

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 17, 2026

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 908 Cagua Dr NE
Grading and Drainage Plan
Engineer's Stamp Date: 03/14/2026
Hydrology File: K18D115
Case # HYDR-2026-00100

Dear Mr. Soule:

Based upon the information provided in your submittal received 03/16/2026, the Grading and Drainage Plan **is not approved** for Grading Permit and Building Permit. The following comments need to be addressed for approval of the above referenced project.

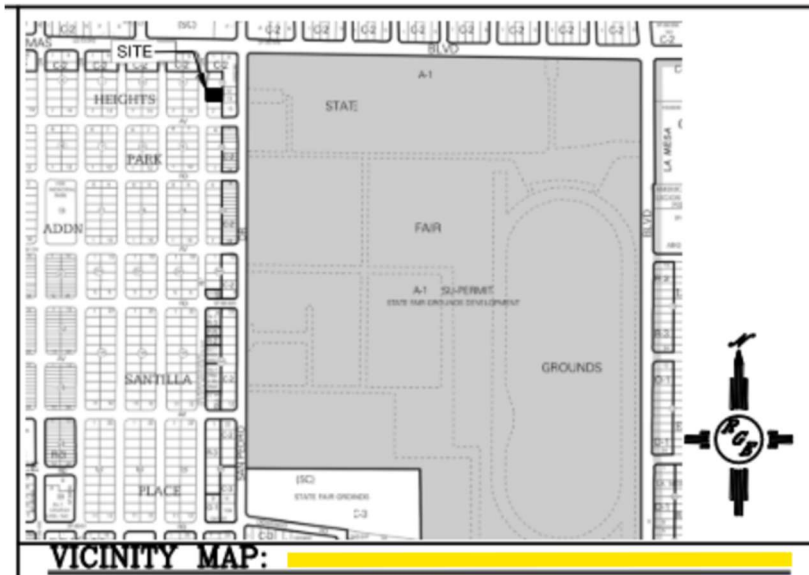
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Please provide a vicinity map showing the location of the site. Typically, this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.



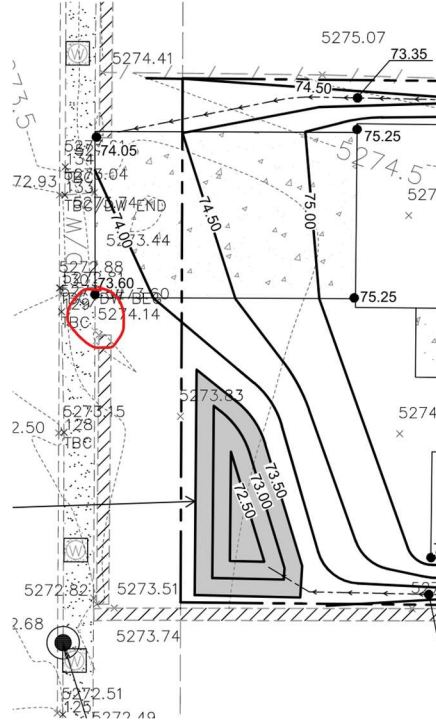
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2. Please demonstrate how water will overflow to the driveway and not cross over the sidewalk in the area circled below.



