

CITY OF ALBUQUERQUE



April 29, 2016

Richard J. Berry, Mayor

Arverd Taylor
Anderson Wahlen & Associates
2010 North Redwood Road
Salt Lake City, Utah, 84116

**RE: LHM Jeep
Grading and Drainage Plan (Stamp Date 3-31-2016)
Hydrology File: K19D023**

Dear Mr. Taylor:

Based upon the information provided in your submittal received 4-8-2016, and the additional information and ESC Plan approvals received, the above-referenced plan is approved for Building Permit and Paving Permit.

PO Box 1293 Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque If you have any questions, you can contact me at 924-3986.

New Mexico 87103 Sincerely,

www.cabq.gov

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: LHM Jeep Dodge Albuquerque. **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: 909 Virginia Street NE

Applicant: Anderson Wahlen & Associates **Contact:** Arverd Taylor
Address: 2010 N. Redwood Road, Salt Lake City, Utah, 84116
Phone#: 801-410-8515 **Fax#:** _____ **E-mail:** arverdt@awaeng.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ AS-BUILT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☒ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____



March 22, 2016

RE: LHM Jeep Parking- K19D023
Comments March 04, 2016

The following revisions were made to the Review Comments:

From: Abiel Carrillo

Comments on 1-27-16 submittal:

Comment: Please stamp and date the re-submittal.

Response: Okay

Comment: Provide proposed flowline/quarter point elevations for the new curb at the new driveway and flowline elevations across the driveway that will be closed (or provide match-to elevations).

Response: Additional elevations with match existing pavement note added.

Comment: Add a general note to replace curb and sidewalk stones to nearest joint.

Response: Note added, Sheet C0.1, Demolition Plan, General Demolition Note 18: Replace curb and sidewalk stones to the nearest joint.

Comment: The City has implemented a new standard drawing for street sections (2405A and B) that shows a depression between the back of curb and the back of sidewalk (for detached sidewalks). In this case, please show a depression between the back of sidewalk and the property line (4"-6" where practicable), to mitigate the storm runoff from the right of way into the property.

Response: Okay, depression added, and detail added to plans.

Comment: It appears that an underground storage and pre-treatment system is proposed to address the first flush volume. This solution is acceptable. However, the designer may consider using the new median islands and the long landscaped areas along the west side of the lot for water harvesting above ground, and if possible, eliminate the need for pre-treatment and underground system.

Response: Water harvesting retention areas added along the west side of the lot and in the landscaped area north of the new improvements. The pre-treatment and underground system deleted.

Comment: There is a low spot near the CDS unit (EL 59.18).

Response: Low spot to remain and a curb opening added for runoff to enter the water harvesting retention area.

Comment: The drainage report mentions that the parking lot will be combined with the adjacent lot. Will the lots be consolidated? If they won't, then a cross-lot drainage easement will be needed.

Response: The owner is working on a cross-lot drainage easement.

Comment: An approved Erosion and Sediment Control Plan will be needed prior to our final approval for Building Permit since the project site is over 1 acre.

Response: Contacted Curtis Cherne, Erosion Control Plan added to plans.

Thanks,

Arverd Taylor
Anderson Wahlen & Associates
801-410-8515

AGRS STATION "17_K19"
NM STATE PLANE COORDINATES
N=1487200.514, E=1548658.688
CENTRAL ZONE (NAD 83)
G-G FACTOR: 0.999657877
MAPPING ANGLE: -0°10'34.73"

LOT 49-A, BLOCK C,
BOSQUE REDONDO ADDITION
FILED 3/30/1999, BK. 99C, PG. 69
OWNER: BOSQUE REDONDO DEV. CORP.
C/O JAMES W. ROGERS

ALTA/ACSM Land Title Survey
Lot 46-A, Block C,
BOSQUE REDONDO ADDITION
Section 19, T.10N., R.4E., N.M.P.M.
City of Albuquerque
Bernalillo County, New Mexico

PROPERTY ADDRESS: 909 Virginia Street NE, Albuquerque, New Mexico

LEGAL DESCRIPTION:
Lot numbered Forty-six-A (46-A) in Block Lettered "C", of BOSQUE REDONDO ADDITION, to the City of Albuquerque, New Mexico, as the same is shown and designated on the The Summary plat of Lot 46-A, Block "C" filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 15, 1982, in Plat Book A8, folio 120.

- NOTES:
- Distances shown hereon are horizontal ground distances in feet.
 - Bearings are New Mexico State Plane Grid (Central Zone) NAD 83 referenced to AGRS Station "17_K19". NM State Plane Coordinates N.=1487200.514, E.=1548658.688, NAD 83 datum.
 - Record measurements are shown in parenthesis (), where record dimensions differ from measured dimensions.
 - Corners shown thus " " are set #4 rebar w/cap stamped "G. Gritsko, PS 8686", unless otherwise noted.
 - Flood Note: The property shown hereon is located in Zone X, areas determined to be outside the 0.2% annual chance flood plain according to the Flood Insurance Rate Map of Bernalillo County, New Mexico, Panel No. 35001C0358H, effective date: August 16, 2012
 - The site is currently zoned O-1 (Office and Institutional Zone) and P (Parking Zone).
 - This was no observed evidence of current earth moving work, building construction or building additions.
 - There was no observed evidence of site use as a solid waste dump, sump or sanitary landfill.
 - Parking data: There are 76 standard spaces and 3 disabled spaces, as marked and striped.
 - Documents used to determine boundary:
 - First American Title Insurance Co. commitment No. 5011635-2050496-AL01, dated 6/29/2015.
 - Plat of Bosque Redondo Addition filed 1/15/1982 in Bk. A8, page 120.

EASEMENTS:
per Schedule B-II of First American Title Insurance Co. commitment dated June 29, 2015 [item #]:

- [11]. Reservations contained in the patent from United States of America, recorded in Book 22, page 284. AFFECTS SUBJECT PROPERTY, NOTHING PLOTTED
- [12]. Utility and Access Easement(s) reserved across the insured land, as shown on the recorded plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 15, 1982, in Plat Book A8, Folio 120. AFFECTS SUBJECT PROPERTY, PLOTTED
- [13]. Easements reserved by the City of Albuquerque, in Vacation Ordinance No. V-81-22, filed April 7, 1982, in Book Misc. 922, page 158, as Document No. 8218277, and by Quitclaim Deed, filed April 15, 1982, in Book D161A, page 107, as Document No. 8219507, records of Bernalillo County, New Mexico. AFFECTS SUBJECT PROPERTY, PLOTTED.

ENCROACHMENT NOTES:

- Freestanding sign encroaches into the Virginia Street public right of way.

SURVEYOR'S CERTIFICATE:

To: Miller Family Real Estate, L.L.C.,
To: CBRS, LLC,
To: First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS in 2005, and includes Items 1, 2, 3, 4, 6(a), 7(a), 7(b)1, 7(c), 8, 9, 11(a), 13, 14, 16 and 18 of Table A thereof. I further certify that this map or plat and the survey on which it is based were made in accordance with the Minimum Standards for Surveys in the State of New Mexico in effect at the time of this certification, and this plat and survey are true and correct to the best of my knowledge and belief. The field work was completed on June 30, 2015.

