
FL27.8 ← PROPOSED TOP OF GRADE/PVMT ELEVATIONS  
TC27.8 ← PROPOSED FLOW LINE/GUTTER ELEVATIONS  
TS27.8 ← PROPOSED TOP OF CURB ELEVATIONS  
TS27.8 ← PROPOSED TOP OF SIDEWALK ELEVATION  
(1.11) FGH83.40 ← FINISHED GRADE AT TOP OF WALL  
FGL83.40 ← FINISHED GRADE AT BOTTOM OF WALL  
- S15 - ← EXISTING CONTOUR  
- S15 - ← PROPOSED CONTOUR  
- - - - - ← EXISTING STORM DRAIN

Private Drainage Facilities within City Right-of-Way  
Notice to Contractor  
(Special Order 19 ~ "SO-19")

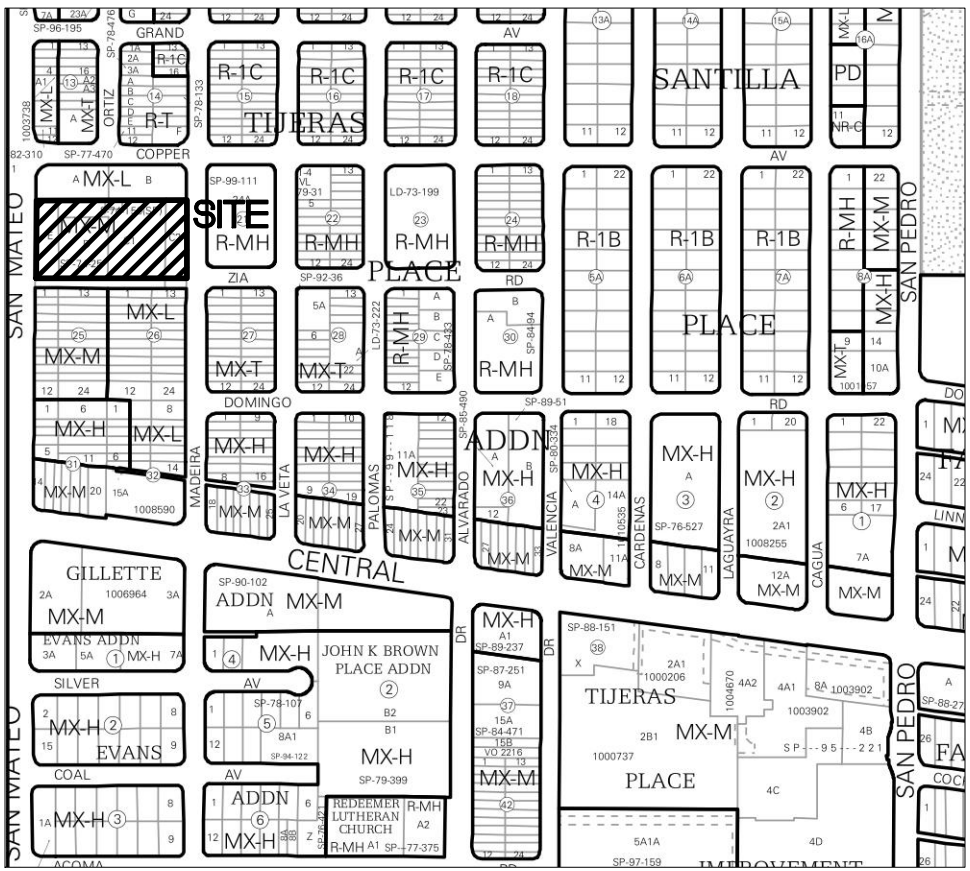
1. Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
2. An excavation permit will be required before beginning any work within City Right-Of-Way.
3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
4. Prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the location of existing utilities.
5. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
6. Backfill compaction shall be 95%.
7. Maintenance of the facility shall be the responsibility of the owner of the property being served.
8. Work on arterial streets may be required on a 24-hour basis.
9. For excavation and barricading inspections, contact DMD Construction Services Division.

NOTES

1. CONTACT STORM MAINTENANCE AT 505-857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING THE SIDEWALK CULVERT.
2. CONTRACTOR MUST CONTACT STORM MAINTENANCE AT 505-857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING & BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT 505-924-3416.

