

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Interim Director



Mayor Timothy M. Keller

December 8, 2021

Graeme Means, PE  
High Mesa Consulting Group  
6010-B Midway Park Blvd  
Albuquerque, NM 87109

**Re: International District Library**  
**7667 Central Ave NE**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 1-23-20 (K19D005)  
Certification dated 11-30-21

Dear Mr. Means,

Based upon the information provided in your submittal received 12-1-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The placements of some parking bumpers have turned the standard size parking stalls into compact parking spaces. Please push back the parking bumpers.
- Remove security fence, portable building, trash container, porta potties, construction equipment and debris from site.

Once these corrections are complete, email pictures showing the changes to [epgomez@cabq.gov](mailto:epgomez@cabq.gov) for release of Final CO.

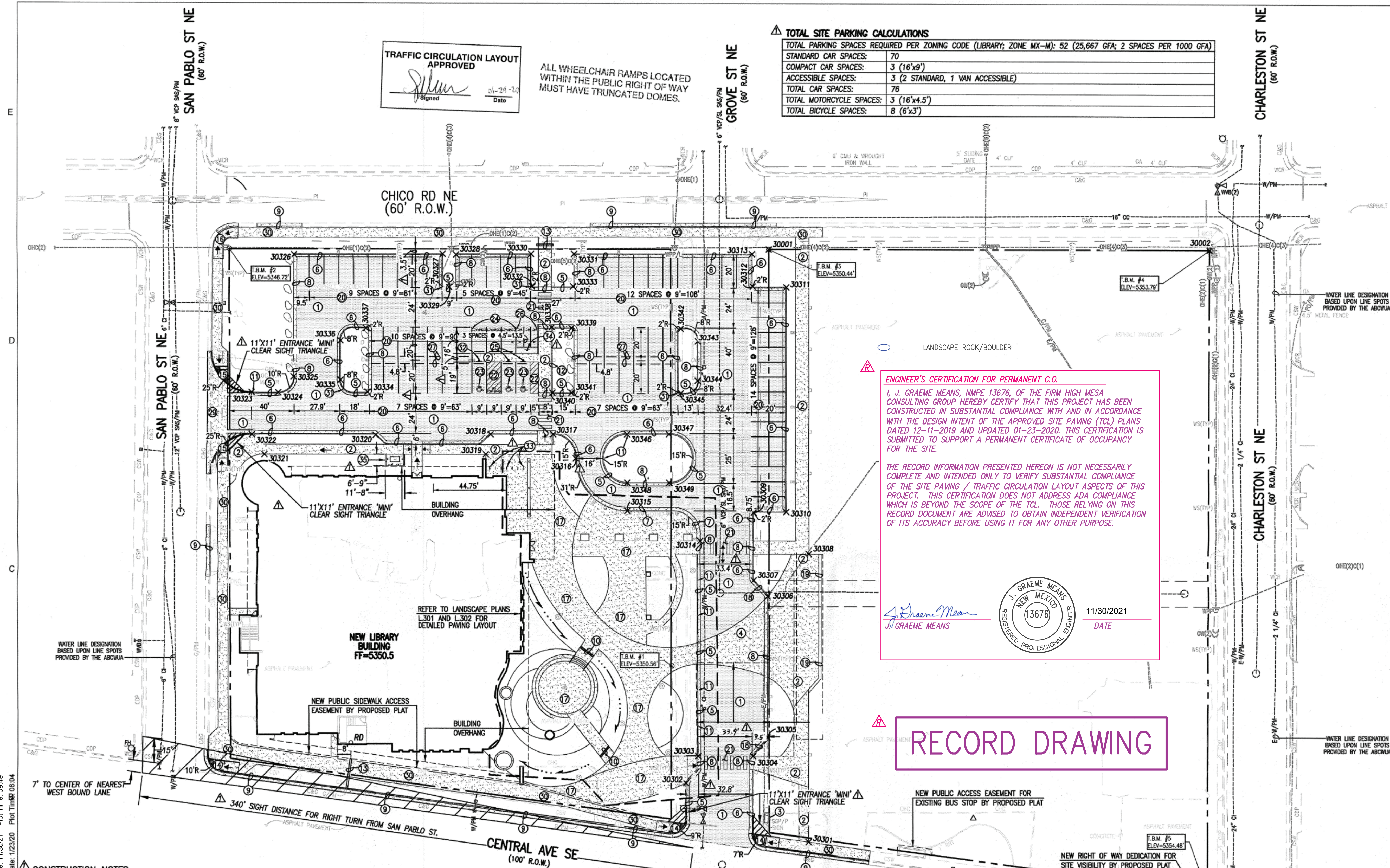
If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File





