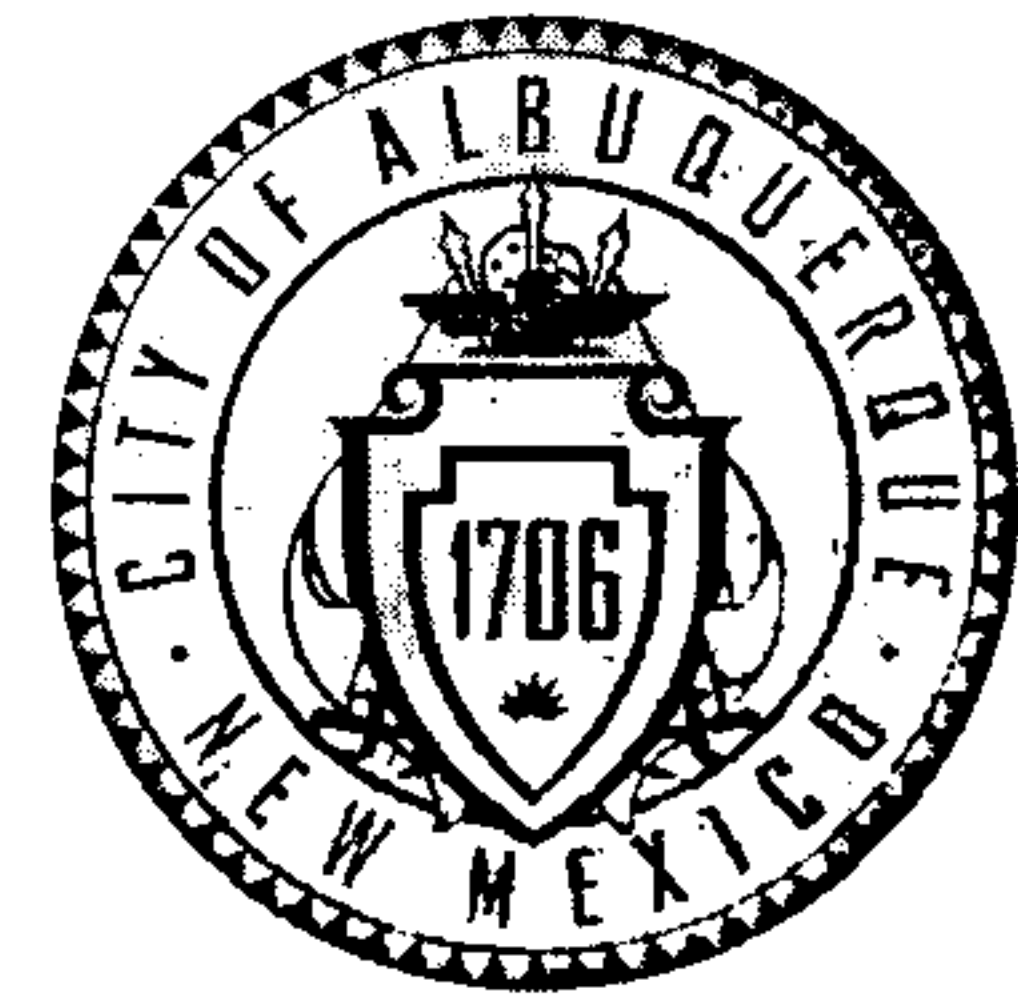


# CITY OF ALBUQUERQUE



February 16, 2017

Mr. David Anderson  
2010 North Redwood Rd  
Salt Lake City, UT 84116

**Re: LHM Jeep Dodge  
Request for Permanent C.O. - Accepted  
Engineer's Stamp Date 3-31-16 (K19D023)  
Certification date: 2-10-17**

Dear Mr. Anderson,

Based upon the information provided in your submittal received 2/14/2017, the above referenced Certification received is acceptable for the release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3999 or Totten Elliott at 924-3982.

PO Box 1293

Sincerely,

Albuquerque

Shahab Biazar, P.E.  
City Engineer, Planning Dept.  
Development Review Services

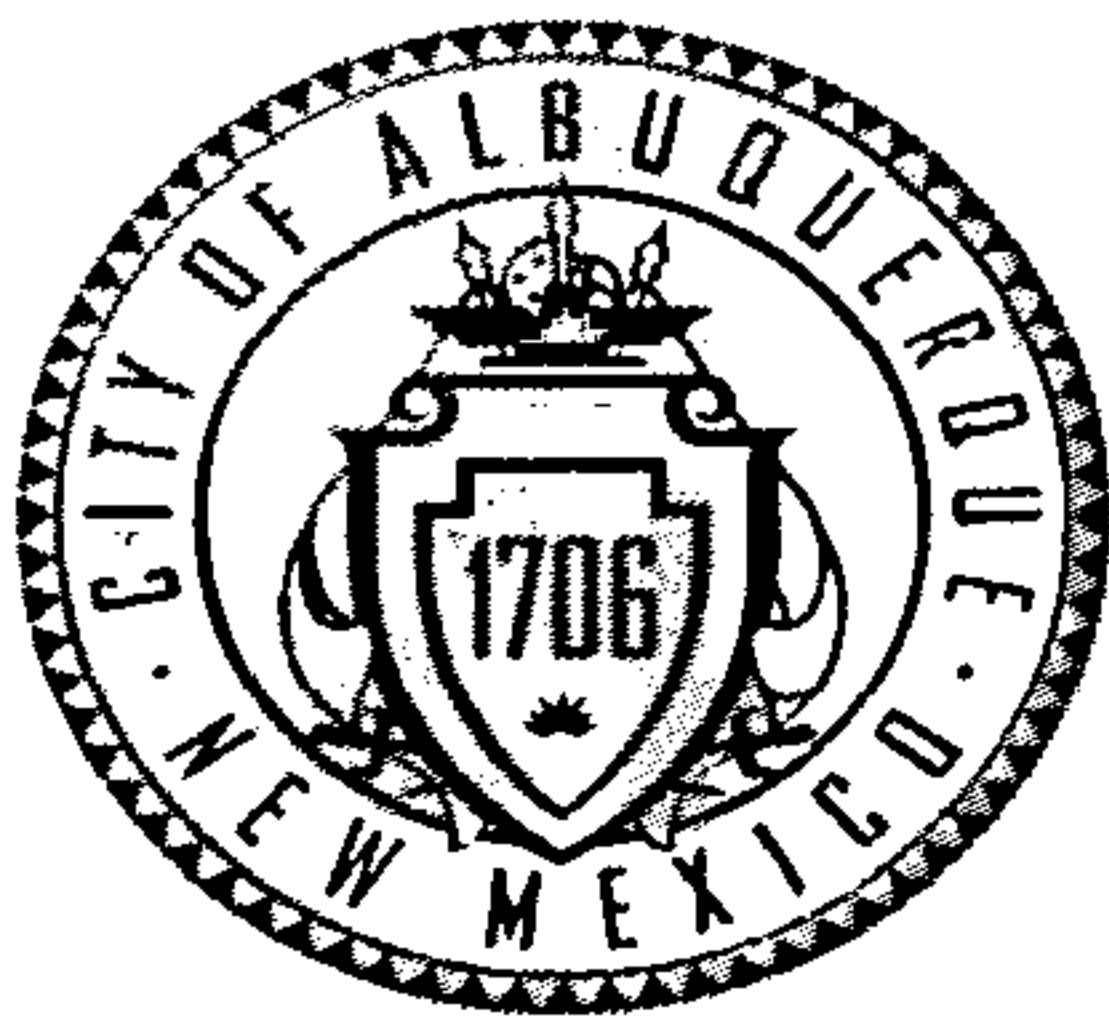
New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