CITY INSPECTOR APPROVAL

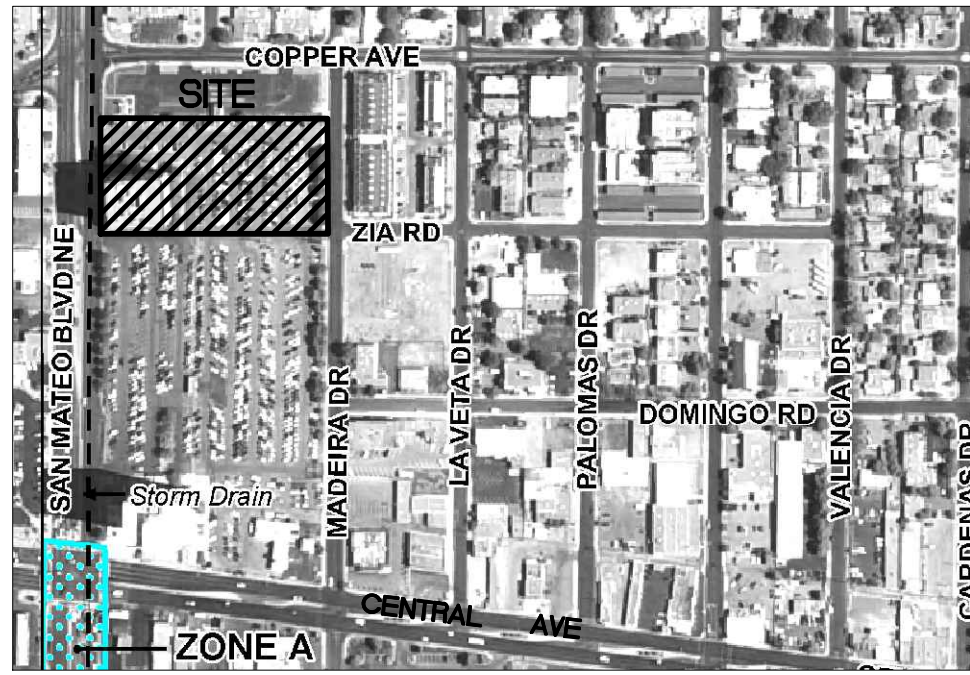
Signature \_\_\_\_\_ Date \_\_\_\_\_



VICINITY MAP - K-18-Z

LEGAL DESCRIPTION:

A Certain Tract of Land Situate within Section 24, Township 10 North, Range 3 East, NM Principal Meridian within City of Albuquerque, Bernalillo County, NM. Comprising all of Parcels "B", "D" and "E" of the Replat showing Parcels "A" through "E", inclusive, comprising all of Block 20, portion of Block 19 together with portions of Vacated Ortiz Dr. NE & Zia Rd. NE of Tijeras Pl Addition.



FIRM MAP 35001C0354H

Per FIRM Map 35001C0354H, dated August 16, 2012, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL, AND/OR A BORROW SITE SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SHPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

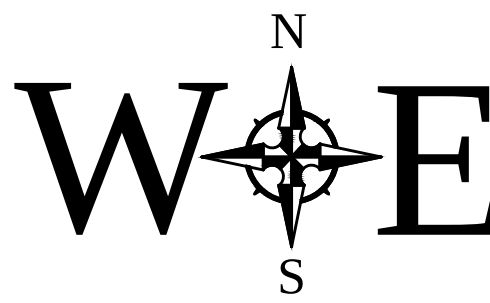
DRB DOCUMENTS

DRAWN BY:  
CHECKED BY:  
DATE : July 9, 2024

REVISIONS

GRADING  
PLAN

C-100



Wooten Engineering  
PO Box 15814  
Rio Rancho, N.M. 87174  
Phone: (505) 980-3560

BENCH MARK  
ACS MONUMENT "14-L17"  
PUB. EL=5319.339' NAVD 1988

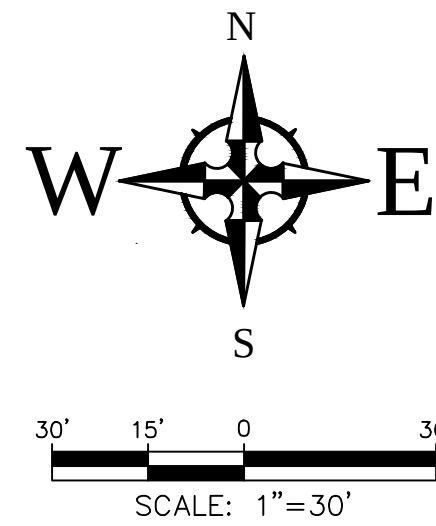
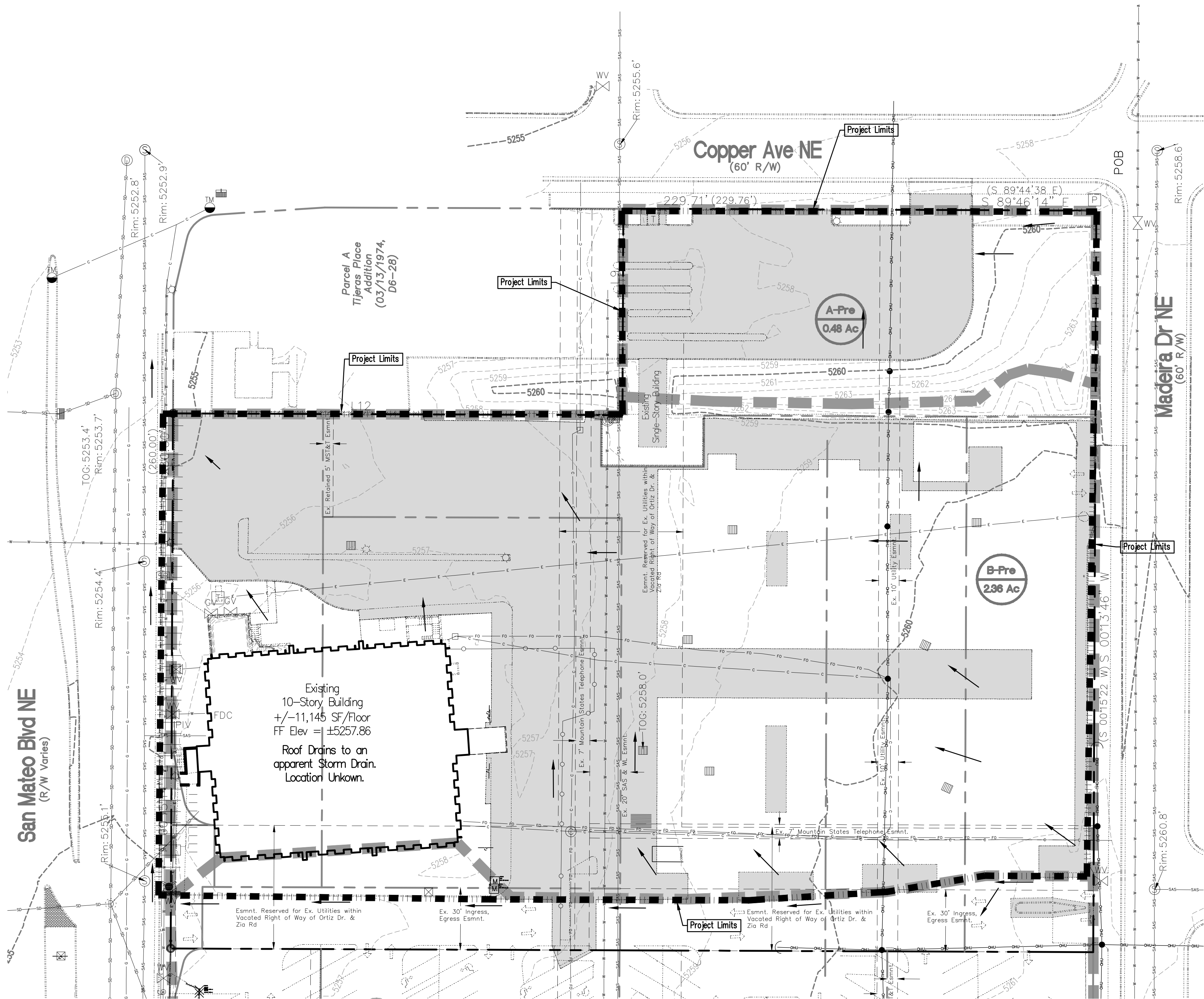
DISTRICT 505  
TOWER 10 APARTMENTS  
300 SAN MATEO BLVD NE  
ALBUQUERQUE, NEW MEXICO 87102