#### CONSTRUCTION NOTES

SEE SHEET C001 FOR ADDITIONAL CONSTRUCTION NOTES

- ALL IMPROVEMENTS IN THE RIGHT OF WAY MUST BE INCLUDED ON THE PUBLIC INFRASTRUCTURE WORK ORDER.
- UNUSED CURB CUTS SHALL BE REPLACED BY NEW SIDEWALK, CURB AND GUTTER; TO BE CONSTRUCTED PER CITY STANDARD DRAWINGS AS PART OF THE PUBLIC INFRASTRUCTURE WORK ORDER.
- ALL BROKEN OR CRACKED PUBLIC SIDEWALK AND CURB & GUTTER RESULTING FROM CONTRACTOR CONSTRUCTION ACTIVITIES MUST BE REPLACED WITH NEW SIDEWALK AND CURB & GUTTER PER COA STANDARD DRAWINGS 2430 AND 2415A.
- LANDSCAPING AND SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

#### LEGEND

SEE SHEET C001 FOR LEGEND

#### NOTE:

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT OF WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT OF WAY LINES OR PROPERTY LINES AS SHOWN ARE DERIVED FROM A BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 04/30/2018 (2018.017.1). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE "TOPOGRAPHIC AND UTILITY SURVEY" PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 04/30/2018 (2018.017.1).

#### KEYED NOTES

- CONSTRUCT 3" RESIDENTIAL ASPHALT PAVEMENT PER COA STD. DWG 2400
- CONSTRUCT 4" CONCRETE SIDEWALK PER COA STD. DWG 2430
- EXISTING SIGN TO REMAIN
- CONSTRUCT 6" REINFORCED CONCRETE PAVEMENT PER TYPICAL SECTION, SHEET C102
- CONSTRUCT 6" STANDARD CURB AND GUTTER PER TYPICAL SECTION, SHEET C102
- CONSTRUCT 6" DEPRESSIONED CURB AND GUTTER PER TYPICAL SECTION, SHEET C102
- CONSTRUCT MOUNTABLE CURB AND GUTTER PER TYPICAL SECTION, SHEET C102
- CONSTRUCT FLUSH CURB AND GUTTER PER TYPICAL SECTION, SHEET C102
- NEW 8" CITY STANDARD CURB AND GUTTER PER COA STD. DWG 2415A (BY SEPARATE WORK ORDER)
- CONSTRUCT 12" SIDEWALK CULVERT PER TYPICAL SECTION, SHEET C102
- CONSTRUCT 12" CURB OPENING PER TYPICAL SECTION, SHEET C102
- CONSTRUCT 6" HEADER CURB PER COA STD. DWG 2415B
- NEW 12" SIDEWALK CULVERT PER COA STD. DWG 2236, EXTEND 1' BEYOND BACK OF SIDEWALK (BY SEPARATE WORK ORDER)
- NEW UNIDIRECTIONAL SIDEWALK ACCESS RAMP PER COA STD. DWG 2430 (BY SEPARATE WORK ORDER)
- NEW UNIDIRECTIONAL PRIVATE ENTRANCE SIDEWALK ACCESS RAMP PER COA STD. DWG 2426 (BY SEPARATE WORK ORDER)
- NEW MULTIDIRECTIONAL SIDEWALK ACCESS RAMP PER COA STD. DWG 2430 (BY SEPARATE WORK ORDER)
- FOR FRONT ENTRY/COURTYARD/AMPHITHEATER SITE LAYOUT, SEE LANDSCAPING PLANS, SHEETS L.301 AND L.302
- TRANSITION FROM 6" TO FLUSH CURB
- CONCRETE SEAT WALL, SEE ARCHITECTURAL PLAN
- PAINT 4" WIDE PAVEMENT STRIPE WITH WHITE TRAFFIC PAINT, MIN. 2 COATS
- PAINT 12"x8" CROSSWALK MARKINGS @ 24" C-C, WITH WHITE TRAFFIC PAINT, MIN. 2 COATS
- PAINT 4" WIDE CROSSHATCH PAVEMENT MARKING @ 45", 4" C-C, WITH BLUE TRAFFIC PAINT, MIN. 2 COATS; STENCIL "NO PARKING" @ END OF AISLE
- PAINT TYP. ADA ACCESSIBLE PARKING SYMBOL WITH BLUE TRAFFIC PAINT, MIN. 2 COATS
- STENCIL "COMPACT" WITH WHITE TRAFFIC PAINT, MIN. 2 COATS
- INSTALL ACCESSIBLE PARKING SIGN WITH STANDARD "VIOLATORS WILL BE TOWED" PLACARD, TYP.
- STENCIL "MC" @ MOTORCYCLE SPACES WITH WHITE TRAFFIC PAINT, MIN. 2 COATS
- INSTALL 6" CONCRETE WHEEL STOPS PER TYP. SECTION, SHEET C102
- CONSTRUCT 12" ROUNDOFF PER TYP. SECTION, SHEET C103
- NEW 24" PRIVATE ENTRANCE PER COA STD. DWG 2426 (BY SEPARATE WORK ORDER)
- NEW PUBLIC 4" CONCRETE SIDEWALK PER COA STD. DWG 2430 (BY SEPARATE WORK ORDER)
- TRANSITION FROM STANDARD TO DEPRESSIONED CURB
- INSTALL ACCESSIBLE PARKING SIGN WITH "VAN ACCESSIBLE" PLACARD AND STANDARD "VIOLATORS WILL BE TOWED" PLACARD
- NEW BICYCLE RACKS, (8 BICYCLES CAPACITY) SEE SHEET L.301 & L.401
- INSTALL "MOTORCYCLE ONLY" SIGN AND POST
- NEW CONCRETE "ROLL-OFF" REFUSE BIN PAD PER COA SOLID WASTE STANDARD 4" THICK, 3000 PSI WITH 3/4" AGGREGATE AND 4x4x1.4xW1.4 WELDED WIRE MESH, SEE ARCHITECT PLAN FOR DETAIL WITH BOLLARDS.