TE/SB

C: email Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LHM Jeep Dodge, Albuquerque Building Permit #: \_\_\_\_\_ City Drainage #: K19D023

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot numbered Forty-six-A in Block Lettered "C", of BOSQUE REDONDO ADDITION

City Address: 909 Virginia St NE

Engineering Firm: Anderson Wahlen & Associates Contact: Arverd Taylor

Address: 2010 North Redwood Road, Salt lake City, UT 84116

Phone#: 801-410-8515 Fax#: 801-521-9551 E-mail: arverdt@awaeng.com

Owner: Miller Family Real Estate, L.L.C. Contact: Brad Holmes

Address: 9350 S. 150 E. Suite 1000, Salt Lake City, Utah, 84070

Phone#: 801-563-4236 Fax#: \_\_\_\_\_ E-mail: brad.holmes@lhm.com

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

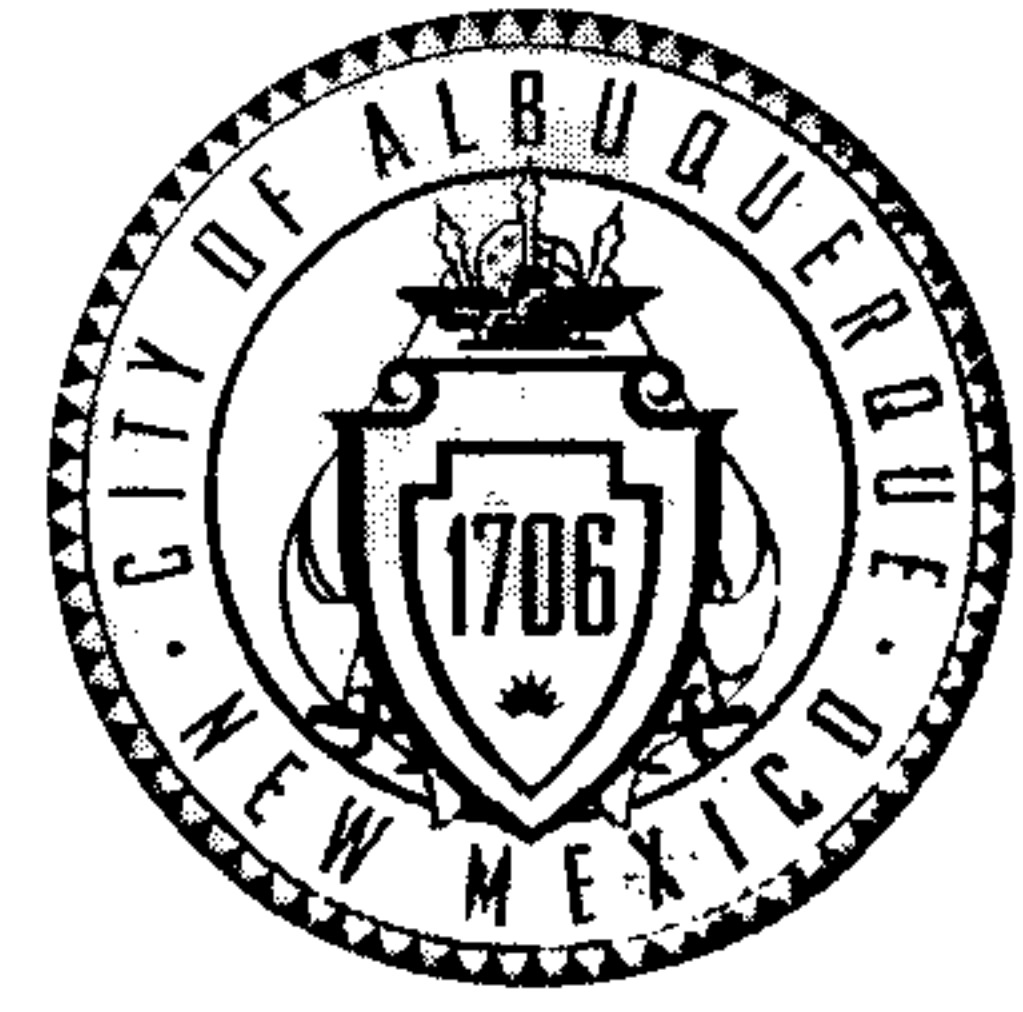
DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



# CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

April 29, 2016

Arverd Taylor  
Anderson Wahlen & Associates  
2010 North Redwood Road  
Salt Lake City, Utah, 84116

**RE: LHM Jeep  
Grading and Drainage Plan (Stamp Date 3-31-2016)  
Hydrology File: K19D023**

Dear Mr. Taylor:

Based upon the information provided in your submittal received 4-8-2016, and the additional information and ESC Plan approvals received, the above-referenced plan is approved for Building Permit and Paving Permit.