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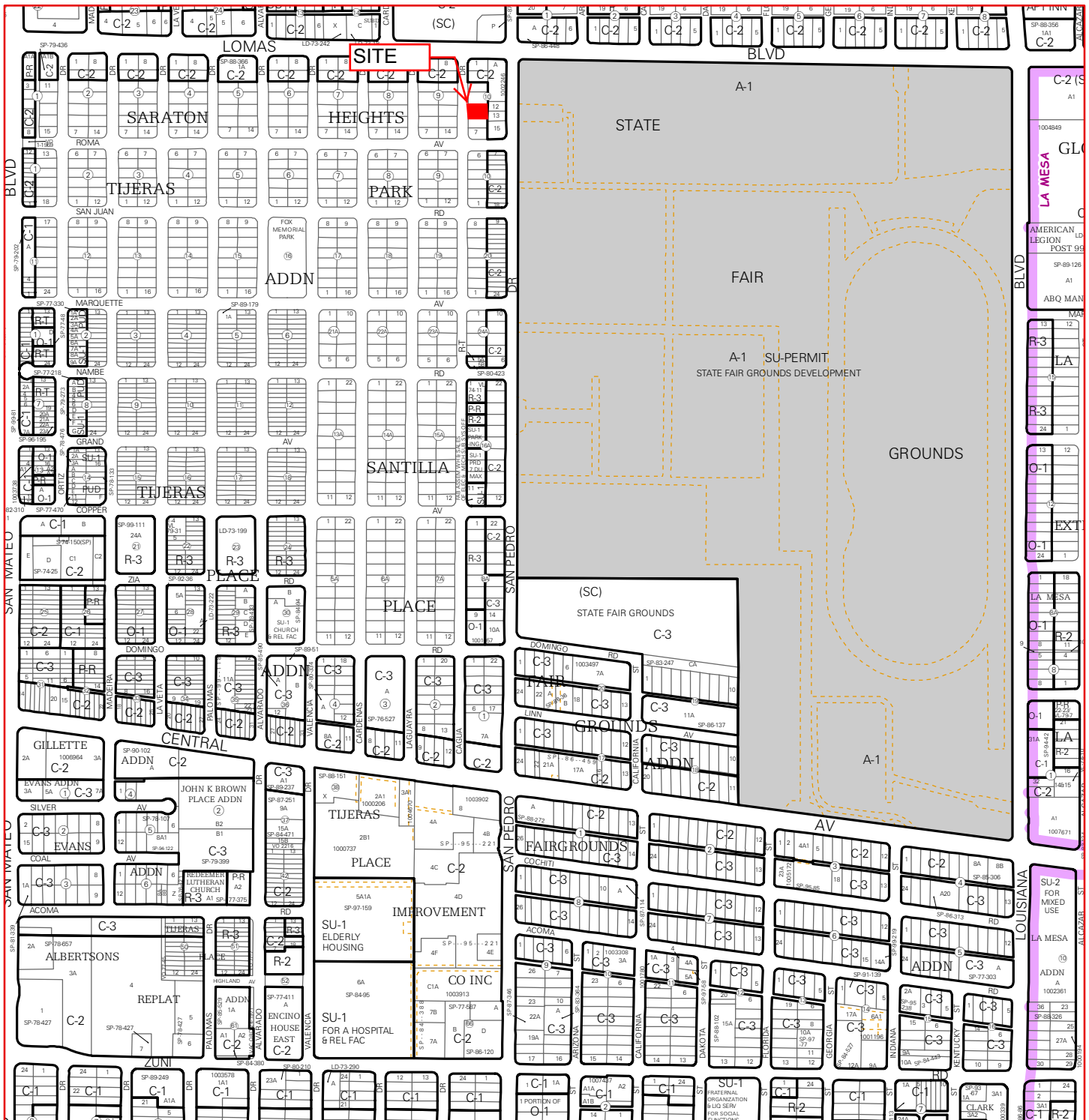
PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision*, will be required to ensure the ponds remained intact following home construction.