#### TEMPORARY BENCHMARK #1 (T.B.M.)

A MAG NAIL IN ASPHALT PAVEMENT, AS SHOWN ON THIS SHEET. ELEVATION = 5350.56 FEET (NAVD 1988)

#### TEMPORARY BENCHMARK #2 (T.B.M.)

A MAG NAIL W/WASHER STAMPED "CARTESIAN SURVEYS PLS 14271" ALSO BEING THE NORTH WEST PROPERTY CORNER OF BLOCK 2, AS SHOWN ON THIS SHEET. ELEVATION = 5346.72 FEET (NAVD 1988)

#### TEMPORARY BENCHMARK #3 (T.B.M.)

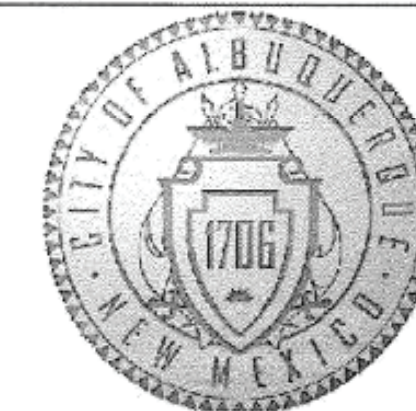
A MAG NAIL W/WASHER STAMPED "CARTESIAN SURVEYS PLS 14271" ALSO BEING THE NORTH WEST PROPERTY CORNER OF BLOCK 3, AS SHOWN ON THIS SHEET. ELEVATION = 5350.44 FEET (NAVD 1988)

#### TEMPORARY BENCHMARK #4 (T.B.M.)

A MAG NAIL W/WASHER STAMPED "CARTESIAN SURVEYS PLS 14271" ALSO BEING THE NORTH EAST PROPERTY CORNER OF BLOCK 3, AS SHOWN ON THIS SHEET. ELEVATION = 5353.79 FEET (NAVD 1988)

#### TEMPORARY BENCHMARK #5 (T.B.M.)

A MAG NAIL W/WASHER STAMPED "CARTESIAN SURVEYS PLS 14271" ALSO BEING THE SOUTH EAST PROPERTY CORNER OF BLOCK 3, AS SHOWN ON THIS SHEET. ELEVATION = 5354.48 FEET (NAVD 1988)



**RMKM**  
ARCHITECTURE, PC  
400 Gold Ave SW Studio 1100 Albuquerque, NM 87102 505.243.5454 www.rmkmarch.com

**HIGH MESA Consulting Group**  
Engineers, Surveyors & Subsurface Utility Consultants

6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109  
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