PO Box 1293 Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque If you have any questions, you can contact me at 924-3986.

New Mexico 87103 Sincerely,

www.cabq.gov

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file





ANDERSON WAHLEN & ASSOCIATES

Project Name

LHM JEEP DODGE

Date

4/11/2016

RETENTION FOR FIRST FLUSH

BY: A. TAYLOR

NORTH AREA

ELEV	AREA(SF)	VOL(CF)	ΣVOL
5351.5	871	392	
5359	697	386	
5358	75		<u>778 CF</u>

NORTH WEST

ELEV	AREA(SF)	VOL(CF)	ΣVOL
5359	724	503	
5358	283	116	
5357	48	25	
5356	2		<u>647 CF</u>

SOUTH WEST

ELEV	AREA(SF)	VOL(CF)	ΣVOL
5359	474	239	
5358	2		<u>239 CF</u>

TOTAL VOLUME

1714 CF

REQUIRED

1374 CF







## **Abiel X. Carrillo**

---

**From:** Abiel X. Carrillo  
**Sent:** Friday, April 29, 2016 8:50 AM  
**To:** 'arverdt@awaeng.com'  
**Subject:** RE: LHM Jeep - K19D023 - Stamp Date 3-31-2016  
**Attachments:** K19D023\_BP\_PAVE\_APPR.pdf

Arverd,

See attached the approval for the above-referenced project.

Any question just let me know.

## **Abiel Carrillo, PE, CFM**

**Principal Engineer - Hydrology**  
**Planning Department**  
Development Review Services Division  
City of Albuquerque  
505-924-3986  
[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

---

**From:** Abiel X. Carrillo  
**Sent:** Monday, April 11, 2016 5:11 PM  
**To:** 'arverdt@awaeng.com'  
**Cc:** Cherne, Curtis; Harmon Rita T.  
**Subject:** RE: LHM Jeep - K19D023 - Stamp Date 3-31-2016

Arverdt,

Like we discussed over the phone, you have resolved all of the outstanding comments without needing a new submittal, as noted below for future reference in red. The Plan will be able to be approved once the ESC Plan is cleared.

Thanks,

## **Abiel Carrillo, P.E.**

**Principal Engineer - Hydrology**  
**Planning Department**  
Development Review Services Division  
City of Albuquerque  
505-924-3986  
[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

---

**From:** Abiel X. Carrillo  
**Sent:** Monday, April 11, 2016 9:41 AM  
**To:** 'arverdt@awaeng.com'



**Cc:** Cherne, Curtis; Harmon Rita T.  
**Subject:** LHM Jeep - K19D023 - Stamp Date 3-31-2016

Mr. Taylor,

This email is being sent in lieu of an attached comment letter in order to expedite the response for initial reviews. Responses to comments should continue to be included in the re-submittal. A reply to this email with responses to comments will not be considered a re-submittal.

Based on the information provided in your resubmittal for the above-referenced project, which was received 4-8-2016, the revised Grading and Drainage Plan cannot be approved for Paving Permit or Building Permit. This is primarily because the first flush requirement (volume provided) needs to be met, as further described below along with other minor comments:

1. We agree with the concept of replacing the underground structure with surface management for first flush; it will be easier to manage and maintain. However, the total calculated required volume needs to be accounted for. I also left you a message regarding maximizing the volume provided. Per your follow up exhibit, the pond volume provided exceeds the required volume. Item resolved
  - a. Provide a calculation on the plan of the total first flush volume provided, and call out the pond bottom of each ponding area (unless you provide a labeled contour). Provided in the exhibit
2. Starting February 1, 2016, the Hydrology Department requires that the ESC Plan is approved prior to approval for Building, Grading, and Paving Permit. We recommend resubmitting once that approval has been secured. We did receive the ESC Plan, and it will be reviewed by the Stormwater Quality Engineer. Please contact him directly if you have any question: Curtis Cherne, 924-3420, [ccherne@cabq.gov](mailto:ccherne@cabq.gov).
3. Call out the curb cut locations on the Grading Plan. They are shown on the site plan in the construction set.
4. For your information, evidence of the proposed lot consolidation will be required prior to approval for Certificate of Occupancy. Owner is working on the consolidation

Any question please let me know.

FYI, I will be out of the office starting tomorrow until the 25<sup>th</sup>, in my absence Rita Harmon, 924-3695 can answer any question. I will be only be available through email.

**Abiel Carrillo, P.E.**

**Principal Engineer - Hydrology**

**Planning Department**

Development Review Services Division

City of Albuquerque

505-924-3986

[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)

600 2<sup>nd</sup> Street NW

Albuquerque, NM 87102





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: LHM Jeep Dodge Albuquerque. Building Permit #: \_\_\_\_\_ Hydrology File #: K190023  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: \_\_\_\_\_  
City Address: 909 Virginia Street NE

Applicant: Anderson Wahlen & Associates Contact: Arverd Taylor  
Address: 2010 N. Redwood Road, Salt Lake City, Utah, 84116  
Phone#: 801-410-8515 Fax#: \_\_\_\_\_ E-mail: arverdt@awaeng.com  
Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)  
  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ GRADING/ESC PERMIT APPROVAL  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☒ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING?  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE RECEIVED: \_\_\_\_\_

RECEIVED  
4-8-16



## **Abiel X. Carrillo**

---

**From:** Abiel X. Carrillo  
**Sent:** Monday, April 11, 2016 9:41 AM  
**To:** 'arverdt@awaeng.com'  
**Cc:** Cherne, Curtis; Harmon Rita T.  
**Subject:** LHM Jeep - K19D023 - Stamp Date 3-31-2016

Mr. Taylor,

This email is being sent in lieu of an attached comment letter in order to expedite the response for initial reviews. Responses to comments should continue to be included in the re-submittal. A reply to this email with responses to comments will not be considered a re-submittal.