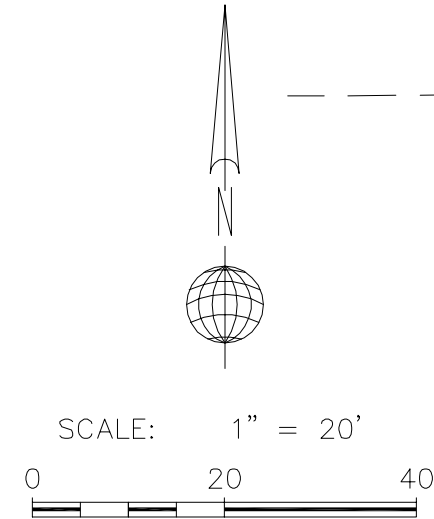
Date of certification: July 14, 2015

Gary E. Gritsko, N.M. Professional Surveyor No. 8686

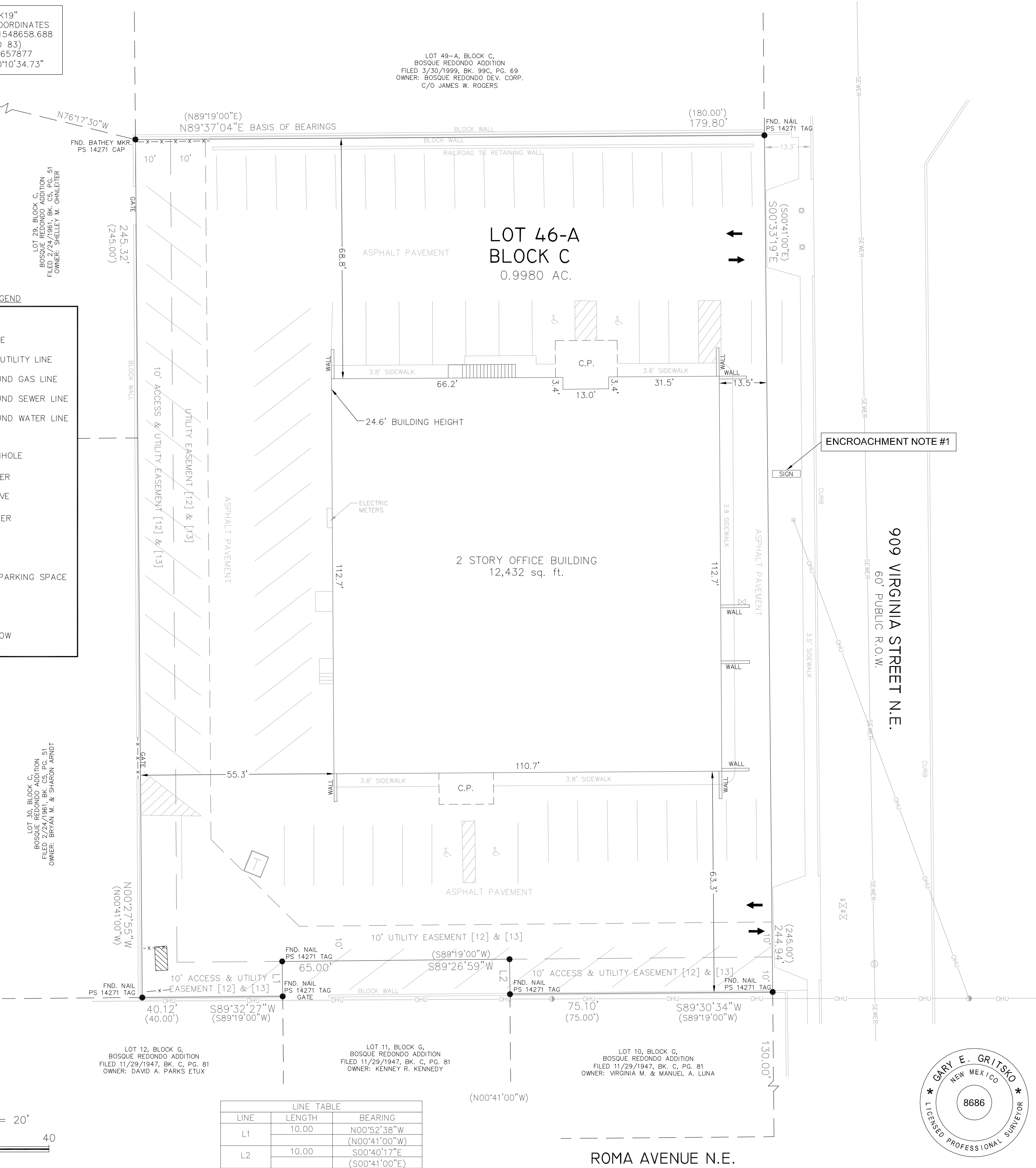
ALPHA PRO SURVEYING LLC.
1436 32ND CIRCLE SE, RIO RANCHO, N.M. 87174
PHONE (505) 892-1076 ALPHAPROSURVEYING.COM
DRAWN BY: CS FILE No.:15-148

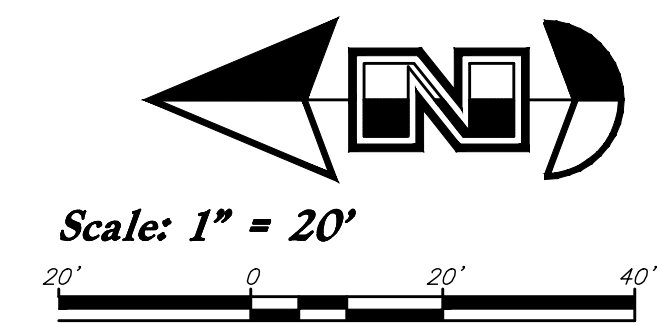
SYMBOLS LEGEND

- ☆ = LIGHT POLE
- = POWER POLE
- OHU- = OVERHEAD UTILITY LINE
- GAS- = UNDERGROUND GAS LINE
- SEWER- = UNDERGROUND SEWER LINE
- WATER- = UNDERGROUND WATER LINE
- = ANCHOR
- ⊙ = SEWER MANHOLE
- ⊠ = WATER METER
- ⊠ = WATER VALVE
- ⊠ = TRANSFORMER
- ⊠ = DUMPSTER
- ⊠ = GAS METER
- ♿ = HANDICAP PARKING SPACE
- = WALL
- x- = FENCE
- ➔ = TRAFFIC FLOW



LINE TABLE		
LINE	LENGTH	BEARING
L1	10.00	N00°52'38"W (N00°41'00"W)
L2	10.00	S00°40'17"E (S00°41'00"E)





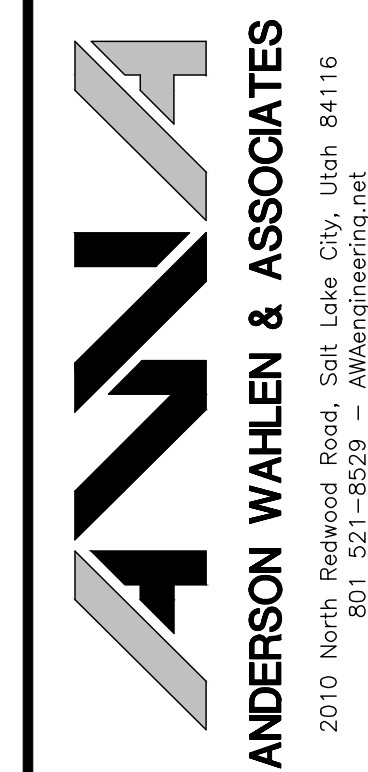
1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
2. Refer to site improvement plans for more details on limits of removal.
3. All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain pipes and structures to be cleared from site unless otherwise shown.
4. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
5. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-78. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
6. Clear and grub trees, shrubs, and vegetation within construction limits, disposal to be off-site except where noted otherwise.
7. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
8. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
9. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where measurements taken in the field, the information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
10. Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
11. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
12. Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
13. Install traffic warning devices as needed in accordance with local standards.
14. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
15. Demolish existing buildings and clear from site. (Including removal of all footings and foundations.)
16. If ASBESTOS is found in existing structures, the Asbestos must be removed in a legal manner by a contractor licensed to handle asbestos materials. (Not a part of contract)
17. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of soil materials or contaminated soil.
18. Replace curb and sidewalk stones to the nearest joint.

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

New Mexico One Call, Inc.
NMOC
 Professional Resources for Damage Prevention
1-800-321-ALERT

[illegible]

Designed by: JT
Drafted by: GRW
Client Name:
Miller Family Real Estate
15-079 DM



Demolition Plan

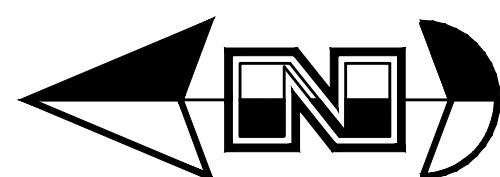
LLHM Jeep Dodge Albuquerque

909 Virginia Street N.E.
Albuquerque, NM

31 Mar, 2016

SHEET NO.