#### Point Table

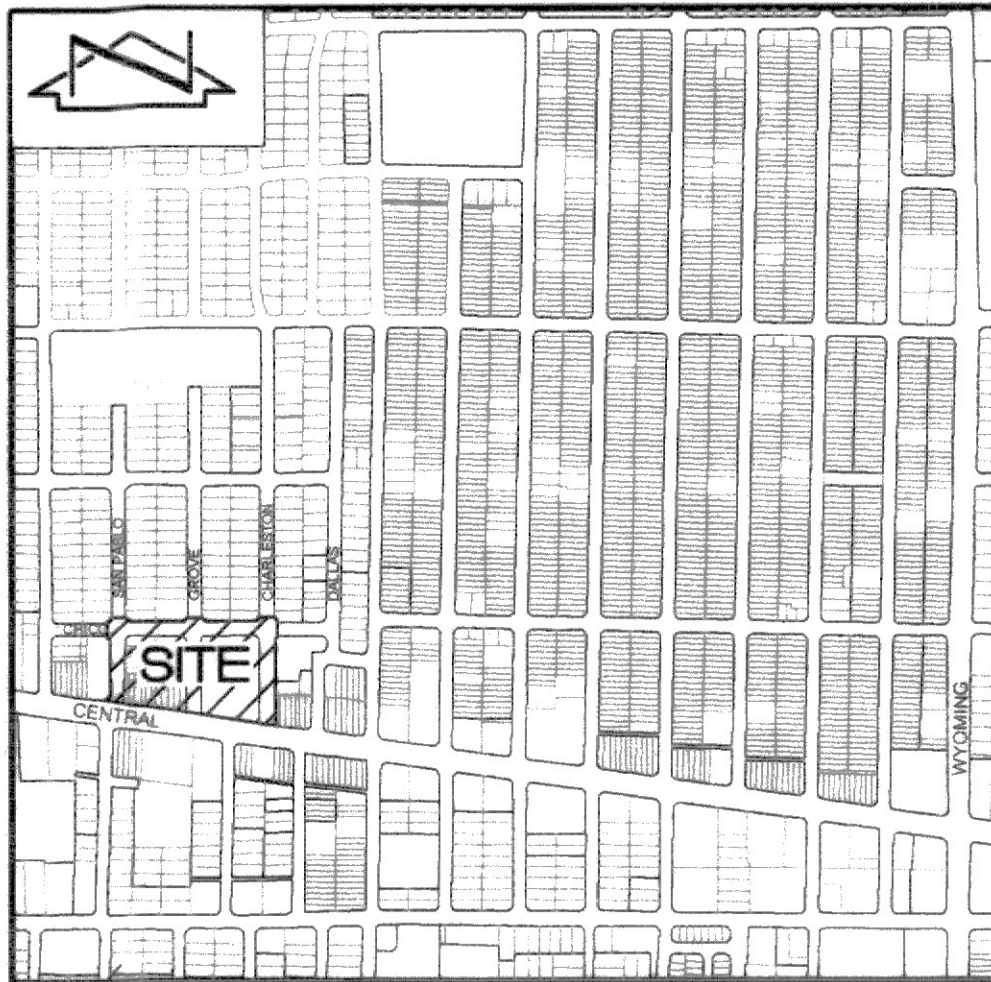
| Point # | Northing    | Easting    | Raw Description |
|---------|-------------|------------|-----------------|
| 30002   | 1483189.44  | 1547380.85 | TM #4           |
| 30003   | 1483200.88  | 1547380.53 | TM #5           |
| 30001   | 1483189.48  | 1547120.81 | TM #3           |
| 30001   | 14832831.46 | 1547145.40 | TSW             |
| 30002   | 14832866.97 | 1547070.40 | BC              |
| 30003   | 14832883.31 | 1547077.79 | BC              |
| 30004   | 14832883.35 | 1547111.30 | BC              |
| 30005   | 14832894.63 | 1547120.25 | BC              |
| 30006   | 14832979.88 | 1547120.25 | BC              |
| 30007   | 14832989.87 | 1547111.58 | BC              |
| 30008   | 14832994.82 | 1547145.40 | TSW             |
| 30009   | 14833020.56 | 1547111.69 | BC              |
| 30010   | 14833031.00 | 1547131.40 | BC              |
| 30011   | 1483156.63  | 1547131.40 | BC              |
| 30012   | 1483167.07  | 1547111.10 | BC              |
| 30013   | 1483166.63  | 1547110.66 | BC              |
| 30014   | 1483013.52  | 1547078.83 | BC              |
| 30015   | 1483063.11  | 1547002.83 | BC              |
| 30016   | 1483063.11  | 1547002.83 | BC              |
| 30017   | 1483077.80  | 1546988.83 | BC              |
| 30018   | 1483077.52  | 1546950.81 | BC              |
| 30019   | 1483065.45  | 1546947.69 | BC              |
| 30020   | 1483077.03  | 1546886.36 | BC              |
| 30021   | 1483065.41  | 1546812.22 | TSW             |
| 30022   | 1483077.33  | 1546804.54 | BC              |
| 30023   | 1483102.79  | 1546804.54 | BC              |
| 30024   | 1483102.63  | 1546802.83 | BC              |
| 30025   | 1483112.13  | 1546803.33 | BC              |
| 30026   | 1483188.11  | 1546803.36 | BC              |
| 30027   | 1483186.63  | 1546817.50 | BC              |
| 30028   | 1483188.11  | 1546809.35 | BC              |
| 30029   | 1483186.63  | 1546805.50 | BC              |
| 30030   | 1483186.63  | 1546805.68 | BC              |
| 30031   | 1483186.81  | 1547001.88 | BC              |
| 30032   | 1483187.05  | 1546876.15 | BC              |
| 30033   | 1483187.07  | 1547001.39 | BC              |
| 30034   | 1483102.99  | 1546875.25 | BC              |
| 30035   | 1483110.22  | 1546808.88 | BC              |
| 30036   | 1483134.00  | 1546808.88 | BC              |
| 30037   | 1483141.52  | 1546874.33 | BC              |
| 30038   | 1483142.11  | 1546888.22 | BC              |
| 30039   | 1483141.63  | 1547000.33 | BC              |
| 30040   | 1483102.61  | 1546988.72 | BC              |
| 30041   | 1483102.63  | 1547000.33 | BC              |
| 30042   | 1483141.23  | 1547007.22 | BC              |
| 30043   | 1483133.73  | 1547077.55 | BC              |
| 30044   | 1483109.87  | 1547077.49 | BC              |
| 30045   | 1483102.45  | 1547087.22 | BC              |
| 30046   | 1483077.71  | 1547034.33 | BC              |
| 30047   | 1483077.63  | 1547059.81 | BC              |
| 30048   | 1483048.81  | 1547034.33 | BC              |
| 30049   | 1483048.63  | 1547059.81 | BC              |