Based on the information provided in your resubmittal for the above-referenced project, which was received 4-8-2016, the revised Grading and Drainage Plan cannot be approved for Paving Permit or Building Permit. This is primarily because the first flush requirement (volume provided) needs to be met, as further described below along with other minor comments:

1. We agree with the concept of replacing the underground structure with surface management for first flush; it will be easier to manage and maintain. However, the total calculated required volume needs to be accounted for. I also left you a message regarding maximizing the volume provided.
  - a. Provide a calculation on the plan of the total first flush volume provided, and call out the pond bottom of each ponding area (unless you provide a labeled contour).
2. Starting February 1, 2016, the Hydrology Department requires that the ESC Plan is approved prior to approval for Building, Grading, and Paving Permit. We recommend resubmitting once that approval has been secured. We did receive the ESC Plan, and it will be reviewed by the Stormwater Quality Engineer. Please contact him directly if you have any question: Curtis Cherne, 924-3420, [ccherne@cabq.gov](mailto:ccherne@cabq.gov).
3. Call out the curb cut locations on the Grading Plan.
4. For your information, evidence of the proposed lot consolidation will be required prior to approval for Certificate of Occupancy.

Any question please let me know.

FYI, I will be out of the office starting tomorrow until the 25<sup>th</sup>, in my absence Rita Harmon, 924-3695 can answer any question. I will be only be available through email.

## **Abiel Carrillo, P.E.**

**Principal Engineer - Hydrology**

**Planning Department**

Development Review Services Division

City of Albuquerque

505-924-3986

[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)

600 2<sup>nd</sup> Street NW

Albuquerque, NM 87102





**ANDERSON WAHLEN & ASSOCIATES**

March 22, 2016

RE: LHM Jeep Parking- K19D023  
Comments March 04, 2016

The following revisions were made to the Review Comments:

From: Abiel Carrillo

**Comments on 1-27-16 submittal:**

Comment: Please stamp and date the re-submittal.

Response: Okay

Comment: Provide proposed flowline/quarter point elevations for the new curb at the new driveway and flowline elevations across the driveway that will be closed (or provide match-to elevations).

Response: Additional elevations with match existing pavement note added.

Comment: Add a general note to replace curb and sidewalk stones to nearest joint.

Response: Note added, Sheet C0.1, Demolition Plan, General Demolition Note 18: Replace curb and sidewalk stones to the nearest joint.

Comment: The City has implemented a new standard drawing for street sections (2405A and B) that shows a depression between the back of curb and the back of sidewalk (for detached sidewalks). In this case, please show a depression between the back of sidewalk and the property line (4"-6" where practicable), to mitigate the storm runoff from the right of way into the property.

Response: Okay, depression added, and detail added to plans.



**RECEIVED**  
4-8-16

Comment: It appears that an underground storage and pre-treatment system is proposed to address the first flush volume. This solution is acceptable. However, the designer may consider using the new median islands and the long landscaped areas along the west side of the lot for water harvesting above ground, and if possible, eliminate the need for pre-treatment and underground system.

Response: Water harvesting retention areas added along the west side of the lot and in the landscaped area north of the new improvements. The pre-treatment and underground system deleted.



Comment: There is a low spot near the CDS unit (EL 59.18).

Response: Low spot to remain and a curb opening added for runoff to enter the water harvesting retention area.

Comment: The drainage report mentions that the parking lot will be combined with the adjacent lot. Will the lots be consolidated? If they won't, then a cross-lot drainage easement will be needed.

Response: The owner is working on a cross-lot drainage easement.

Comment: An approved Erosion and Sediment Control Plan will be needed prior to our final approval for Building Permit since the project site is over 1 acre.

Response: Contacted Curtis Cherne, Erosion Control Plan added to plans.

Thanks,

Arverd Taylor  
Anderson Wahlen & Associates  
801-410-8515



## Abiel X. Carrillo

---

**From:** Abiel X. Carrillo  
**Sent:** Friday, March 04, 2016 9:49 AM  
**To:** 'arverdt@awaeng.com'  
**Cc:** Cherne, Curtis  
**Subject:** RE: LHM Jeep Parking - K19D023 (Stamp Date: No Stamp Date)

Mr. Taylor,

Also, just so you know, an approved Erosion and Sediment Control Plan will be needed prior to our final approval for Building Permit since the project site is over 1 acre. You may contact Curtis Cherne, the City's Storm Water Quality Engineer at 505-924-3420 if you have any question regarding that submittal, he is also cc'd.

## Abiel Carrillo, P.E.

Principal Engineer - Hydrology  
Planning Department  
Development Review Services Division  
City of Albuquerque  
505-924-3986  
[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

---

**From:** Abiel X. Carrillo  
**Sent:** Friday, March 04, 2016 8:55 AM  
**To:** 'arverdt@awaeng.com'  
**Subject:** LHM Jeep Parking - K19D023 (Stamp Date: No Stamp Date)

Mr. Taylor:

This email is being sent in lieu of an attached comment letter in order to expedite the response for intermediate reviews. Responses to comments should continue to be included in a re-submittal. A reply to this email with responses to comments will not be considered a re-submittal.