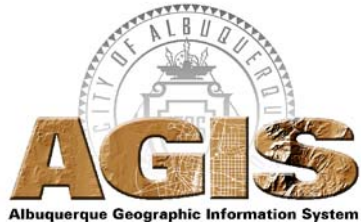
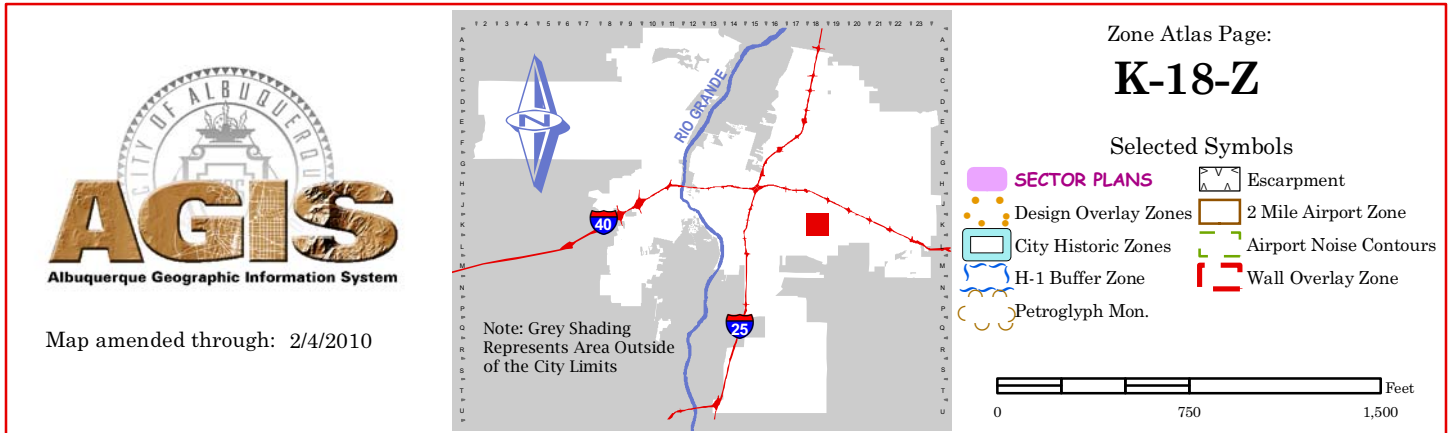
If you have any questions, please contact me at 505-924-3995 or baileythompson@cabq.gov.

Sincerely,

Bailey Thompson, E.I.T.
Engineer Associate, Hydrology
Planning Department, Development Review Services



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 2/4/2010

Weighted E Method

Basin	Area (sf)	Area (acres)	100-Year, 6-hr				100 Yr 24-HOUR						
			Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)			
HISTORICAL	6067.00	0.139	0%	20%	0.028	34%	0.047	46%	0.064	1.729	0.020	0.51	0.024
PROPOSED	6067.00	0.139	0%	15%	0.021	35%	0.049	50%	0.070	1.801	0.021	0.52	0.028

Equations:

Weighted E = Ea**A*a + Eb**A*b + Ec**A*c + Ed**A*d / (Total Area)

Volume = Weighted E * Total Area PER DPM 6.5(A) REQUIRED RETENTION 126 cubic feet