CO.1



Scale: 1" = 20'



General Grading Notes:

1. All grading shall be in accordance with the project geotechnical study.
 2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
 3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
 4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
 5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
 6. Fills shall be benched into competent material as per specifications and geotechnical report.
 7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
 8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
 9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
 10. Dust shall be controlled by watering.
 11. The location and protection of all utilities is the responsibility of the permittee.
 12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
 13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
 14. The site shall be cleared and grubbed of all vegetation and deleterious material prior to grading.
 15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
 16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
 17. The recommendations in the following Geotechnical Engineering Report by Vinyard & Associates, Inc. are included in the requirements of grading and site Preparation. The Report is titled "Geotechnical Investigation; Larry H. Miller Chrysler, Jeep, Dodge Dealership"
- Project No.: 10-1-017
Dated: February 10, 2010
18. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy; it is expressly understood that such survey may not accurately reflect existing topographic conditions.
 19. If Contractor observes evidence of hazardous materials or contaminated soils, Contractor shall notify the project engineer to provide notification and obtain direction before proceeding with the disturbance of soil materials or contaminated soil.
 20. Contractor will be responsible to phase the construction development so that storm water improvements and storm water facilities including detention or retention improvement facilities are constructed and operational prior to an offsite storm water release and take necessary construction precautions so that no offsite flooding will occur.

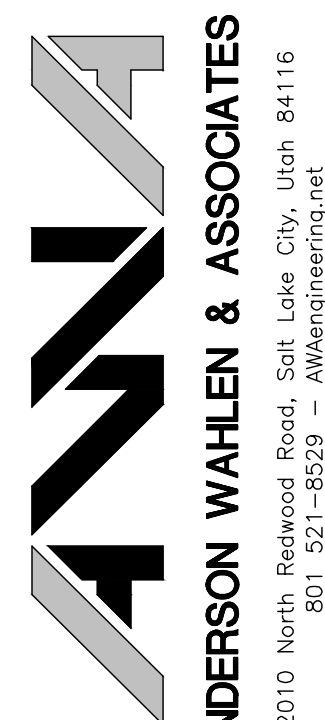
Curb and Gutter Construction Notes:

1. *Open face gutter shall be constructed where drainage is directed away from curb.*
2. *Open face gutter locations are indicated by shading and notes on the grading plan.*
3. *It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.*
4. *Refer to the typical details for a standard and open face curb and gutter for dimensions.*
5. *Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.*

ADA Note:
Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.
The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA (ICC/ANSI A117.1—Latest Edition) and/or FHAA.

[illegible]

Designed by: JT
Drafted by: GRW
Client Name:
Miller Family Real Estate
15-079 GR



Grading and Drainage Plan

LHM Jeep Dodge Albuquerque
909 Virginia Street N.E.
Albuquerque, NM

Grading and Drainage Plan

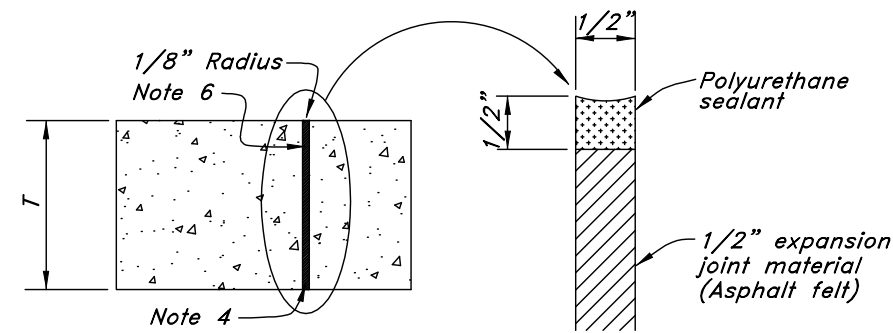
31 Mar, 2016

SHEET NO

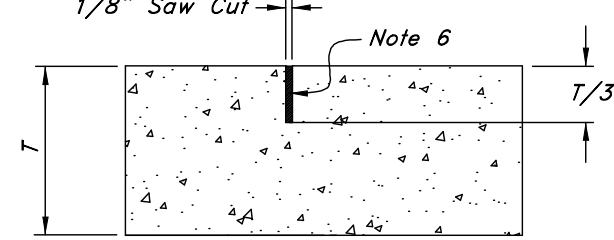
C2.1



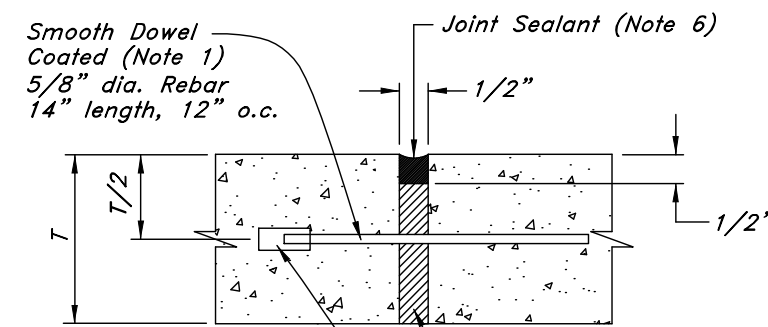
1. REINFORCEMENT: ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
- A. Space rebar and dowels at 12 to 15 inches on center.
B. Grease dowels to provide movement in expansion joints.
C. Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
2. SAWING: Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommend by sealant manufacturer and approved by ENGINEER.
3. JOINTS: Lay out joints to aid construction and control random cracking.
- A. Joint Spacing shall be 12 feet maximum on center in both directions.
B. Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
C. Make adjustments in joint locations to meet inlet or manhole locations.
D. Expansion joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
4. JOINT FILLER: Bituminous (Asphalt or tar) mastic, ASTM D994. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
5. BACKER ROD: Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
6. JOINT SEALANT: Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.



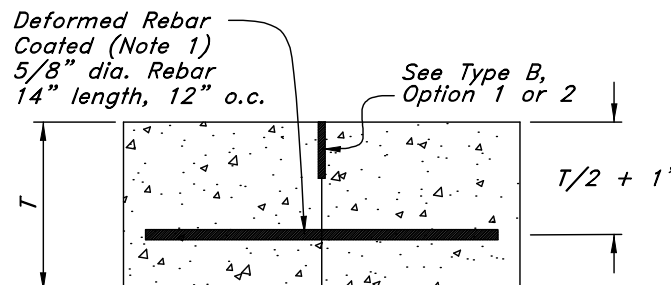
Type A Expansion Joint



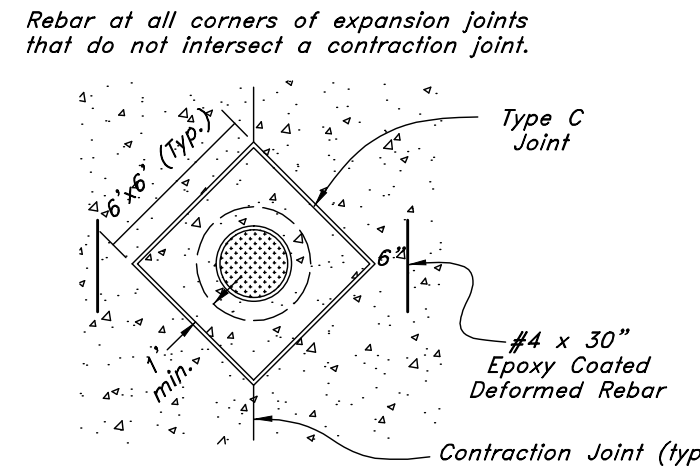
Type B Contraction Joint (Option 2)