Based upon the information provided in your submittal received 1-27-16, the above referenced Grading Plan cannot be approved for Building Permit until the following items are addressed:

1. Please stamp and date the re-submittal.
2. Provide proposed flowline/quarter point elevations for the new curb at the new driveway and flowline elevations across the driveway that will be closed (or provide match-to elevations).
3. Add a general note to replace curb and sidewalk stones to the nearest joint.
4. The City has implemented a new standard drawing for street sections (2405A and B) that shows a depression between the back of curb and the back of sidewalk (for detached sidewalks). In this case, please show a depression between the back of sidewalk and the property line (4"-6" where practicable), to mitigate the storm runoff from the right of way into the property.



5. It appears that an underground storage and pre-treatment system is proposed to address the first flush volume. This solution is acceptable. However, the designer may consider using the new median islands and long landscaped areas along the west side of the lot for water harvesting above ground, and if possible, eliminate the need for the pre-treatment and underground system.
  - a. Provide a cross-section or detail of the MC-4500 underground storage unit showing proposed invert, bottom and/or top of chamber elevations, if that system will still be proposed.
6. There is a low spot near the CDS unit (EL 59.18).
7. The drainage report mentions that the parking lot will be combined with the adjacent lot. Will the lots be consolidated? If they won't, then a cross-lot drainage easement will be needed.

If you have any question, please do not hesitate to contact me.

**Abiel Carrillo, P.E.**

**Principal Engineer - Hydrology**

**Planning Department**

Development Review Services Division

City of Albuquerque

505-924-3986

[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)

600 2<sup>nd</sup> Street NW

Albuquerque, NM 87102



# Drainage Submittal

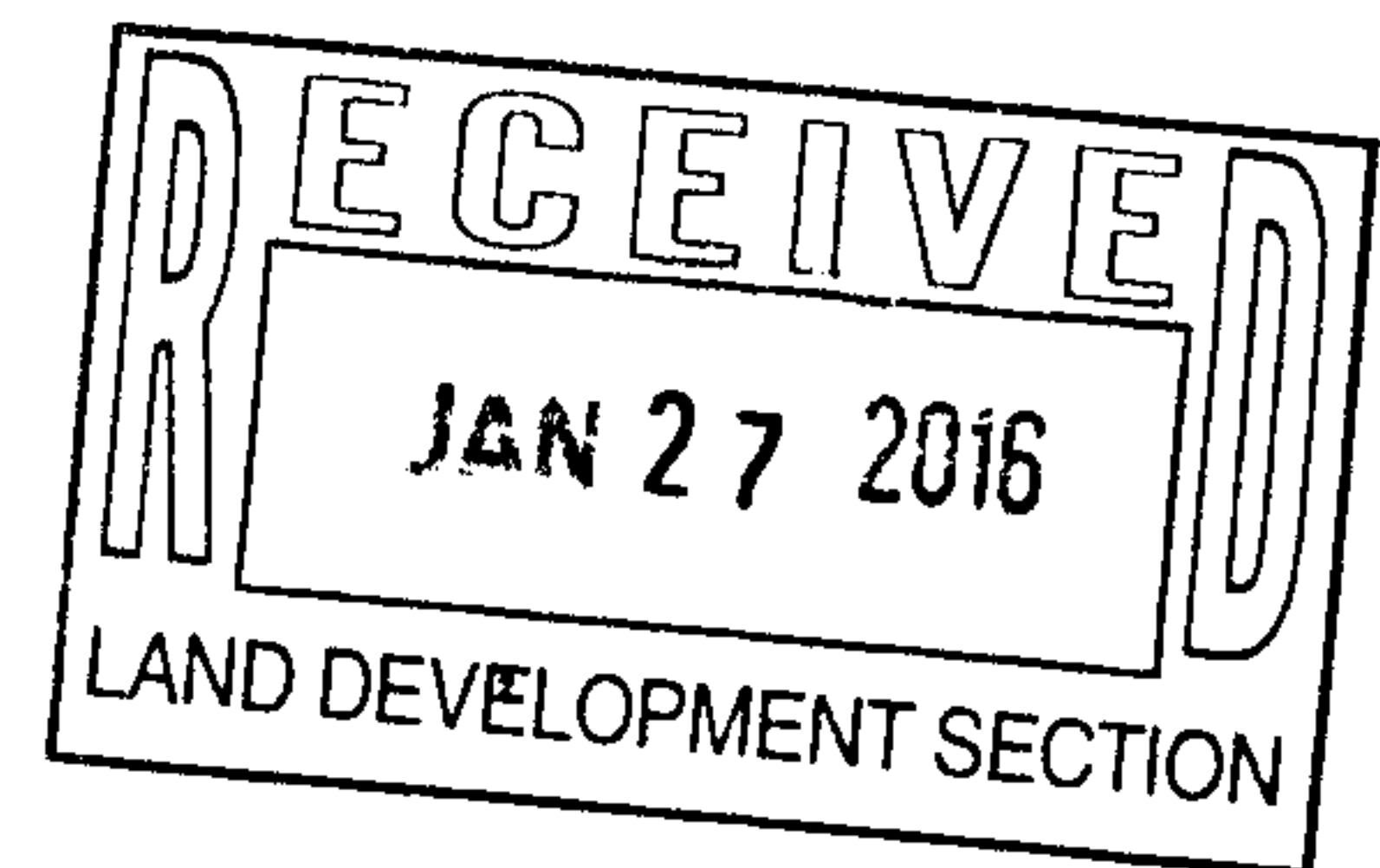
for

## **LHM Jeep Dodge Albuquerque**

909 Virginia Street NE  
Albuquerque, NM  
January 27, 2016



Prepared for:  
Miller Family Real Estate L.L.C.  
9350 S. 150 E.  
Salt Lake City, UT 84070



**ANDERSON WAHLEN & ASSOCIATES**

———— Great Basin Engineering South ————

2010 North Redwood Road • P.O. Box 16747 • Salt Lake City, Utah 84116  
(801) 521-8529 • (801) 394-7288 • Fax (801) 521-9551



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Conclusion	.....	5

## Appendix

- Vicinity Map
- FEMA Flood Insurance Rate Map
- Conceptual Demolition Plan
- Conceptual Grading & Drainage Plan
- Peak Runoff Calculations per City of Albuquerque Development Process Manual (DPM)



## **Introduction**

Larry H Miller Jeep Dodge Dealership is proposing the addition of an employee/vehicle storage lot at 909 Virginia Street N.E., south and west of the existing dealership. The purpose of this report is to:

- Determine the peak flows that will result by developing the proposed site.
- Describe on-site surface improvements that will convey flows to the existing site.