7/9/2024

EQUITERRA, hereby expressly reserves the common law copyright and other property rights in these drawings. These drawings shall not be reproduced without the written permission and consent of EQUITERRA. Nor are they to be assigned to any party without first obtaining written permission and consent from EQUITERRA.





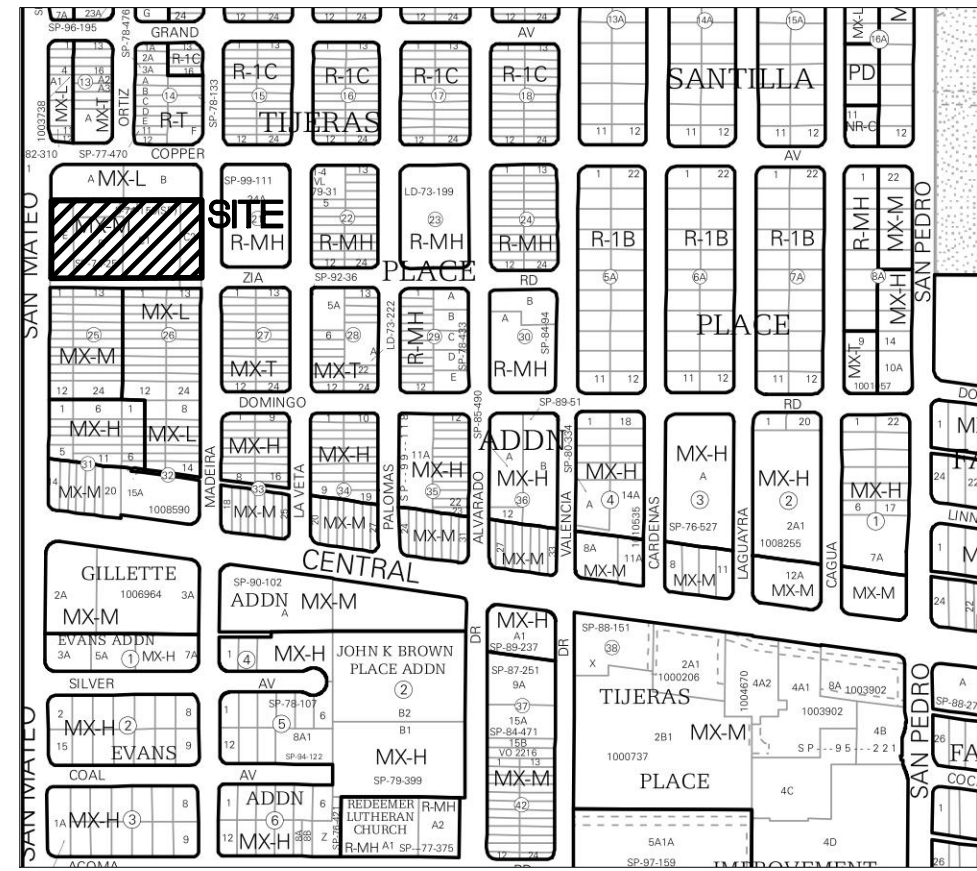
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### LEGEND