| NO. | ISSUE   | DATE    |
|-----|---|---------|
| 1   | CITY TCL COMMENTS UPDATE; HORIZ. CNTL. COORD. | 01/2020 |
| 2   | TCL CERTIFICATION                             | 11/2021 |

|   |  |
|---|--|
| PROJECT<br>CITY OF ALBUQUERQUE<br>INTERNATIONAL DISTRICT<br>LIBRARY (IDL) | SCALE<br>1" = 30'                            |
| 7667 CENTRAL AVE NE   | RMKM PROJECT NO.<br>9225.74 COA<br>1706 RMKM |
|   | PROJECT MANAGER<br>PM                        |
|   | MODELED BY<br>RMKM                           |

|  |  |
|--|--|
| SHEET TITLE<br>SITE PAVING AND HORIZONTAL<br>CONTROL PLAN        | 12/11/2019                               |
| DESIGN PHASE<br>100% CONSTRUCTION DOCUMENTS<br>11 DECEMBER, 2019 | 1/23/2020                                |
| SHEET NUMBER<br>2017.066.1 C100                                  | Copyright © RMKM Architecture, P.C. 2018 |





VICINITY MAP  
NOT TO SCALE

K-19

#### OWNER'S CERTIFICATE, DEDICATION AND FREE CONSENT

The undersigned hereby represents; that he is authorized to affirm on behalf of said owner that the subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and proprietor thereof; and that the undersigned owner does hereby dedicate to the City of Albuquerque in fee simple the public street rights-of-way and grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees.

Sarita Nair  
Sarita Nair, Chief Administrative Officer,  
City of Albuquerque, a Municipal Corporation

3/26/20  
Date

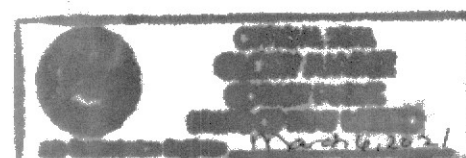
#### ACKNOWLEDGEMENT

STATE OF NEW MEXICO )

COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on this 26<sup>th</sup> day of March, 2020, by Sarita Nair, Chief Administrative Officer for the City of Albuquerque, New Mexico, a Municipal Corporation, on behalf of said Municipal Corporation.

Glenn H. Hunsley  
Notary Public



DOCH 2020057642

06/26/2020 10:54 AM Page: 1 of 3  
PLAT R: \$25.00 B: 2020C P: 0057 Linda Stover, Bernalillo County



## VACATION REQUEST AND PLAT OF TRACT A, INTERNATIONAL DISTRICT LIBRARY ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JANUARY, 2020

#### DESCRIPTION

A certain tract of land located within the Corporate Limits of the City of Albuquerque, Bernalillo County, New Mexico, comprising The Replat of Block 2 of Loma Verde, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 19, 1974, Plat Book B9, Page 50; together with The Replat of Block 3 of Loma Verde, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on June 18, 1974, Plat Book C10, Page 8; and together with the vacated portion of Grove Street N.E., and being more particularly described as follows:

Beginning at a northwest corner of the parcel herein described, being the northwest property corner of said Block 2, also being the point of intersection of the east right-of-way line of San Pablo Street N.E. with the south right-of-way line of Chico Road N.E. whence the A.G.R.S. Control Station "7-K19" bears S 84°53'06" W a distance of 1631.29 feet; thence S 89°59'32" E a distance of 599.85 feet along said south right-of-way line to the northeast corner of the parcel herein described being the northeast property corner of said Block 3, also being the point of intersection of the south right-of-way line of Chico Road N.E. with the west right-of-way line of Charleston Street N.E.; thence S 00°01'01" W a distance of 388.48 feet along said west right-of-way line to the southeast corner of the parcel herein described being the southeast property corner of said Block 3, also being the point of intersection of the west right-of-way line of Charleston Street N.E. with the north right-of-way line of East Central Avenue; thence N 82°20'19" W a distance of 604.68 feet along said north right-of-way line to the southwest corner of the parcel herein described being the southwest property corner of said Block 2, also being the point of intersection of the north right-of-way line of East Central Avenue with the east right-of-way line of San Pablo Street N.E.; thence N 00°05'01" W a distance of 307.95 feet along said east right-of-way line to the point of beginning and containing 4.7928 acres more or less.