## **Background**

The proposed site and re-development plan will occupy an existing Professional Office Building parcel and an existing LHM Jeep Dodge employee parking parcel which is north of the Professional Office Building. The site is bordered by an existing LHM Jeep Dodge vehicle display lot to the north, residential single family housing to the west and south, and Virginia Street to the east. The parcel in its current developed condition has no storm water facilities that are piped directly to an existing public storm drain system.

The existing property is comprised of impervious surface improvements covering by asphalt parking areas and the building roof. With block walls on the south and west sides bordering the residential areas.

Both properties direct excess storm water runoff generated on-site to the northwest into the existing dealership display area which flows through the display area to Utah Street via on-site curb and gutter. Once the runoff from the site reaches Utah Street it combines with existing street runoff and adjacent private property discharge and are conveyed via the street gutter for approximately 100 lineal feet to the north where it enters an existing storm drain catch basin at the southeast corner of Utah Street and Lomas Blvd.

## **Flood Hazard Certification**

Floodplain information published for the site in the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Bernalillo County, New Mexico and Incorporated Areas, Panel 358 of 825, Map Number 35001C0358H, dated August 16, 2012 (See Appendix) provides flood zone designation information. The subject site is located in Zone X (not shaded) which is defined as, "Areas determined to be outside the 0.2% annual chance floodplain." The site does not lie within a Flood Hazard Area as shown on the Federal Emergency Management Agency (FEMA) maps requiring no further flood-proofing or other flood mitigation.

## **Hydrologic Analysis**

Design Storm: The site is located within Precipitation Zone 3 being in the area lying south of Interstate 40; between San Mateo and the East boundary of Range 4 East as specified in Chapter 22, Section 2(A.1 & A.2) of the City of Albuquerque Development Process Manual (DPM). The principal design storm is the 100-year 6 hour event defined



by the National Oceanic and Atmospheric Administration (NOAA) Atlas 2, Precipitation-Frequency Atlas of the Western United States, Vol. IV – New Mexico. Detention basin designs are not proposed and therefore longer duration design storms are not considered in this analysis. Accordingly, the rainfall depths of interest for design purposes are the 10-Year, 6-Hour storm with a design depth of 1.31 inches and the 100-Year, 6-Hour storm with a design depth of 2.13 inches.

**Land Treatments:** The existing site contains 57,956 square feet (1.33 acres) of commercial designated land uses constructed with a small portion of pervious surface being primarily landscape rock mulch with some trees and shrubs upon 3,304 square feet (0.08 acres) with the remainder of the site being impervious roof top, concrete and asphalt paved surfaces over 54,652 square feet (1.25 acres). On-site existing Land Treatments defined in Chapter 22, Section 2(A.3) of the City of Albuquerque DPM are Land Treatment Type B for shrubs, soil uncompacted by human activity and pervious rock-mulch areas and Type D for impervious areas, pavement and roof. Existing site conditions are six percent Type B and 94 percent Type D Land Treatment Types. The proposed site conditions will consist of roughly 16 percent pervious landscaped areas (Land Treatment Type B) and 84 percent impervious surfaces (Land Treatment Type D).

**Excess Precipitation & Volumetric Runoff:** Excess precipitation (runoff) is the depth of precipitation discharged after the initial volume of rainfall retained on the ground surface as depression storage and infiltration have been subtracted from the design storm unit hydrograph. The majority of the existing site is covered by impervious surfaces designated Land Treatment D. Land Treatment B (shrubs and rock mulch landscape) is projected to generate 0.36 inches of excess precipitation for a 10-Year, 6-Hour Storm and 0.92 inches of excess precipitation for a 100-Year, 6-Hour Storm within Precipitation Zone 3. Land Treatment D (impervious surfaces) are anticipated to generate 1.50 inches excess precipitation for a 10-Year, 6-Hour Storm and 2.36 inches of excess precipitation for a 100-Year, 6-Hour Storm within the same Precipitation Zone.

The volume of runoff or excess precipitation has been calculated by summing the depth of rainfall over the two established land treatment types. The excess precipitation depth, volume and peak discharge generated by the existing developed and proposed developed site conditions are summarized in Table 1.



**Table 1 - Existing Developed and Proposed Developed Excess Precipitation Volumes & Peak Discharge Rates.**

	<b>Excess Precipitation (Inches)</b>	<b>Volumetric Run-off (Acre-Feet)</b>	<b>Peak Discharge (cfs)</b>
<b>Existing Developed</b>			
10-Year, 6-Hour	1.44	0.16	4.34
100-Year, 6-Hour	2.28	0.25	6.49
<b>Proposed Developed</b>			
10-Year, 6-Hour	1.31	0.15	4.03
100-Year, 6-Hour	2.13	0.24	6.15

A Conceptual Demolition Plan and Grading & Drainage Plan for the subject site have been provided for further review and consideration in the Appendix.

### **Proposed Conditions**

Proposed site conditions involve combining the two parcels (employee parking & Professional Office Building) into one developed employee/inventory storage area. The site will have more landscaped area than the previous developed condition by removing portions of the existing drive approaches and pavement along the existing walls. The differences in volumes of runoff and peak discharge are depicted in Table 1.

Site runoff will be conveyed as surface flow to on-site curb and gutters. On-site curb and gutter flows will be directed to the northwest to an existing vehicle display area. The proposed addition of employee parking/inventory storage will become part of the existing auto display area.