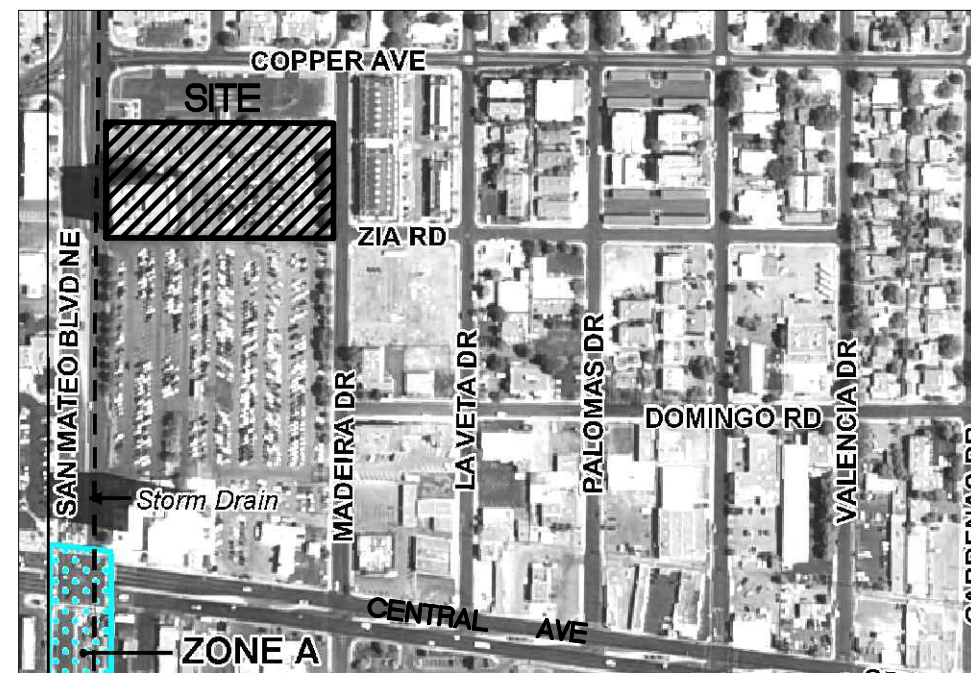
- FLOW ARROW
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM DRAIN
- EXISTING PAVED AREA TO BE REMOVED
- PROJECT LIMITS

TOTAL IMPERVIOUS AREA TO BE REMOVED IS APPROXIMATELY 55,616 SF.



### VICINITY MAP - K-18-Z

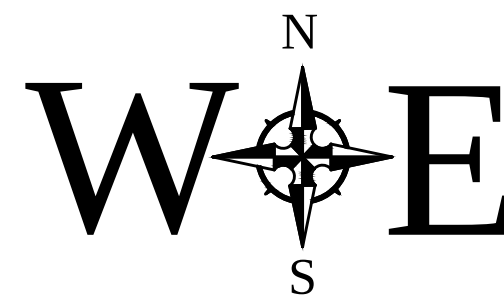
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### FIRM MAP 35001C0354H

Per FIRM Map 35001C0354H, dated August 16, 2012, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

| Pre-Developed Drainage Calculations                         |       |                                |     |      |      |            |       |         |           |        |          |                       |                         |                          |
|-------------------------------------------------------------|-------|--------------------------------|-----|------|------|------------|-------|---------|-----------|--------|----------|-----------------------|-------------------------|--------------------------|
| This table is based on the COA DPM Chapter 6.2 (A), Zone: 3 |       |                                |     |      |      |            |       |         |           |        |          |                       |                         |                          |
| BASIN                                                       | Area  | Land Treatment Percentages (%) |     |      |      | Weighted C | Tc    | I (100) | Q(100)    | Q(100) | WT E     | V(100) <sub>360</sub> | V(100) <sub>10day</sub> | Comments                 |
|                                                             | (AC.) | A                              | B   | C    | D    |            | (min) | (in/hr) | (cfs/ac.) | (CFS)  | (inches) | (CF)                  | (CF)                    |                          |
| A-Pre                                                       | 0.48  | 0.0                            | 0.0 | 25.0 | 75.0 | 0.84       | 12.00 | 4.16    | 3.50      | 1.68   | 2.21     | 3846                  | 6852                    | Surface Drains to Copper |
| B-Pre                                                       | 2.36  | 0.0                            | 0.0 | 10.0 | 90.0 | 0.88       | 12.00 | 4.36    | 3.85      | 9.08   | 2.43     | 20826                 | 38559                   | Sheet Flows to San Mateo |
| TOTAL                                                       | 2.84  |                                |     |      |      |            |       |         |           | 10.76  |          | 24672                 | 45411                   |                          |



Wooten Engineering  
PO Box 15814  
Rio Rancho, N.M. 87174  
Phone: (505) 980-3560

BENCH MARK

ACS MONUMENT "14\_L17"  
PUB. EL=5319.339' NAVD 1988

302 central ave se  
albuquerque, nm 87102  
ph 505.242.2851  
www.equittera.design