Flow = Qa * *A*a + Qb * *A*b + Qc * *A*c + Qd * *A*d

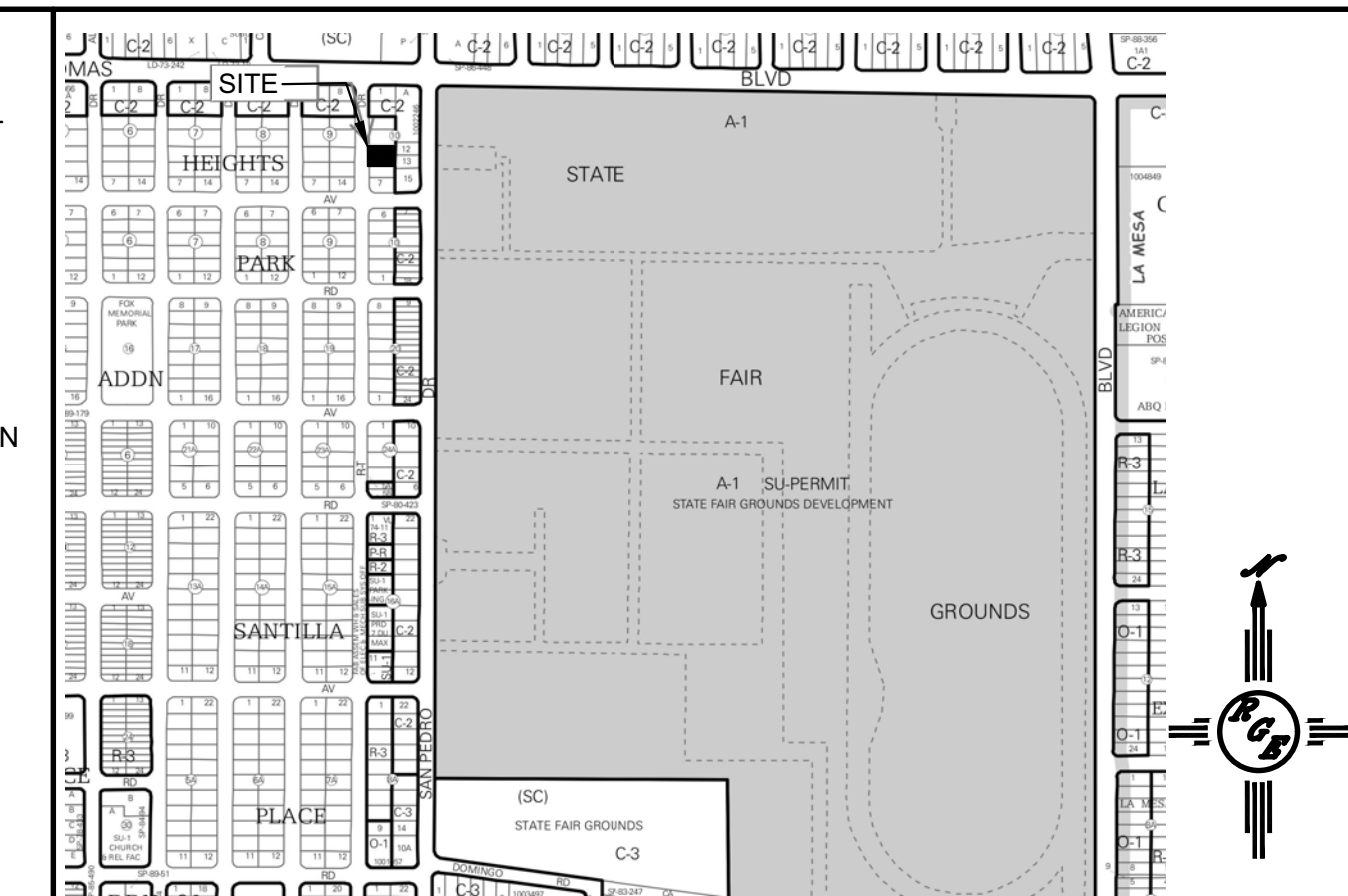
Where for 100-year, 6-hour storm (zone3)
 Ea= 0.87
 Eb= 0.86
 Ec= 1.09
 Ed= 2.58
 Qa= 1.84
 Qb= 2.49
 Qc= 3.17
 Qd= 4.49

Developed Conditions	TOTAL VOLUME	GENERATED	RETAINED
DISCHARGE PROPOSED	0.52 CFS	1113 CF	
EXISTING DISCHARGE	0.51 CFS	1060 CF	
DIFFERENCE	0.01 CFS	52.13 CF	
PONDING PROVIDED			179 CF