Type F Doweled Expansion Joint at Construction/Cold Joint



Type C Construction/Cold Joint

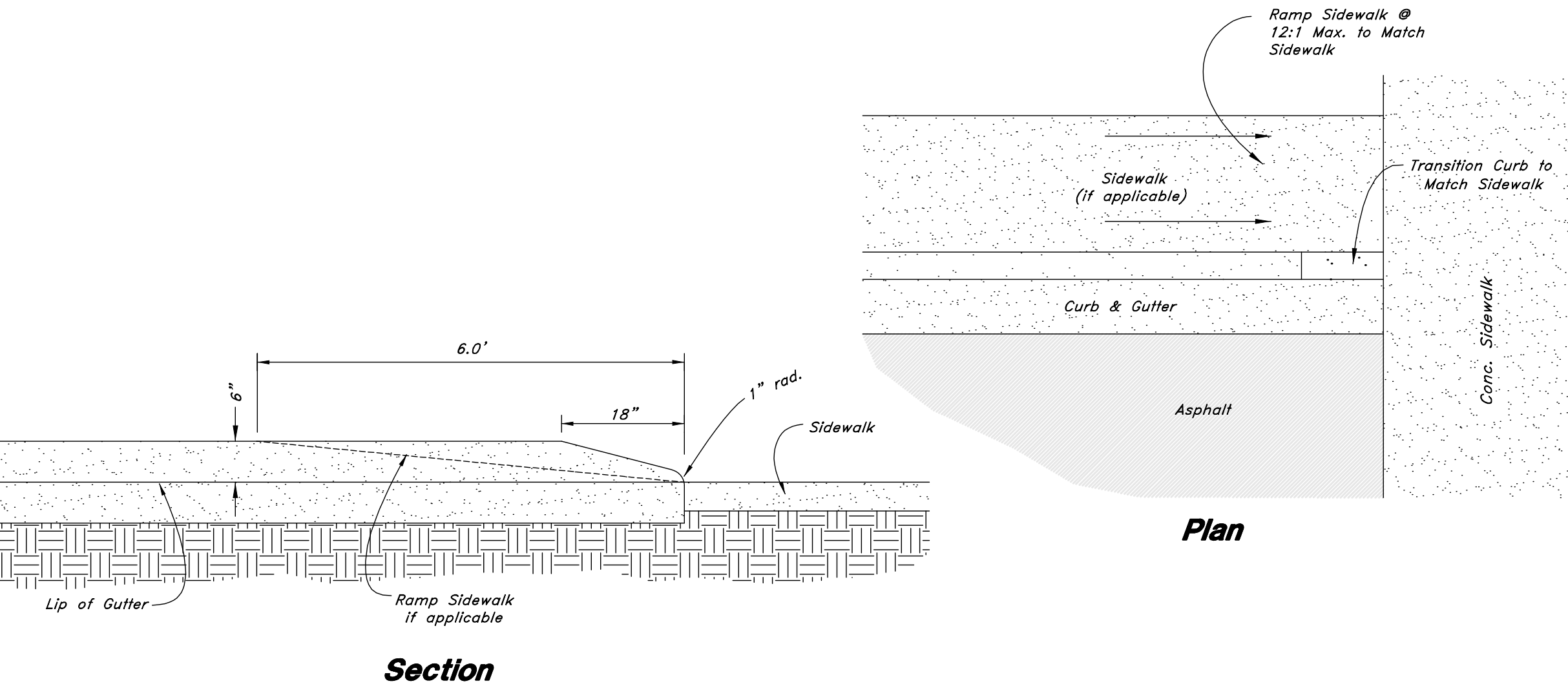


Example 1

10

Concrete Joint Detail

Not to Scale

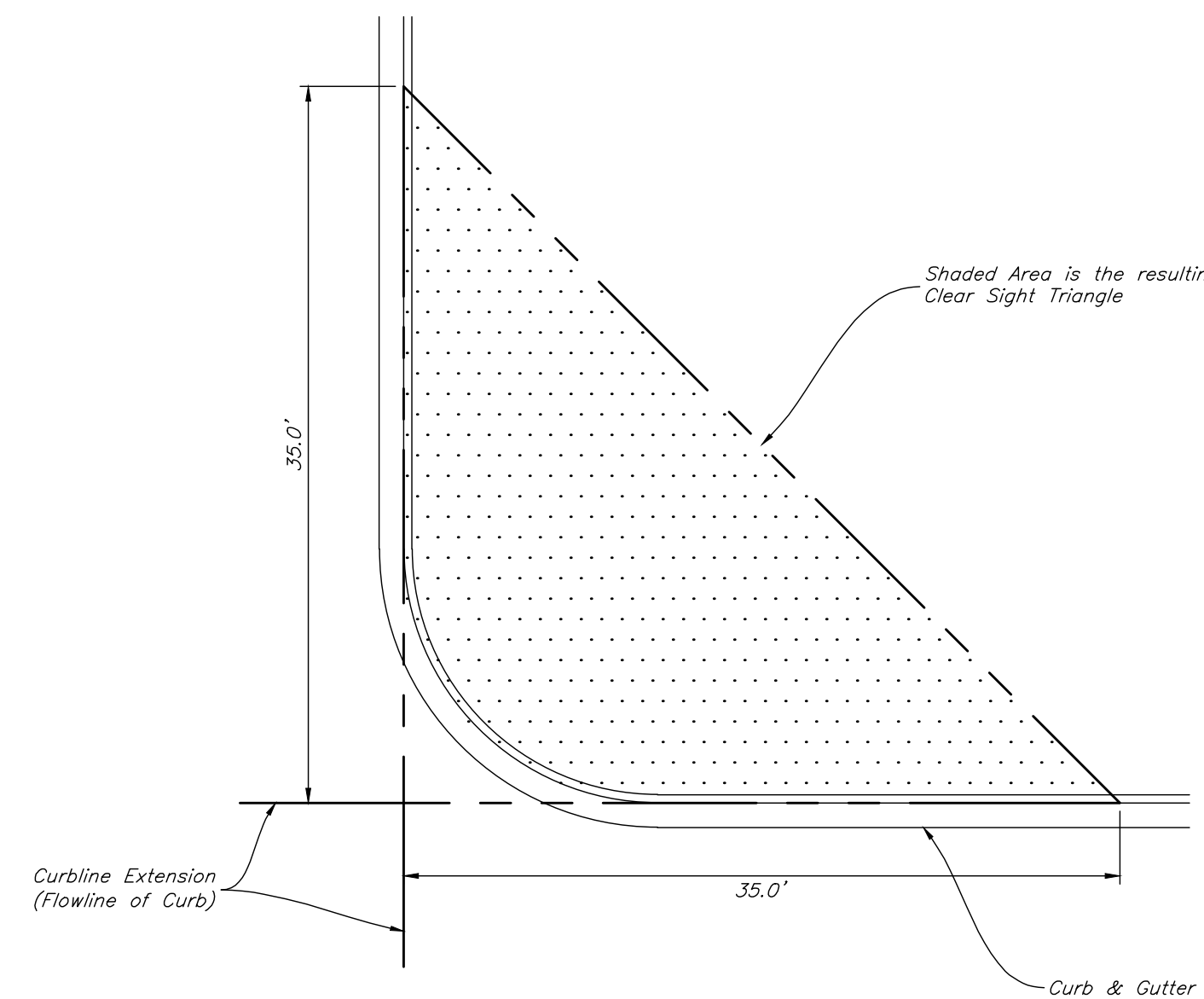


Section

Curb Transition

Not to Scale

9



7

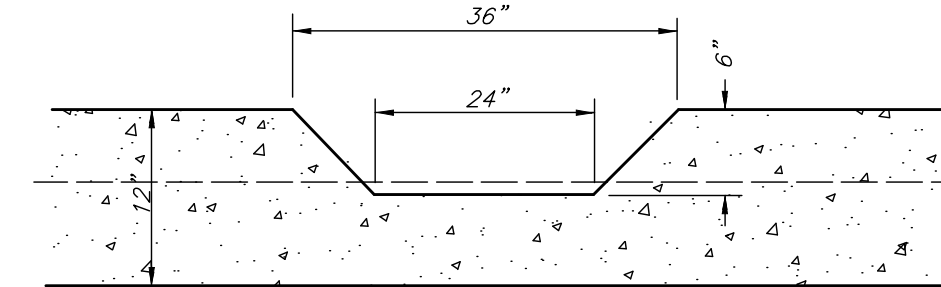
Clear Sight Triangle

Not to Scale

4

24" Curb Opening

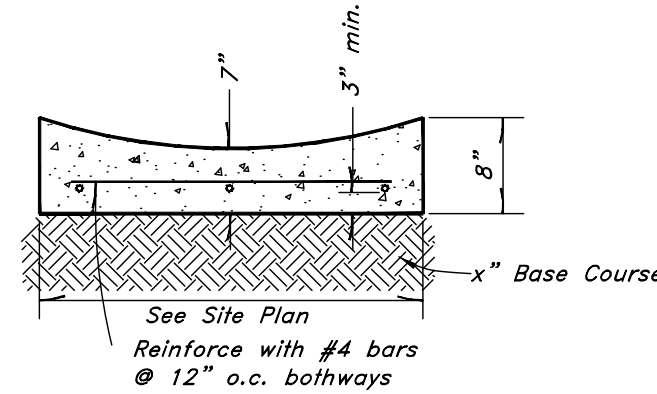
Not to Scale



5

Concrete Waterway

Not to Scale

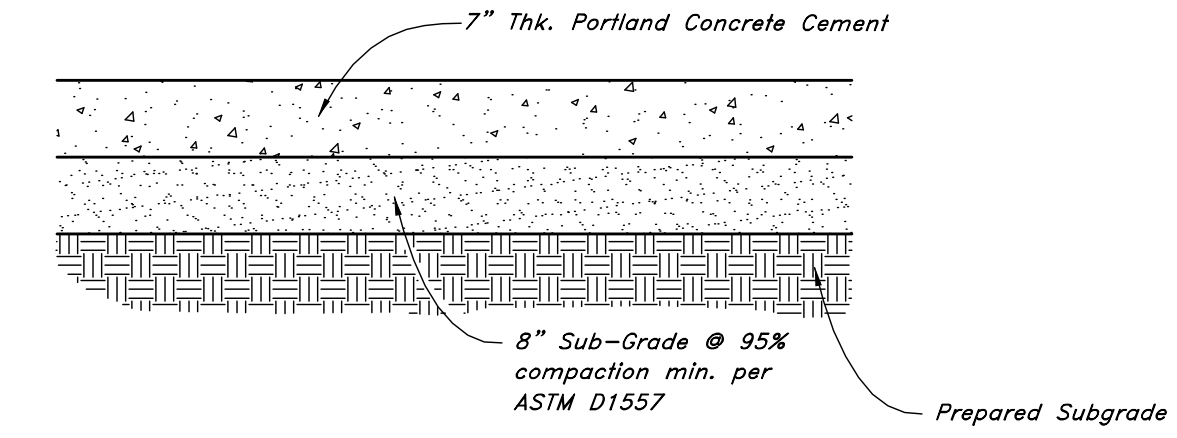


Contraction Joints

- A. Spacing = 10' o.c.
B. 1/8" wide by 2" deep