### **Water Block Design**

Two of the three existing drive approaches along the west side of Virginia St. will be removed. The southerly drive approach will be reconstructed in generally the same location. The topography of the site is such that finished elevations at the right-of-way/property line along Virginia St. and flowline in the curb and gutter along Virginia St. are greater than 10.5 inches.

The reconstructed drive approach is located at a high point along Virginia St. The area to the north flows north towards Lomas Blvd., and the area to the south flows south towards Roma Ave.

Depth of flow calculations for Virginia St. may be determined upon request. But due to the location of the drive approach being a high point, flows entering the site from Virginia St. are not anticipated. Quantification of tributary flows from other adjacent



developments being beyond the scope of this analysis, a gutter depth of flow analysis has not been completed at this time.

**2-Year Storm On-Site Retention**

Proposed site storm water improvements include specific storm water facilities for the management of the 90<sup>th</sup> Percentile Storm Event by retaining the volume of water generated by this event on-site. These facilities retain the “first flush” and control runoff generated by contributing impervious surfaces. First Flush is defined by the City of Albuquerque as the storm water runoff during the early stages of a storm equal to or less than runoff from the 90<sup>th</sup> Percentile Storm Event that can deliver a potentially high concentration of pollutants due to the washing effect of runoff from impervious areas directly connected to the storm drainage system. The method of determining this volume to be retained is determined by the Rational Method as described in the City of Albuquerque, New Mexico Development Process Manual Volume-II Design Process, Chapter 22 Drainage, Flood Control and Erosion Control, Section 2 Hydrology.

Proposed Site Impervious Area = 48,523 sf  
90<sup>th</sup> Percentile (2-Year) Storm Depth = 0.44 inches  
Initial Abstraction – Treatment Type D – impervious = 0.1 inches

Depth of Direct Runoff = [(0.44 inches – 0.10 inches)/(1 ft/12 inches)] = 0.34 inches

Volume of Direct Runoff = (0.34 <sup>in</sup>ft) \* (48,523 sf) = **1374 cubic feet**

First Flush Retention Facility: StormTech Subsurface Storm Water Management  
MC4500 Chamber, Endcaps, pipes, catch basins, and  
cleanout manholes.

Volume Provided:	Catch basins, pipe, & cleanout volume	=	500 cf
	MC 4500 End cap & section volume	=	1,193 cf
	Provided:		1,693 cf

A copy of the Grading & Drainage Plan has been provided in the Appendix for more information regarding the configuration of the piping, catch basins, cleanout manholes and StormTech Chambers.

**Conclusion**

This analysis has been prepared in accordance with the requirements and specifications of Section 22.2 of the DPM. Existing developed conditions at the site generate a historical flow to the storm drain system in Lomas Boulevard that will not be exceeded by the proposed development. Historic excess precipitation and the accompanying volume of excess precipitation and peak flow rates are slightly reduced as a result of increased landscape areas not currently present on the site.