DISTRICT 505  
TOWER 10 APARTMENTS  
300 SAN MATEO BLVD NE  
ALBUQUERQUE, NEW MEXICO 87102

DRB DOCUMENTS

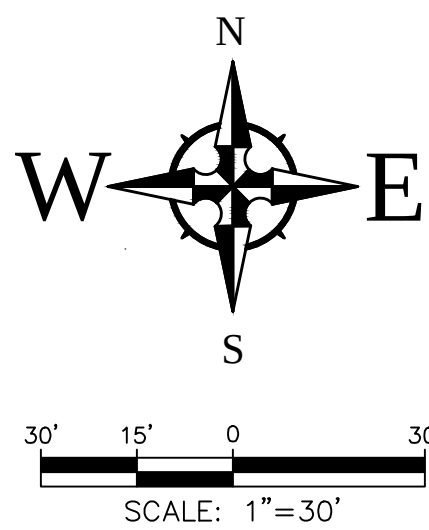
DRAWN BY:  
CHECKED BY:  
DATE : July 9, 2024

REVISIONS

PRE-DEVELOPED  
DRAINAGE  
MANAGEMENT PLAN

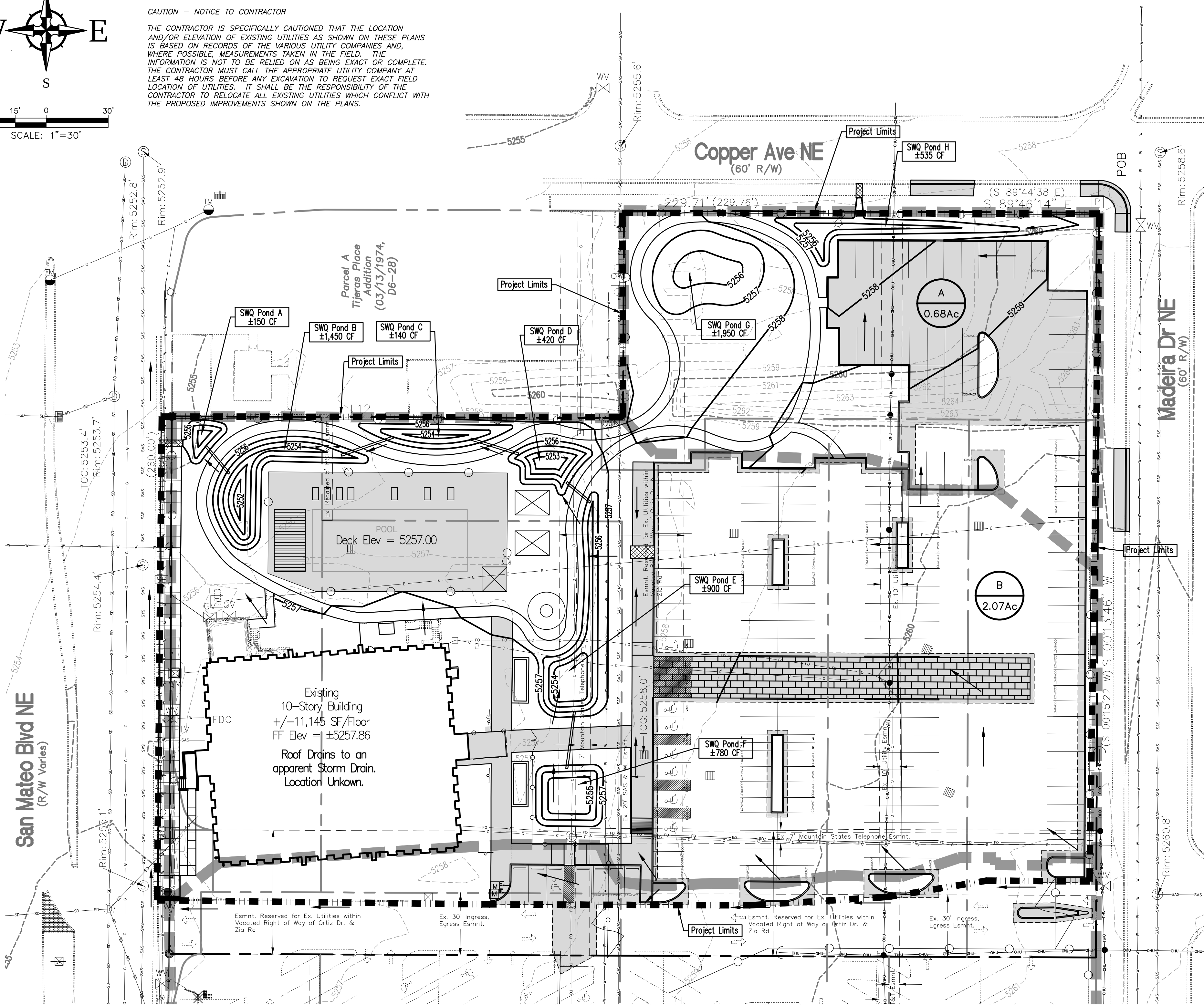
C-101





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DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a Conceptual Drainage Management Plan for the subject site located at 300 San Mateo Blvd NE. The scope of the project involves converting the existing office building into apartments, removing a large portion of the existing parking lot to make room for parking and additional site amenities.

EXISTING HYDROLOGIC CONDITIONS

The site currently drains via sheet flow from southeast to northwest and into San Mateo Blvd. It appears that the existing building's roof is connecting to an existing storm drain; however, no as-built plans can be found that reflect the location and/or size of the pipe.