1. See Concrete Joint Detail

1. See Geotechnical Report for Project for Further Details
2. See Concrete Joint Detail



3

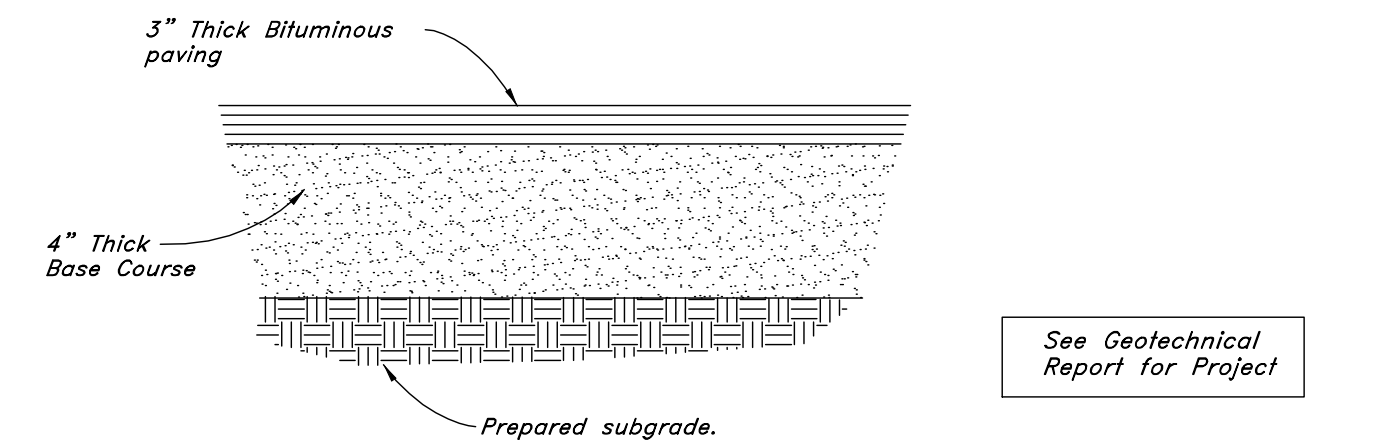
Concrete Paving Section

Not to Scale

2

Standard Asphalt Section

Not to Scale



See Geotechnical Report for Project

Contraction Joints
A. Spacing = 10' o.c.

Expansion Joints

- A. Make expansion joints full depth, see joint detail
B. Place expansion joint at all cold joints
C. Expansion joints are required at the start or end of curb radius

Note: All curb & gutter to be standard unless otherwise noted.