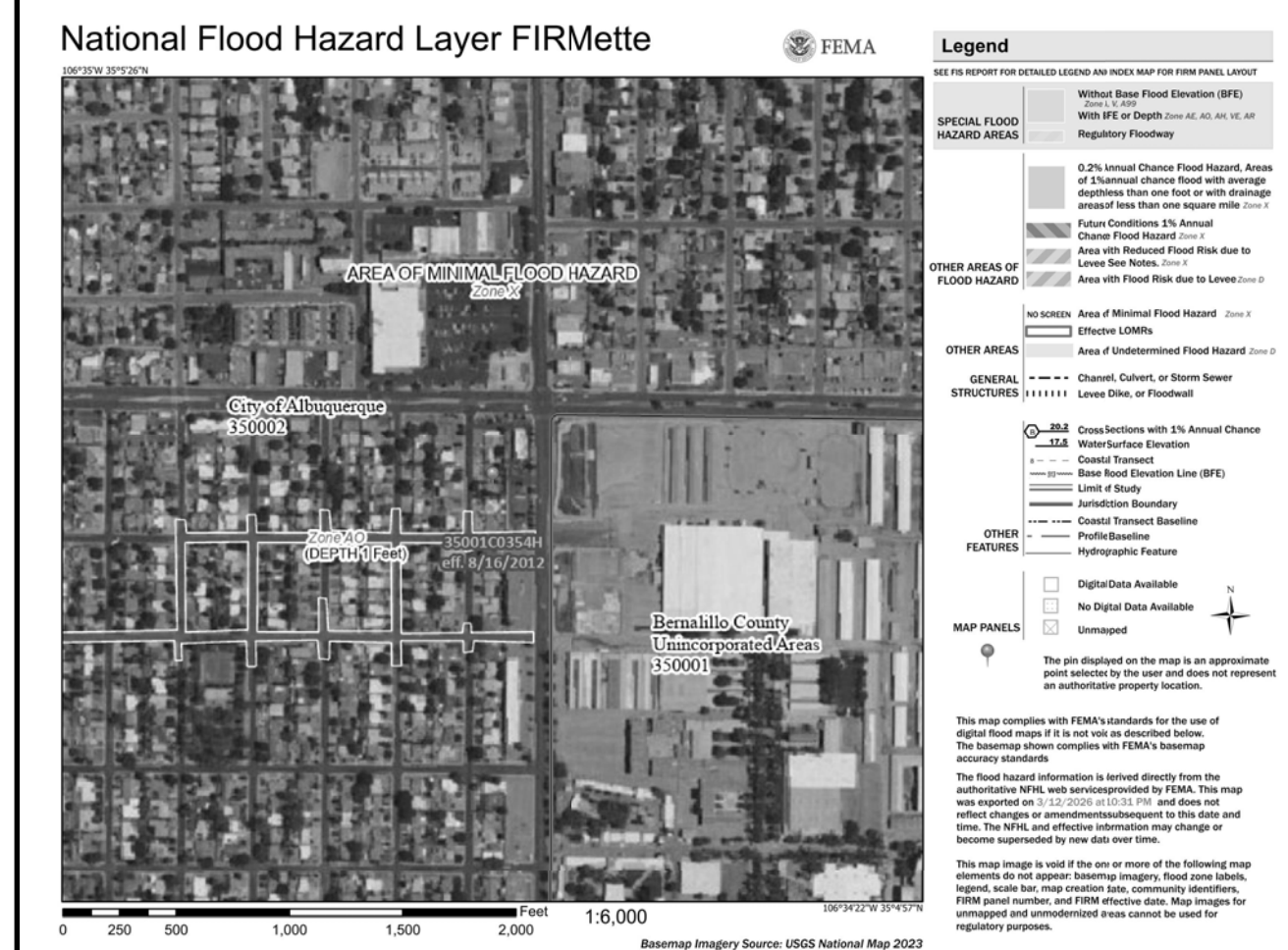
This site is a redevelopment of a previously developed lot. The site lies within the 1959 boundaries. The existing house was demolished at some point in the past (1959 areal on GIS shows). There is no master drainage plan for this area, all lots currently free discharge. The drainage solution is to retain 1/2" of rainfall for each square foot of impervious area of redevelopment

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOP SOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP:



FIRM MAP: 35001C03541H EFFECTIVE 8/16/2012

LEGAL DESCRIPTION:

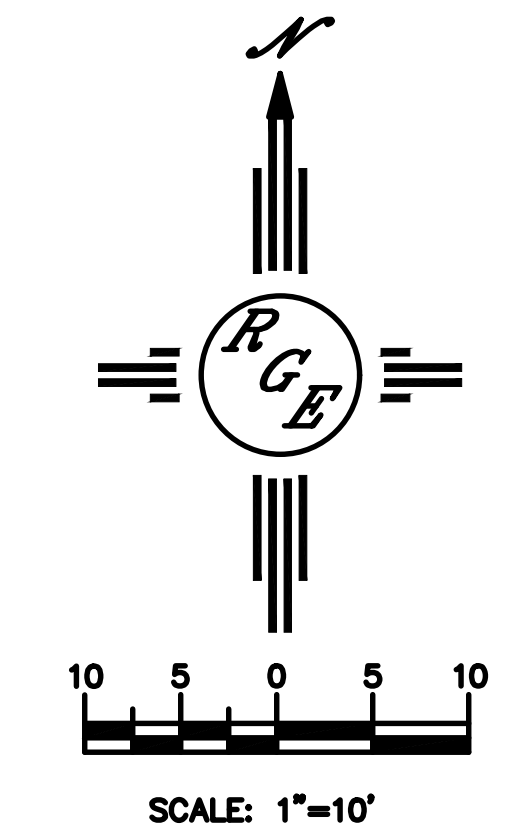
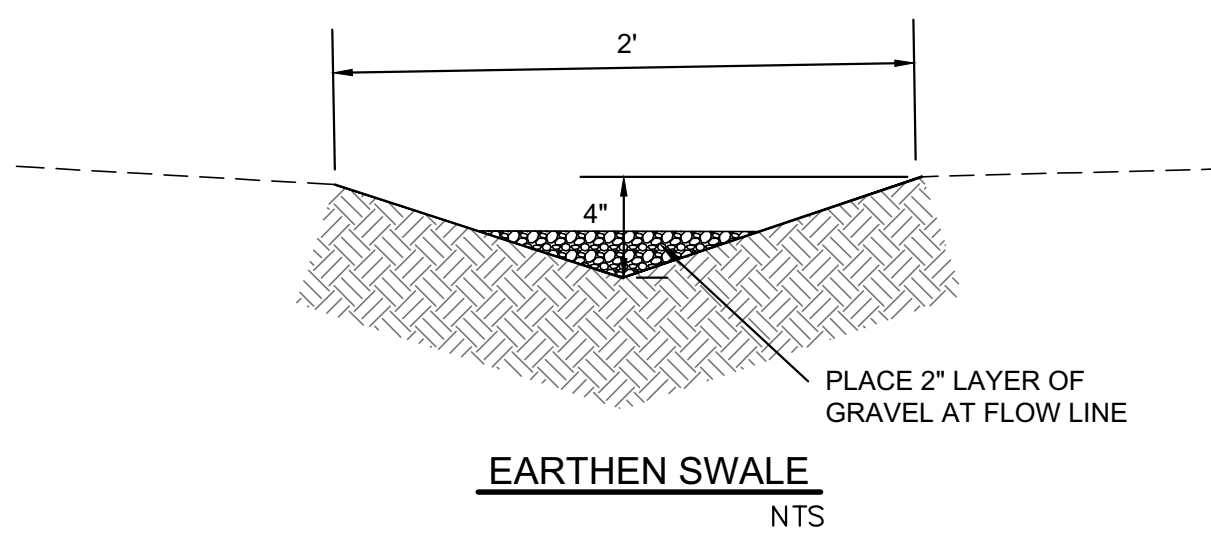
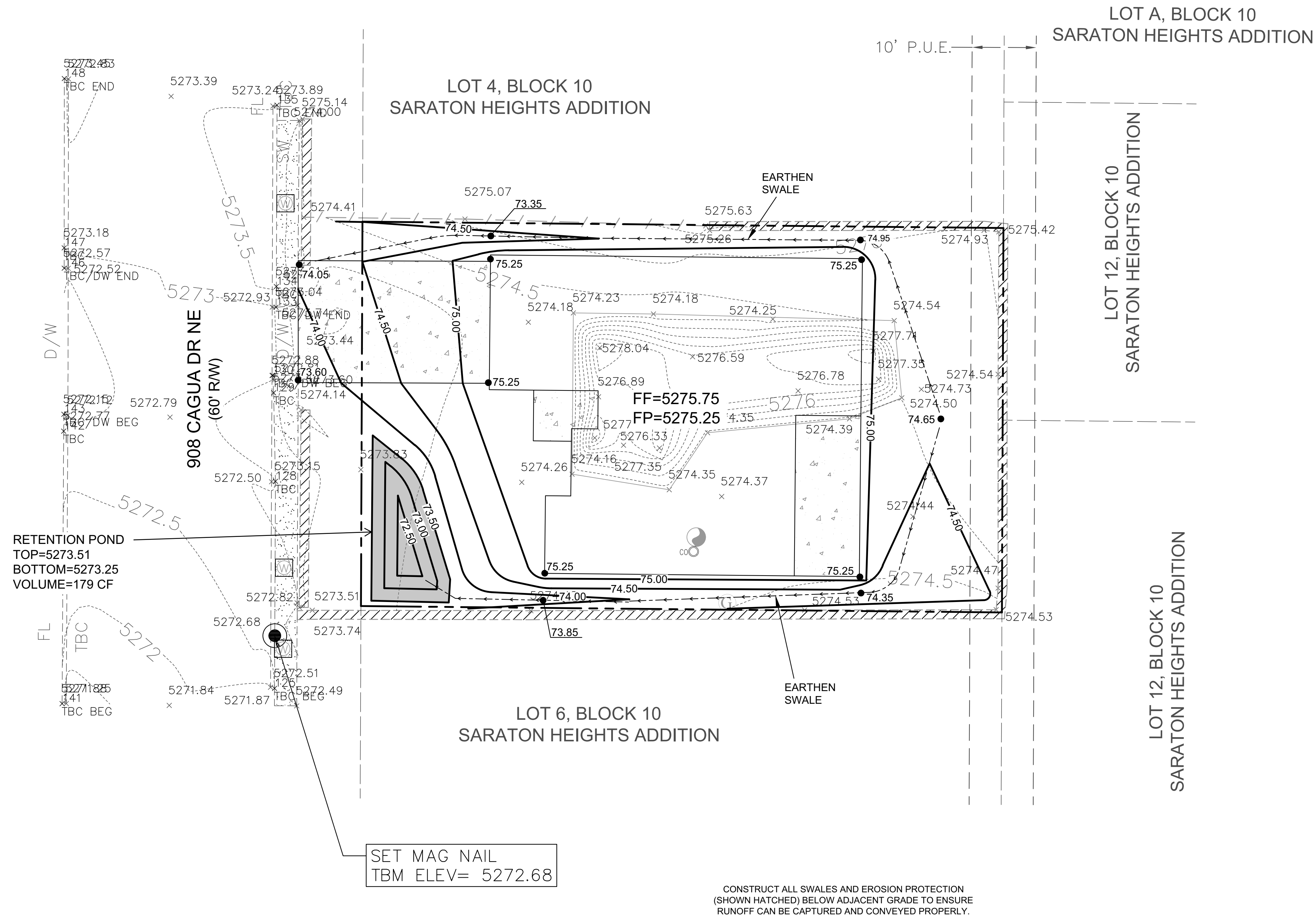
LOT 5, BLOCK 10 SARATON HEIGHTS ADDITION
 CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. LONG TERM MAINTAINANCE OF ALL PONDS, SWALES AND OVERFLOWS IS REQUIRED

LEGEND

-----XXXX-----	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
+ XXXX	EXISTING SPOT ELEVATION
● XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----<-----	PROPOSED EARTHEN SWALE
-----<-----	PROPOSED CONCRETE
-----	PROPOSED PONDING



CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ENGINEER'S SEAL	LOT 5 BLK 10 SARATON HEIGHTS ADD. 908 CAGUA DR NE GRADING AND DRAINAGE PLAN	DRAWN BY DEM
		DATE 3-13-26
DAVID SOULE P.E. #14522		SHEET # C1
	RIO BOX 53324 ALBUQUERQUE, NM 87199 (505) 321-8099	JOB #