PROPOSED HYDROLOGIC CONDITIONS

The site will continue to drain from southeast to northwest and into San Mateo Blvd. Per the Drainage Calculation table this sheet, there will be a reduction of 1.72cfs (4,115 Cubic Feet) during the 100-Yr, 6-Hr Storm Event. Stormwater Quality Ponding is being installed per the volumes reflected in plan, this sheet. Each individual pond is labeled with the volume that it contains.

CONCLUSION

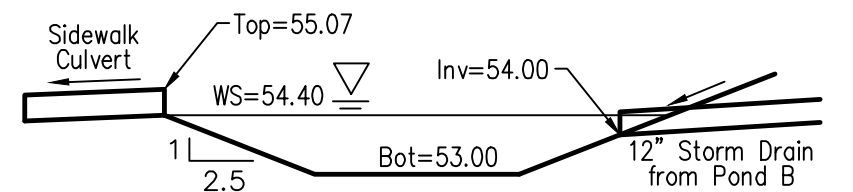
This drainage management plan shows that there will be a significant reduction in runoff from the site as part of the redevelopment project. Furthermore, Stormwater Quality Ponding will be provided on site. With this submittal, we are requesting Building Permit approval.

BASIN 'A' WATER QUALITY POND CALCULATION

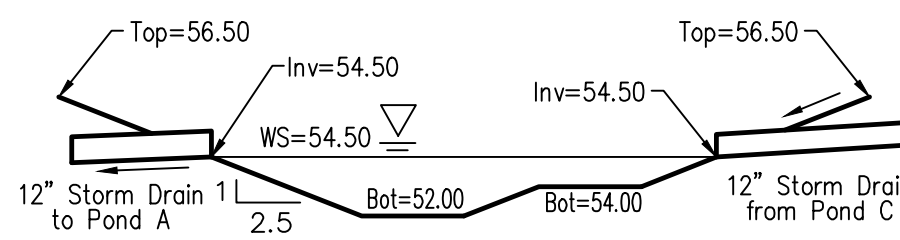
TOTAL NEW IMPERVIOUS AREA = 14,030 SF  
FIRST FLUSH = 14,030 \* 0.26" / 12 = **228 CF**  
TOTAL VOLUME PROVIDED (PONDS G-H) = **2,485 CF**

BASIN 'B' WATER QUALITY POND CALCULATION

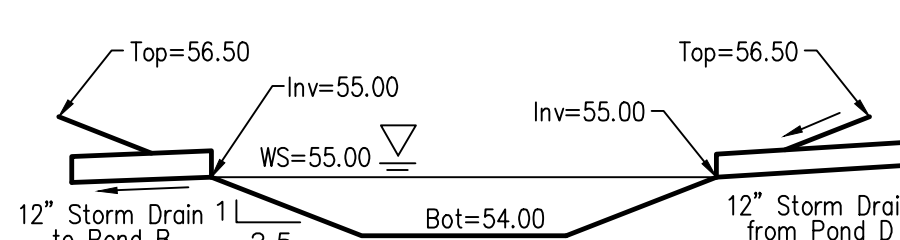
TOTAL NEW IMPERVIOUS AREA = 10,500 SF  
FIRST FLUSH = 10,500 \* 0.26" / 12 = **410 CF**  
TOTAL VOLUME PROVIDED (PONDS A-F) = **3,840 CF**