1. See Concrete Joint Detail

1

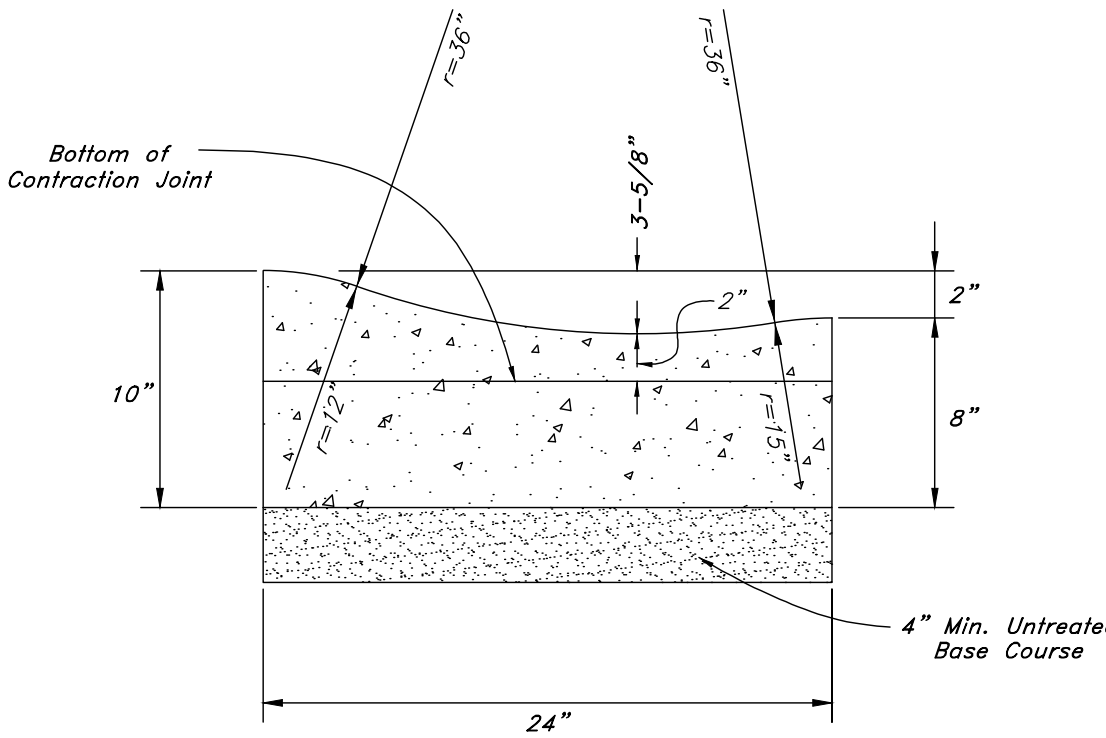
24" Curb And Gutter

Not to Scale

6

24" Rolled Curb And Gutter

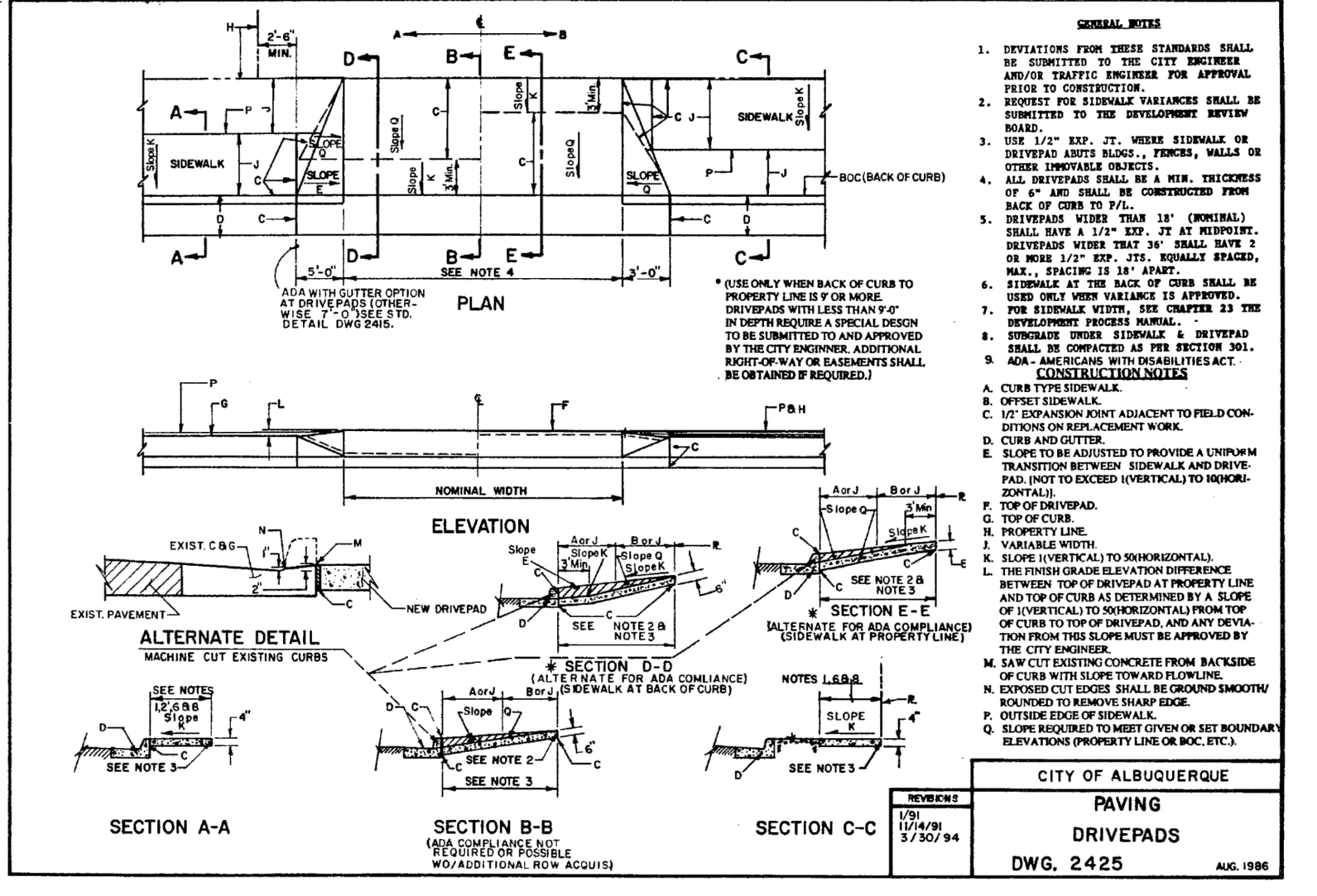
Not to Scale



8

Albuquerque Standard Drawing 2425

Not to Scale



Designed by: JT
Drafted by: GRW
Client Name:
Miller Family Real Estate
15-079 DT

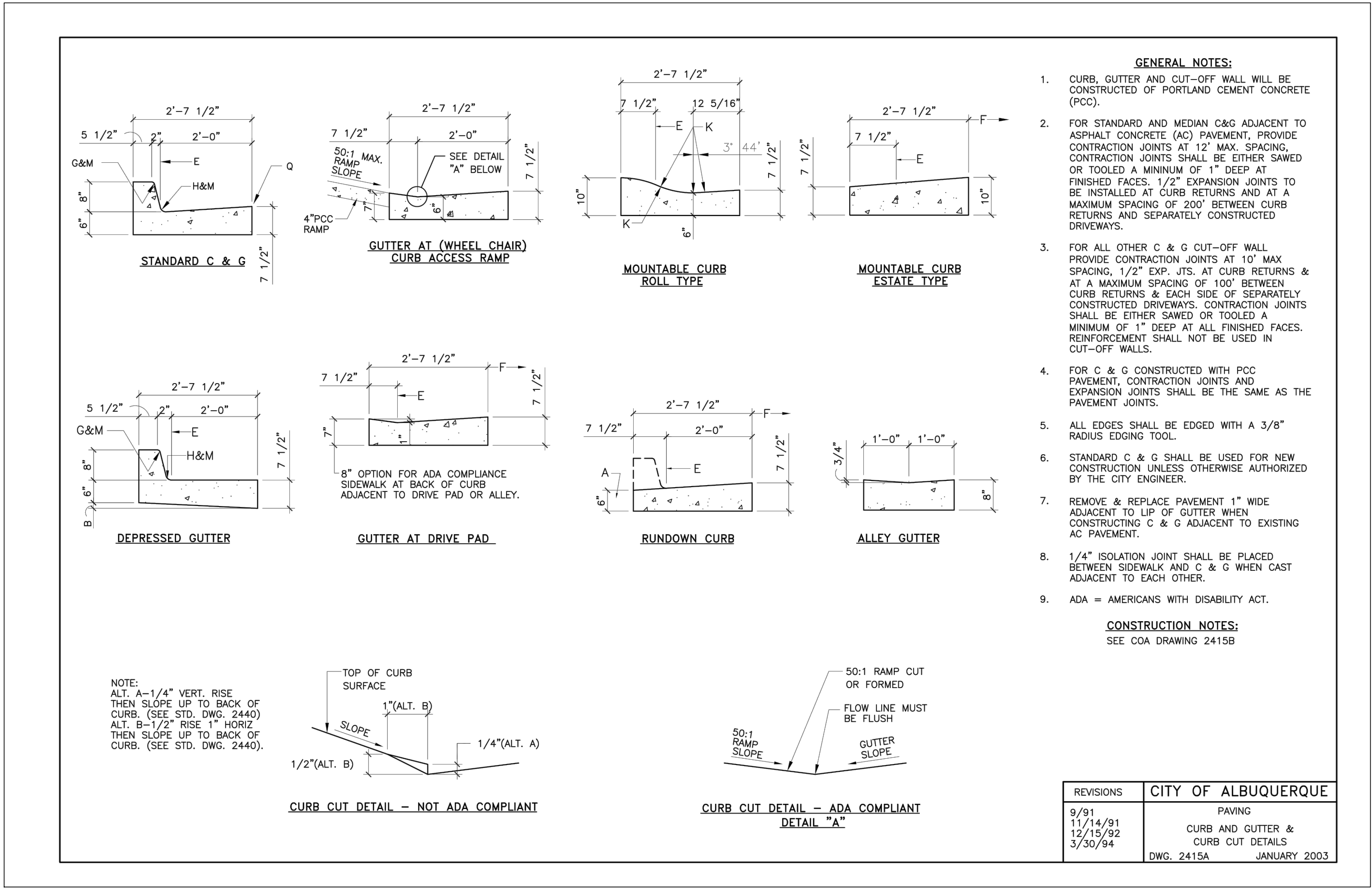
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801-521-6529 - alw@alwengr.com