CITY OF ALBUQUERQUE  
OWNER  
SEC. 19, T. 10 N., R. 4 E., N.M.P.M.  
LOCATION  
INTERNATIONAL DISTRICT LIBRARY  
SUBDIVISION

#### COUNTY CLERK FILING DATA

PROJECT NUMBER: PR-2019-002544

APPLICATION NUMBER SD-2020-00042

#### CITY APPROVALS:

Galene Wolfson 6/26/20  
DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE  
Kristoph Cadena 05-06-20  
ABCWUA DATE  
SL 3-4-2020  
CITY ENGINEER/HYDROLOGY, CITY OF ALBUQUERQUE, NEW MEXICO DATE  
Scott Smith 2/5/2020  
A.M.A.F.C.A. DATE  
Jeffrey Nair 03-04-2020  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE  
John N. Rinkhouse P.S. 3/4/2020  
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE  
John Hunsley 3-5-2020  
REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

#### UTILITY APPROVALS:

R. J. Hunsley 2/27/2020  
PUBLIC SERVICE COMPANY OF NEW MEXICO DATE  
Due to COVID-19 Constraints, Plat approved by digital signature dated 4/6/2020, and letter dated 6/22/2020 6/29/2020  
QWEST CORPORATION d/b/a CENTURYLINK QC 1/31/2020  
NEW MEXICO GAS COMPANY 1/31/2020  
COMCAST CABLE VISION OF NEW MEXICO, INC. 1/31/2020

#### DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation D/B/A CenturyLink did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and Qwest Corporation D/B/A CenturyLink do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

#### SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.  
Charles G. Cala, Jr., NMPS 11184



1-8-2020  
Date

HIGH  
MESA Consulting Group

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

JOB #2018.017.2 PLATBASE



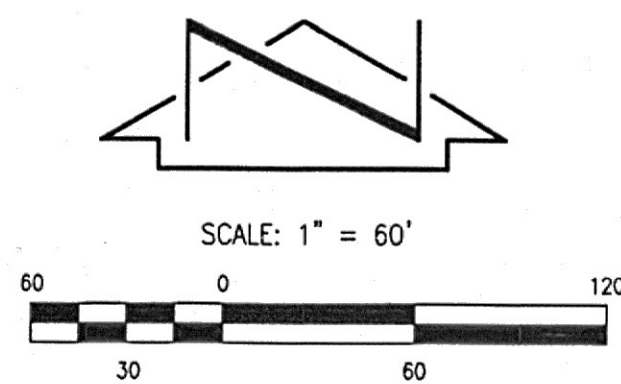
TRACT A, INTERNATIONAL DISTRICT LIBRARY

**JANUARY, 2020**

1. A BOUNDARY SURVEY OF THE PROPERTY SHOWN HEREON WAS CONDUCTED IN APRIL, 2018 AND VERIFIED IN JUNE, 2019. PROPERTY CORNERS WERE FOUND OR SET AS INDICATED.
2. ALL DISTANCES ARE GROUND DISTANCES.
3. SITE LOCATED WITHIN SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M.
4. BEARINGS SHOWN HEREON ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE (NAD 83). THESE BEARINGS ARE POSITIONED FROM A.G.R.S. CONTROL STATION "7-K19".
5. RECORD BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS.
6. NO PUBLIC STREET MILEAGE WAS CREATED BY THIS PLAT.
7. THE PURPOSE OF THIS PLAT IS TO:
  - A. CREATE 1 (ONE) TRACT FROM FORMER BLOCK 2, LOMA VERDE; FORMER BLOCK 3, LOMA VERDE; TOGETHER WITH THE VACATED PORTION OF GROVE STREET N.E.
  - B. VACATE THE PORTION OF THE PUBLIC RIGHT-OF-WAY OF GROVE STREET N.E. BETWEEN CHICO ROAD N.E. AND EAST CENTRAL AVENUE, INCLUDING THE PUBLIC UTILITY EASEMENTS, SEE KEYED NOTE 2.
  - C. VACATE THE 16' RESERVATIONS FOR EASEMENTS FOR PUBLIC UTILITIES, WETHER MUNICIPALLY OR PRIVATELY OWNED GRANTED BY V-612, SEE KEYED NOTE 1.
  - D. VACATE THE RESERVATIONS FOR DITCHES OR CANALS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA, SEE KEYED NOTE 3.
  - E. GRANT THE PNM AND CENTURYLINK OVERHEAD ANCHOR EASEMENTS, A PNM TRANSFORMER EASEMENT AND AN ABCWUA WATER LINE EASEMENT, AS SHOWN.
  - F. DEDICATE IN FEE SIMPLE THE PUBLIC STREET RIGHT-OF-WAY AT THE SOUTHEAST CORNER OF TRACT A TO THE CITY OF ALBUQUERQUE, AS SHOWN.
  - G. GRANT THE BUS SHELTER AND PUBLIC SIDEWALK EASEMENT ALONG EAST CENTRAL AVENUE TO THE CITY OF ALBUQUERQUE, AS SHOWN.
8. THE FOLLOWING DOCUMENTS AND INSTRUMENTS WERE USED FOR THE PERFORMANCE AND PREPARATION OF THIS SURVEY:
  - A. PLAT OF THE REPLAT OF BLOCK 2 OF LOMA VERDE, FILED 02-19-1974, PLAT BOOK B9, PAGE 50, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
  - B. PLAT OF THE REPLAT OF BLOCK 3 OF LOMA VERDE, FILED 06-18-1974, PLAT BOOK C10, PAGE 8, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
  - C. BOUNDARY SURVEY OF THE REPLATS OF BLOCKS 2 AND 3, LOMA VERDE, PREPARED BY CARTESIAN SURVEYS INC. (NMPS 14271) DATED 11-09-2016 (UNRECORDED).
  - D. PLAT OF LOMA VERDE, FILED 07-27-1983, PLAT BOOK C21, PAGE 166, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
  - E. PLAT OF LOMA VERDE, FILED 10-21-1941, PLAT BOOK C, PAGE 41, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
  - F. PLAT OF FIREHOUSE NUMBER 5, FILED 09-22-2004, PLAT BOOK 2004C, PAGE 293, DOC. #2004133310, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
  - G. SPECIAL WARRANTY DEED, FILED 12-15-2016, DOC. #2016116939, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
  - H. OWNER'S POLICY OF TITLE INSURANCE, POLICY NO. O-9301-004139326, PREPARED BY STEWART TITLE GUARANTY COMPANY DATED 12-15-2016.
  - I. CITY COMMISSION VACATION ORDINANCE NO. 10-1968 (V-612), FILED 01-17-1968, BOOK MISC. 91, PAGES 695-696, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
  - J. BOUNDARY SURVEY OF THE REPLATS OF BLOCKS 2 AND 3, LOMA VERDE, PREPARED BY THIS FIRM (NMPS 11184) DATED 04-30-2018.
9. GROSS SUBDIVISION ACREAGE = 4.7928 ACRES.
10. CURRENT ZONING ON SITE IS MX-M, BASED UPON REVIEW OF THE CITY OF ALBUQUERQUE IDO ZONE ATLAS (DATED MAY, 2018) AND WEB SITE.
11. NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT.