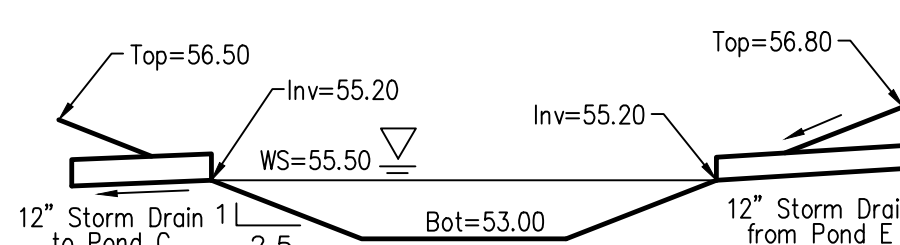
Pond A Cross Section



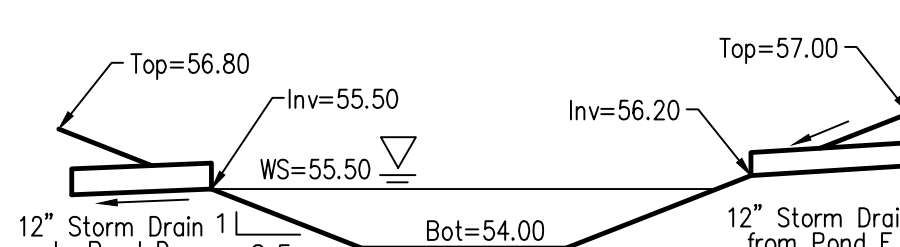
Pond B Cross Section



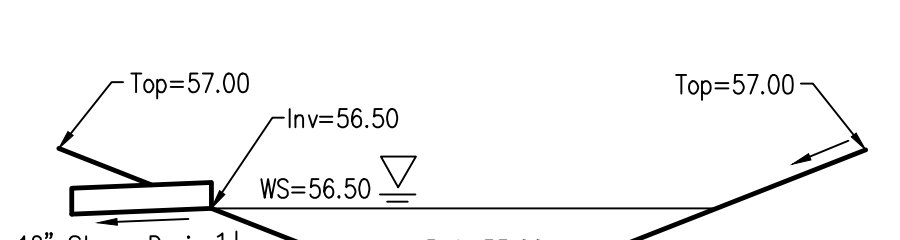
Pond C Cross Section



Pond D Cross Section



Pond E Cross Section



Pond F Cross Section

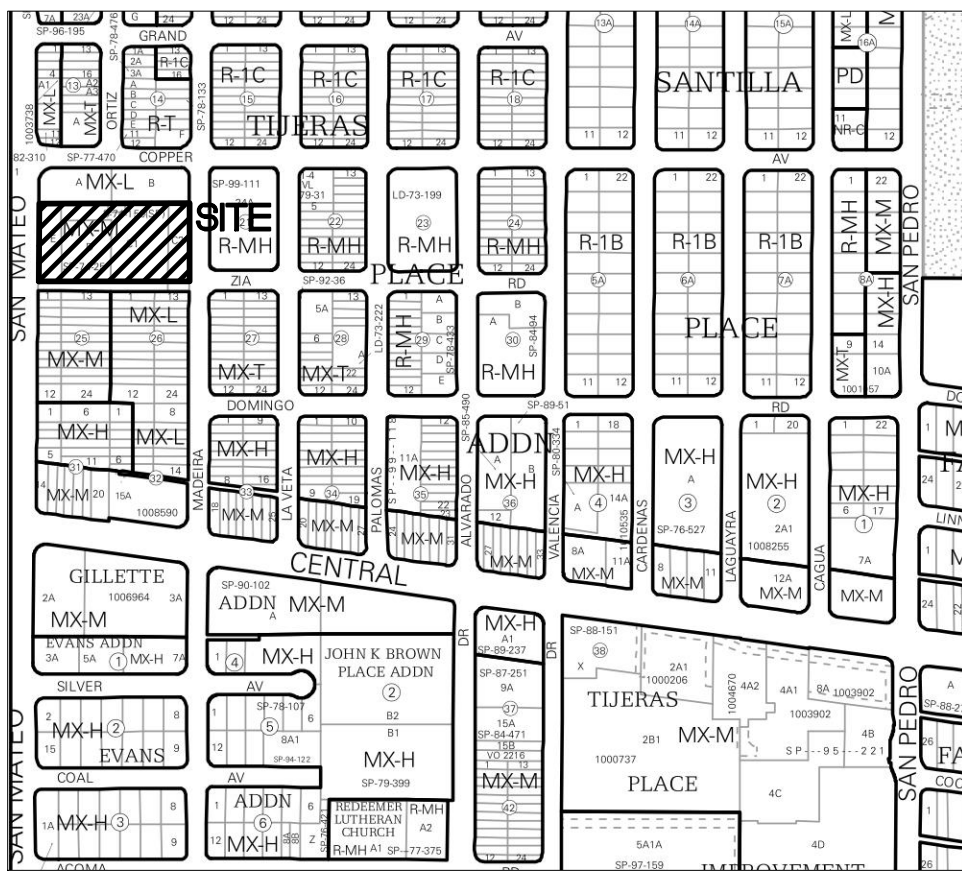
LEGEND

- FLOW ARROW
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM DRAIN
- PROPOSED PAVED AREA
- PROJECT LIMITS

TOTAL IMPERVIOUS AREA TO BE REMOVED IS APPROXIMATELY 55,616 SF.  
TOTAL IMPERVIOUS AREA TO BE ADDED IS APPROXIMATELY 24,530 SF.  
IMPERVIOUS AREA REDUCTION = 31,086 SF

| Pre-Developed Drainage Calculations                        |           |                                |     |      |      |            |          |                 |                 |              |              |                          |
|------------------------------------------------------------|-----------|--------------------------------|-----|------|------|------------|----------|-----------------|-----------------|--------------|--------------|--------------------------|
| This table is based on the COA DPM Chapter 6.2(A), Zone: 3 |           |                                |     |      |      |            |          |                 |                 |              |              |                          |
| BASIN                                                      | Area (AC) | Land Treatment Percentages (%) |     |      |      | Weighted C | Tc (min) | I (100) (in/hr) | Q(100) (cfs/ac) | Q(100) (CFS) | WTE (inches) | Comments                 |
| A-Pre                                                      | 0.48      | 0.0                            | 0.0 | 25.0 | 75.0 | 0.84       | 12.00    | 4.16            | 3.50            | 1.68         | 2.21         | Surface Drains to Copper |
| B-Pre                                                      | 2.36      | 0.0                            | 0.0 | 10.0 | 90.0 | 0.88       | 12.00    | 4.36            | 3.85            | 9.08         | 2.43         | Sheet Flows to San Mateo |
| TOTAL                                                      | 2.84      |                                |     |      |      |            |          |                 | 10.76           | 24672        | 45411        |                          |