LHM Jeep Dodge Albuquerque
909 Virginia Street N.E.
Albuquerque, NM

NEW MEXICO
20167
3-31-2016
REGISTERED PROFESSIONAL ENGINEER

31 Mar, 2016
SHEET NO.
C3.1

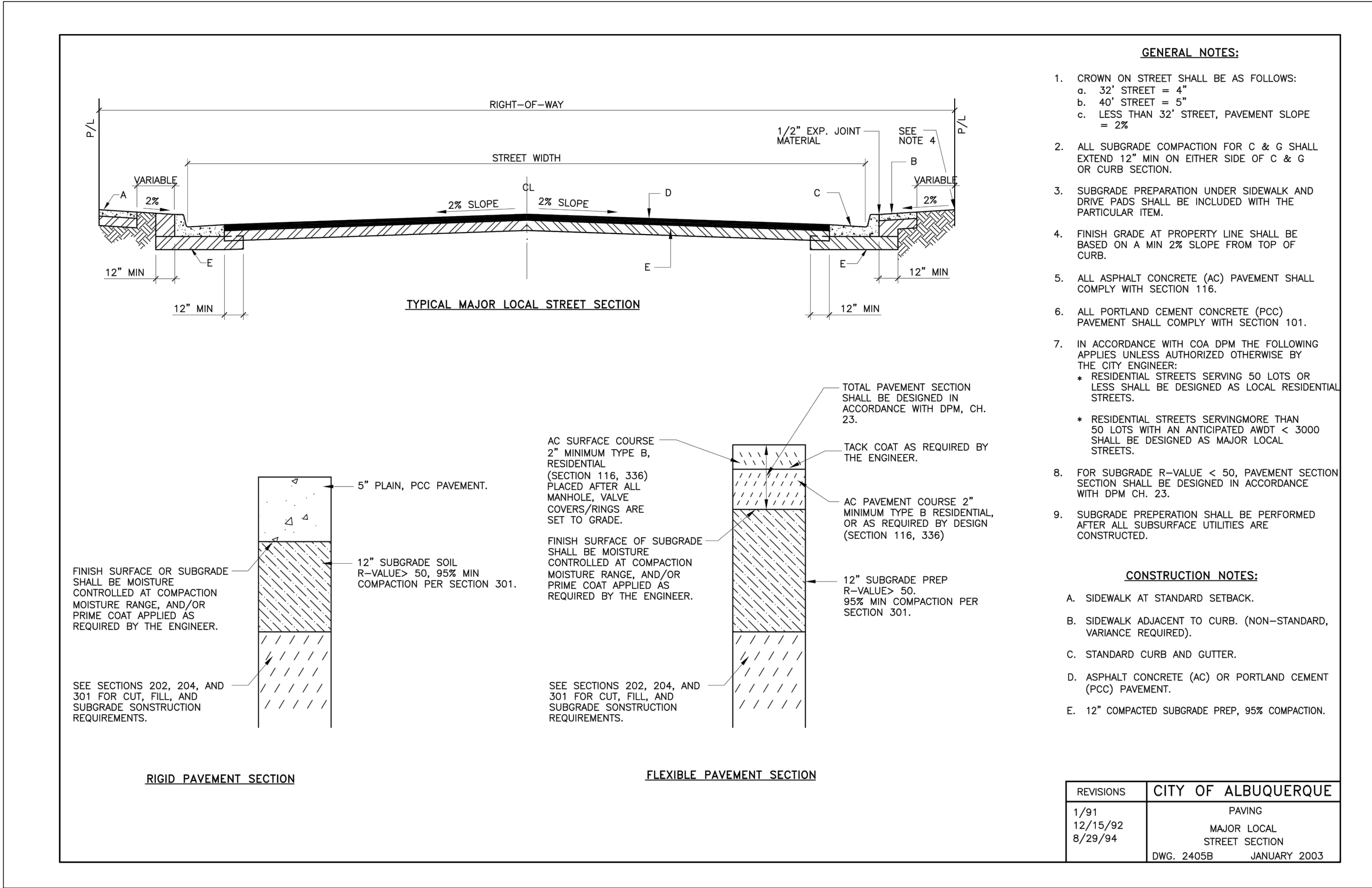
w:\15-079 LHM Albuquerque\dwgs\15-079 DT.dwg, 3/31/2016 9:54:47 AM, 1:1, DWG