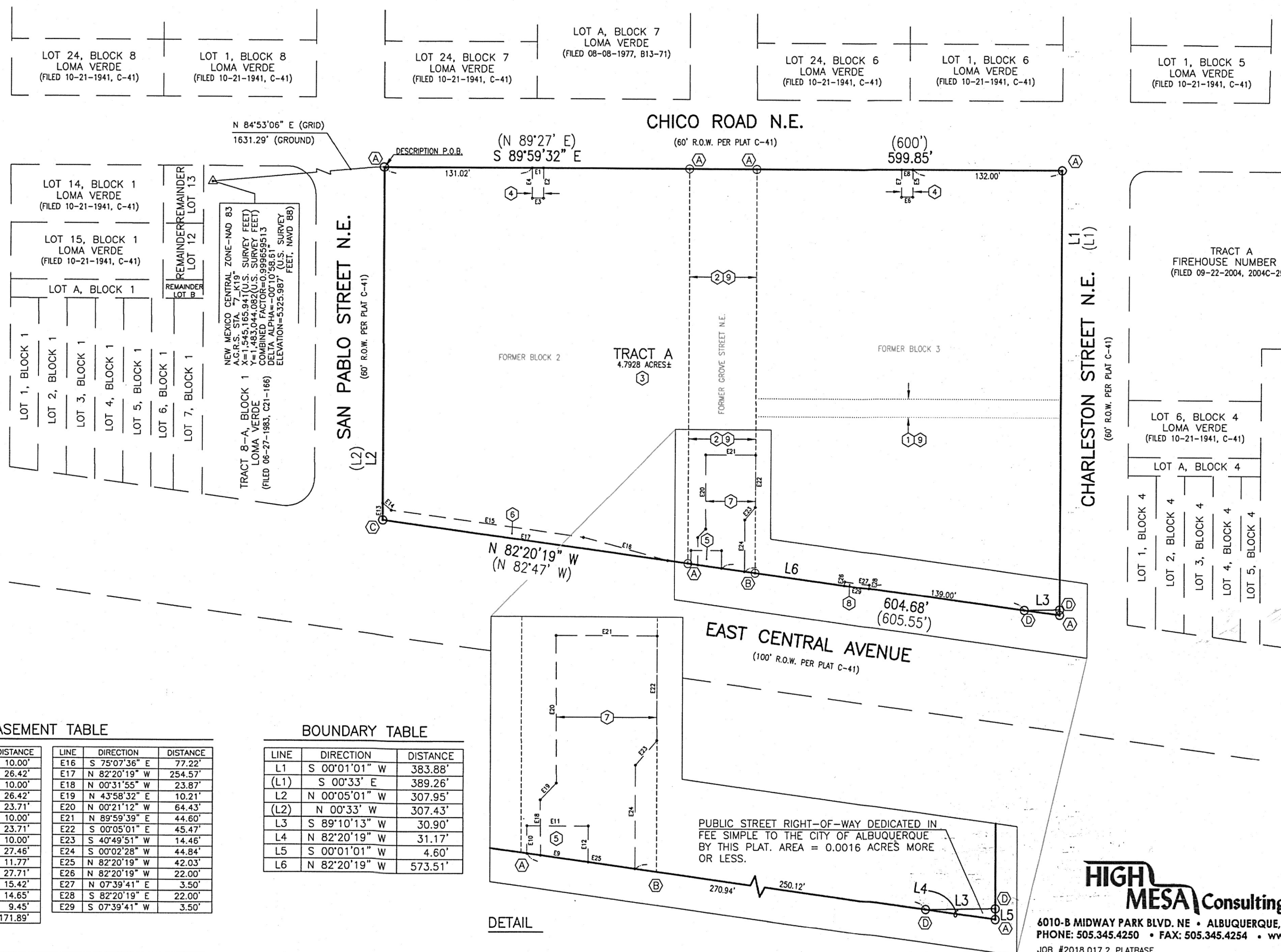
① SET MAG NAIL W/WASHER STAMPED "NEW MEXICO PS 11184" SET IN ASPHALT





NOTE: FOR KEYED NOTES SEE SHEET 2

VACATION REQUEST AND PLAT OF  
**TRACT A, INTERNATIONAL DISTRICT LIBRARY**  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JANUARY, 2020



EASEMENT TABLE

| LINE | DIRECTION     | DISTANCE |
|------|---------------|----------|
| E1   | S 89°59'32" E | 10.00'   |
| E2   | S 00°00'28" W | 26.42'   |
| E3   | N 89°59'32" W | 10.00'   |
| E4   | N 00°00'28" E | 26.42'   |
| E5   | S 00°00'28" W | 23.71'   |
| E6   | N 89°59'32" W | 10.00'   |
| E7   | N 00°00'28" E | 23.71'   |
| E8   | N 89°59'32" W | 10.00'   |
| E9   | N 82°20'19" W | 27.46'   |
| E10  | N 00°00'28" E | 11.77'   |
| E11  | S 89°59'32" E | 27.71'   |
| E12  | S 00°00'28" W | 15.42'   |
| E13  | N 00°05'01" W | 14.65'   |
| E14  | S 50°39'54" E | 9.45'    |
| E15  | S 82°23'06" E | 171.89'  |

BOUNDARY TABLE

| LINE | DIRECTION     | DISTANCE |
|------|---------------|----------|
| E16  | S 75°07'36" E | 77.22'   |
| E17  | N 82°20'19" W | 254.57'  |
| E18  | N 00°31'55" W | 23.87'   |
| E19  | N 43°58'32" E | 10.21'   |
| E20  | N 00°21'12" W | 64.43'   |
| E21  | N 89°59'39" E | 44.60'   |
| E22  | S 00°05'01" E | 45.47'   |
| E23  | S 40°49'51" W | 14.46'   |
| E24  | S 00°02'28" W | 44.84'   |
| E25  | N 82°20'19" W | 42.03'   |
| E26  | N 82°20'19" W | 22.00'   |
| E27  | N 07°39'41" E | 3.50'    |
| E28  | S 82°20'19" E | 22.00'   |
| E29  | S 07°39'41" W | 3.50'    |

DETAIL

**HIGH MESA Consulting Group**

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
JOB #2018.017.2 PLATBASE





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ STREET LIGHT LAYOUT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_