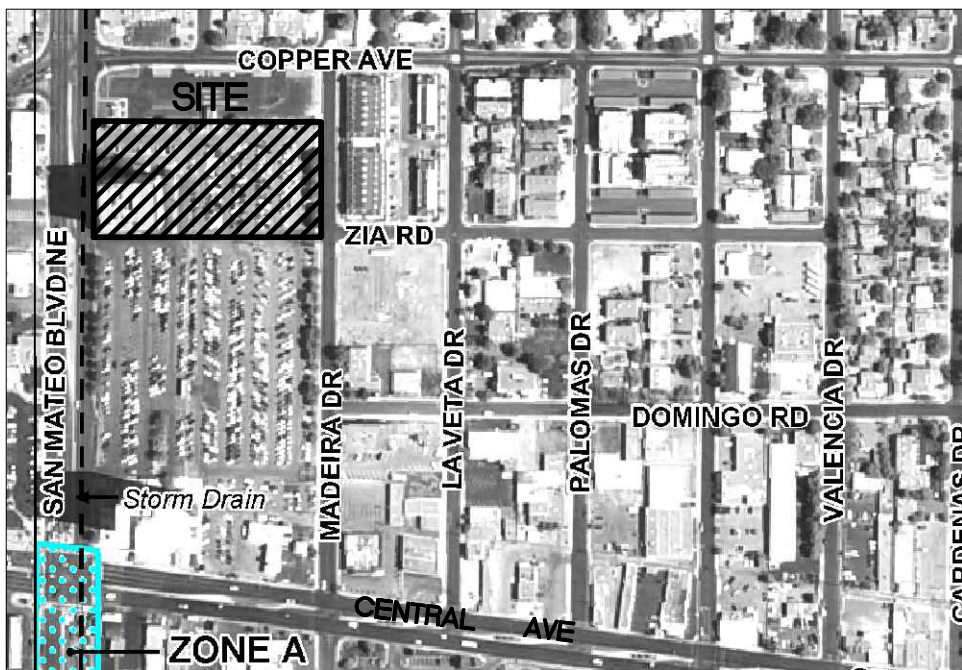
| Post-Developed Drainage Calculations                       |           |                                |     |      |      |            |          |                 |                 |              |              |                                      |
|------------------------------------------------------------|-----------|--------------------------------|-----|------|------|------------|----------|-----------------|-----------------|--------------|--------------|--------------------------------------|
| Ultimate Development Conditions Basin Data Table           |           |                                |     |      |      |            |          |                 |                 |              |              |                                      |
| This table is based on the COA DPM Chapter 6.2(A), Zone: 3 |           |                                |     |      |      |            |          |                 |                 |              |              |                                      |
| BASIN                                                      | Area (AC) | Land Treatment Percentages (%) |     |      |      | Weighted C | Tc (min) | I (100) (in/hr) | Q(100) (cfs/ac) | Q(100) (CFS) | WTE (inches) | Comments                             |
| A                                                          | 0.68      | 0.0                            | 0.0 | 50.0 | 50.0 | 0.78       | 12.00    | 3.83            | 2.97            | 2.02         | 1.84         | Surface Drains to Copper / San Mateo |
| B                                                          | 2.07      | 0.0                            | 0.0 | 30.0 | 70.0 | 0.83       | 12.00    | 4.09            | 3.39            | 7.03         | 2.13         | Sheet Flows to San Mateo             |
| TOTAL                                                      | 2.75      |                                |     |      |      |            |          |                 | 9.04            | 20587        | 35493        |                                      |



VICINITY MAP - K-18-Z

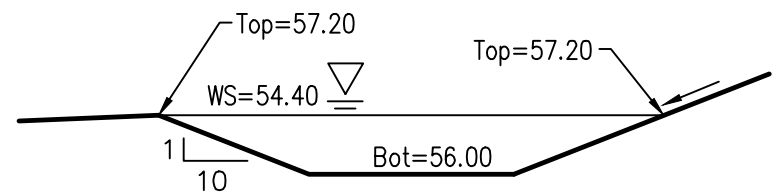
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A Certain Tract of Land Situate within Section 24, Township 10 North, Range 3 East, NM Principal Meridian within City of Albuquerque, Bernalillo County, NM, Comprising all of Parcels "B", "D" and "E" of the Replat showing Parcels "A" through "E", inclusive, comprising all of Block 20, portion of Block 19 together with portions of Vacated Ortiz Dr. NE & Zia Rd. NE of Tijeras Pl Addition.

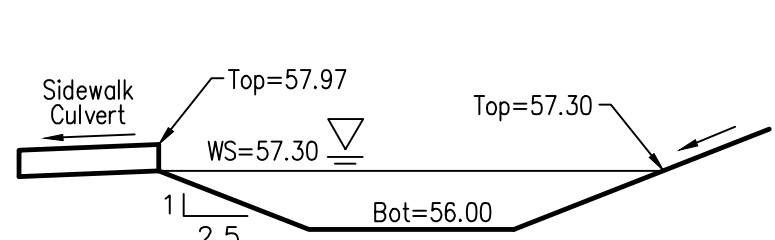


FIRM MAP 35001C0354H

Per FIRM Map 35001C0354H, dated August 16, 2012, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.



Pond G Cross Section



Pond H Cross Section



APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

Wooten Engineering  
PO Box 15814  
Rio Rancho, N.M. 87174  
Phone: (505) 980-3560

BENCH MARK  
ACS MONUMENT "14\_L17"  
PUB. EL=5319.339' NAVD 1988

302 central ave se  
albuquerque, nm 87102  
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www.equiterra.design



DISTRICT 505  
TOWER 10 APARTMENTS  
300 SAN MATEO BLVD NE  
ALBUQUERQUE, NEW MEXICO 87102

DRB DOCUMENTS

DRAWN BY:  
CHECKED BY:  
DATE : July 9, 2024

REVISIONS

POST-DEVELOPED  
DRAINAGE  
MANAGEMENT PLAN

C-102

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