13

Albuquerque Standard Drawing 2415A

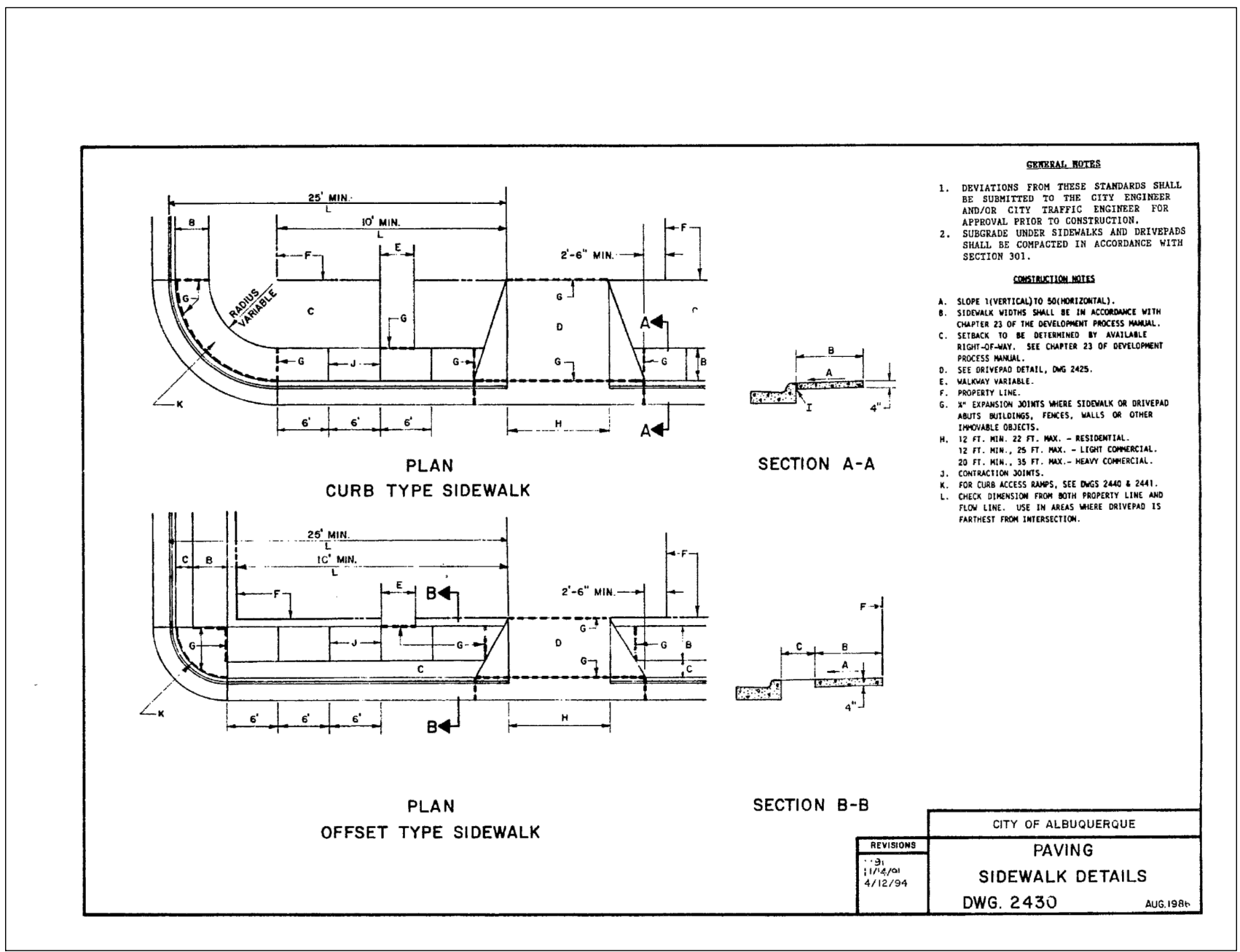
Not to Scale



12

Albuquerque Standard Drawing 2405B

Not to Scale



11

Albuquerque Standard Drawing 2430

Not to Scale

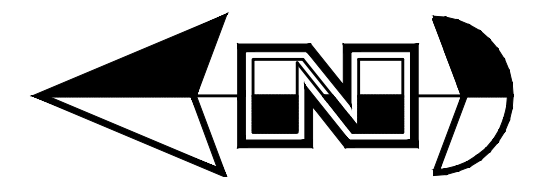
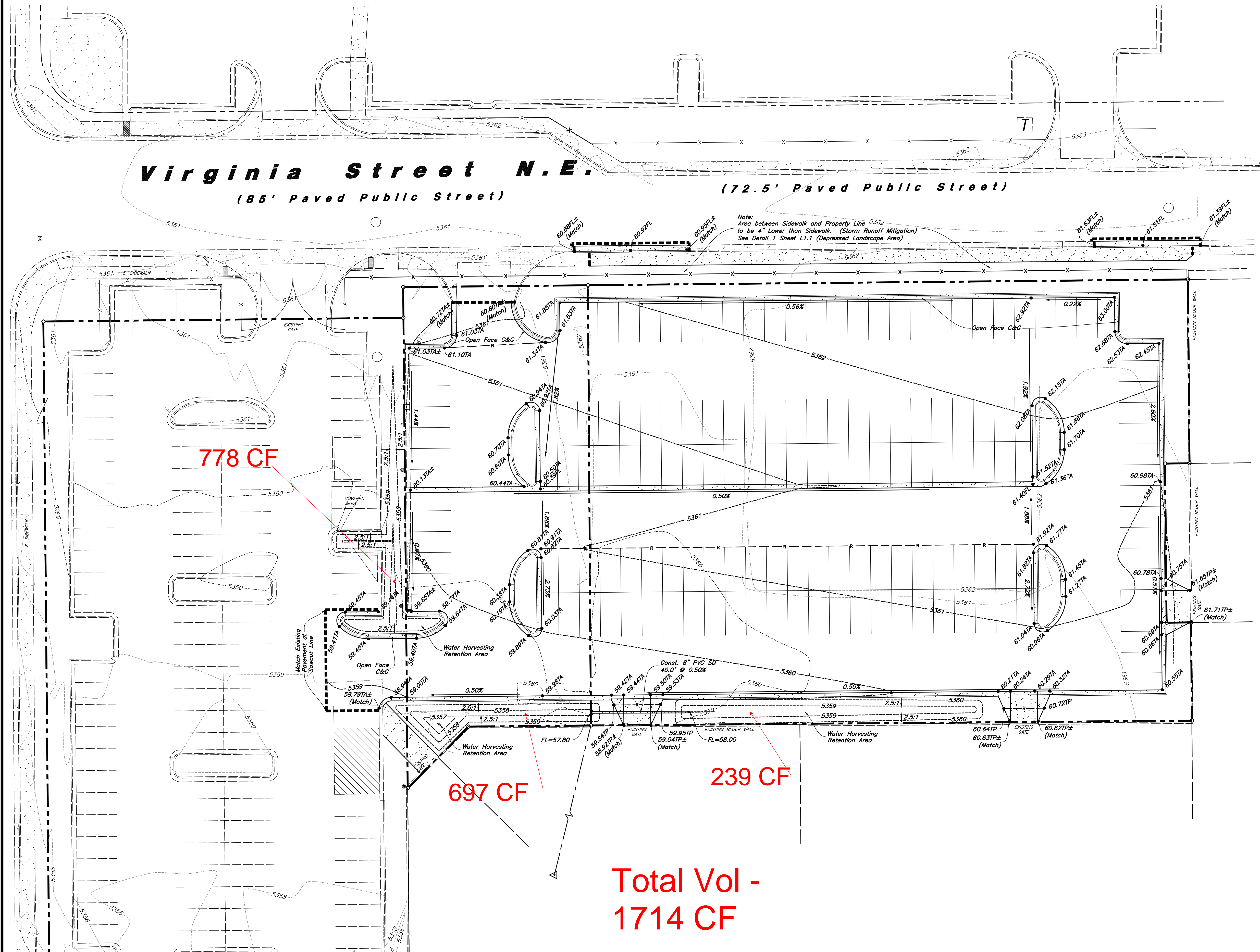
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801-521-6529 - AWahlen@amng.net

LHM Jeep Dodge Albuquerque
909 Virginia Street N.E.
Albuquerque, NM

NEW MEXICO
20167
3-31-2016
REGISTERED PROFESSIONAL ENGINEER

31 Mar, 2016

SHEET NO.
C3.2



Scale: 1" = 20'



General Grading Notes:

- All grading shall be in accordance with the project geotechnical study.
- Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
- Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
- Fills shall be banded into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified by a Geotechnical Engineer.
- A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
- The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
- Dust shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permittee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
- All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
- The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.
- The recommendations in the following Geotechnical Engineering Report by Vinyard & Associates, Inc. are included in the requirements of grading and site preparation. The Report is titled "Geotechnical Investigation; Larry H. Miller Chrysler, Jeep, Dodge Dealership".
Project No.: 10-1-017
Dated: February 10, 2010
- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
- If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.
- Contractor will be responsible to phase the construction development so that storm water improvements and storm water facilities including detention or retention improvement facilities are constructed and functional prior to an offsite storm water release and take necessary construction precautions so that no offsite flooding will occur.

Curb and Gutter Construction Notes:

- Open face gutter shall be constructed where drainage is directed away from curb.
- Open face gutter locations are indicated by shading and notes on the grading plan.
- It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
- Refer to the typical details for a standard and open face curb and gutter for dimensions.
- Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.

ADA Note:
Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.
The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA (ICC/ANSI A117.1-Latest Edition) and/or FHAA.

REV	DATE	DESCRIPTION
X	XXV	XXV
X	XXV	XXV

Designed by: JT
Drafted by: GRW
Client Name:
Miller Family Real Estate
15-079 GR

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801-521-8529 - alw@andwh.com

Grading and Drainage Plan
LHM Jeep Dodge Albuquerque
909 Virginia Street N.E.
Albuquerque, NM



31 Mar, 2016

SHEET NO.

C2.1

From: Abiel X. Carrillo
To: ["arverdt@awaeng.com"](mailto:arverdt@awaeng.com)
Cc: [Cherne, Curtis](#); [Harmon Rita T.](#)
Subject: RE: LHM Jeep - K19D023 - Stamp Date 3-31-2016
Date: Monday, April 11, 2016 5:11:00 PM

Arverdt,

Like we discussed over the phone, you have resolved all of the outstanding comments without needing a new submittal, as noted below for future reference in red. The Plan will be able to be approved once the ESC Plan is cleared.

Thanks,

Abiel Carrillo, P.E.

Principal Engineer - Hydrology
Planning Department

Development Review Services Division

City of Albuquerque

505-924-3986

acarrillo@cabq.gov

600 2nd Street NW

Albuquerque, NM 87102

From: Abiel X. Carrillo
Sent: Monday, April 11, 2016 9:41 AM
To: 'arverdt@awaeng.com'
Cc: Cherne, Curtis; Harmon Rita T.
Subject: LHM Jeep - K19D023 - Stamp Date 3-31-2016

Mr. Taylor,

This email is being sent in lieu of an attached comment letter in order to expedite the response for initial reviews. Responses to comments should continue to be included in the re-submittal. A reply to this email with responses to comments will not be considered a re-submittal.

Based on the information provided in your resubmittal for the above-referenced project, which was received 4-8-2016, the revised Grading and Drainage Plan cannot be approved for Paving Permit or Building Permit. This is primarily because the first flush requirement (volume provided) needs to be met, as further described below along with other minor comments:

1. We agree with the concept of replacing the underground structure with surface management for first flush; it will be easier to manage and maintain. However, the total calculated required volume needs to be accounted for. I also left you a message regarding maximizing the volume provided. **Per your follow up exhibit, the pond volume provided exceeds the required volume. Item resolved**

- a. Provide a calculation on the plan of the total first flush volume provided, and call out the pond bottom of each ponding area (unless you provide a labeled contour).
Provided in the exhibit
2. Starting February 1, 2016, the Hydrology Department requires that the ESC Plan is approved prior to approval for Building, Grading, and Paving Permit. We recommend resubmitting once that approval has been secured. We did receive the ESC Plan, and it will be reviewed by the Stormwater Quality Engineer. Please contact him directly if you have any question: Curtis Cherne, 924-3420, ccherne@cabq.gov.
3. Call out the curb cut locations on the Grading Plan. They are shown on the site plan in the construction set.
4. For your information, evidence of the proposed lot consolidation will be required prior to approval for Certificate of Occupancy. Owner is working on the consolidation

Any question please let me know.

FYI, I will be out of the office starting tomorrow until the 25th, in my absence Rita Harmon, 924-3695 can answer any question. I will be only be available through email.

Abiel Carrillo, P.E.

Principal Engineer - Hydrology

Planning Department

Development Review Services Division

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505-924-3986

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