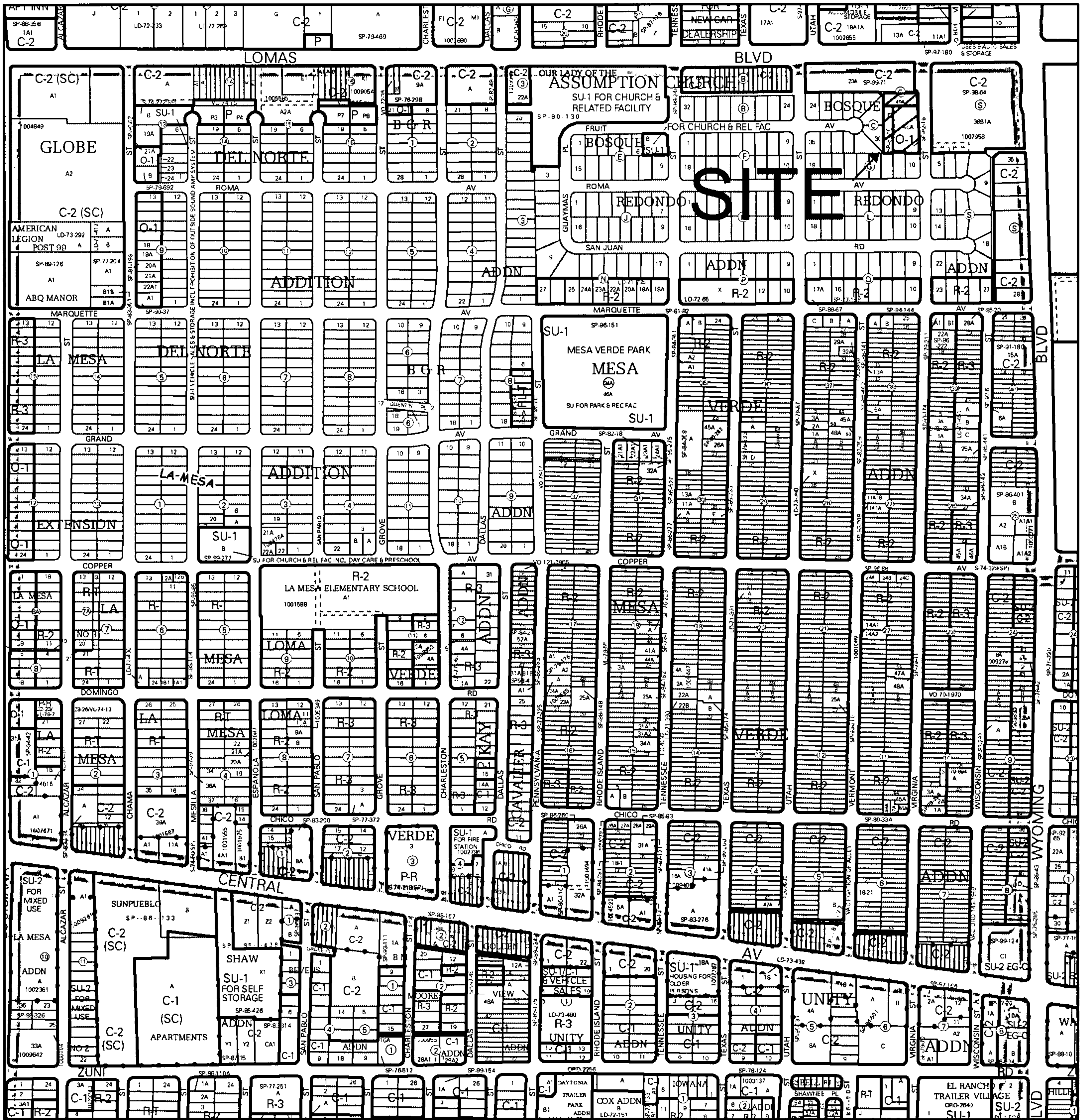


# APPENDIX

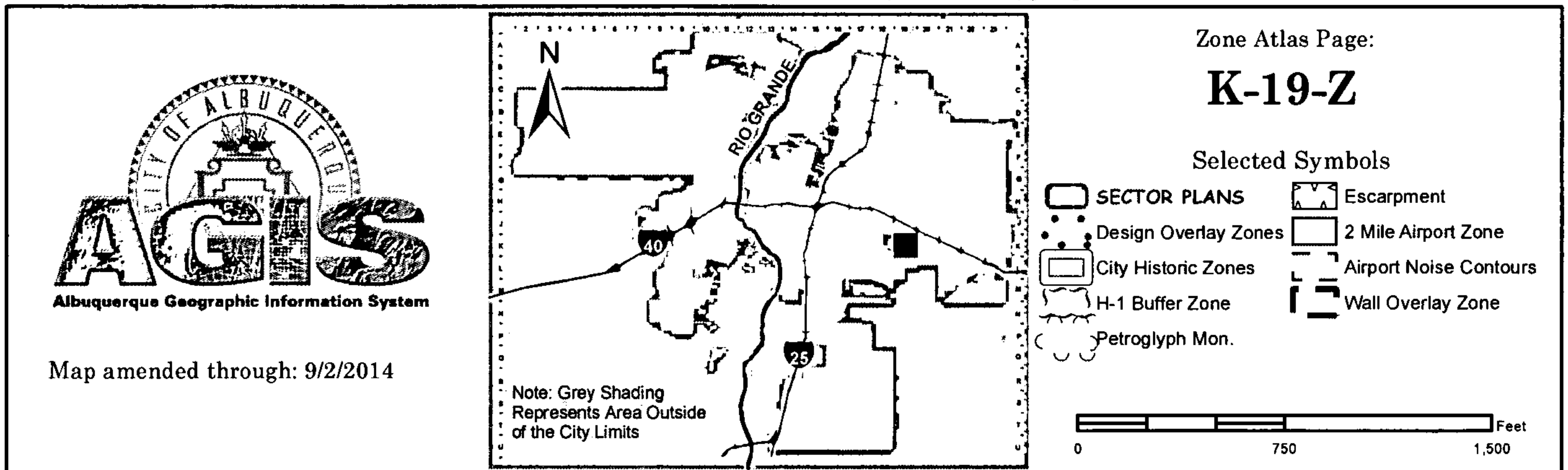


## Vicinity Map





For more current information and details visit: <http://www.cabq.gov/gis>





# FEMA Flood Insurance Rate Map





MAP SCALE 1" = 500'



# NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0358H

## FIRM

FLOOD INSURANCE RATE MAP  
BERNALILLO COUNTY,  
NEW MEXICO  
AND INCORPORATED AREAS

PANEL 358 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:			
COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF	350002	0358	H
BERNALILLO COUNTY UNINCORPORATED AREAS	350001	0358	H

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER  
35001C0358H

MAP REVISED  
AUGUST 16, 2012

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at [www.msc.fema.gov](http://www.msc.fema.gov)



# Conceptual Demolition Plan

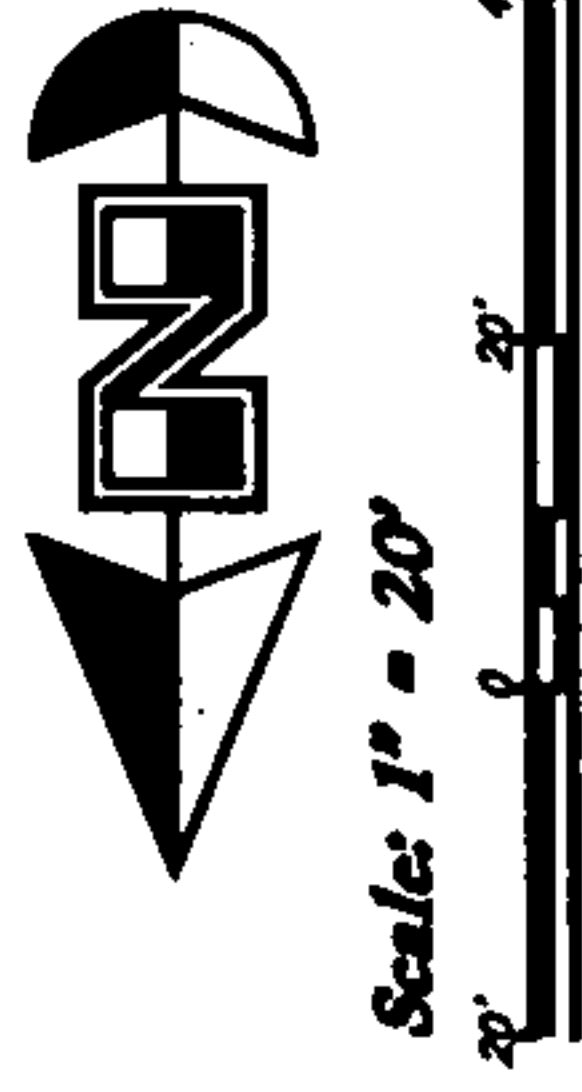






# Conceptual Grading & Drainage Plan

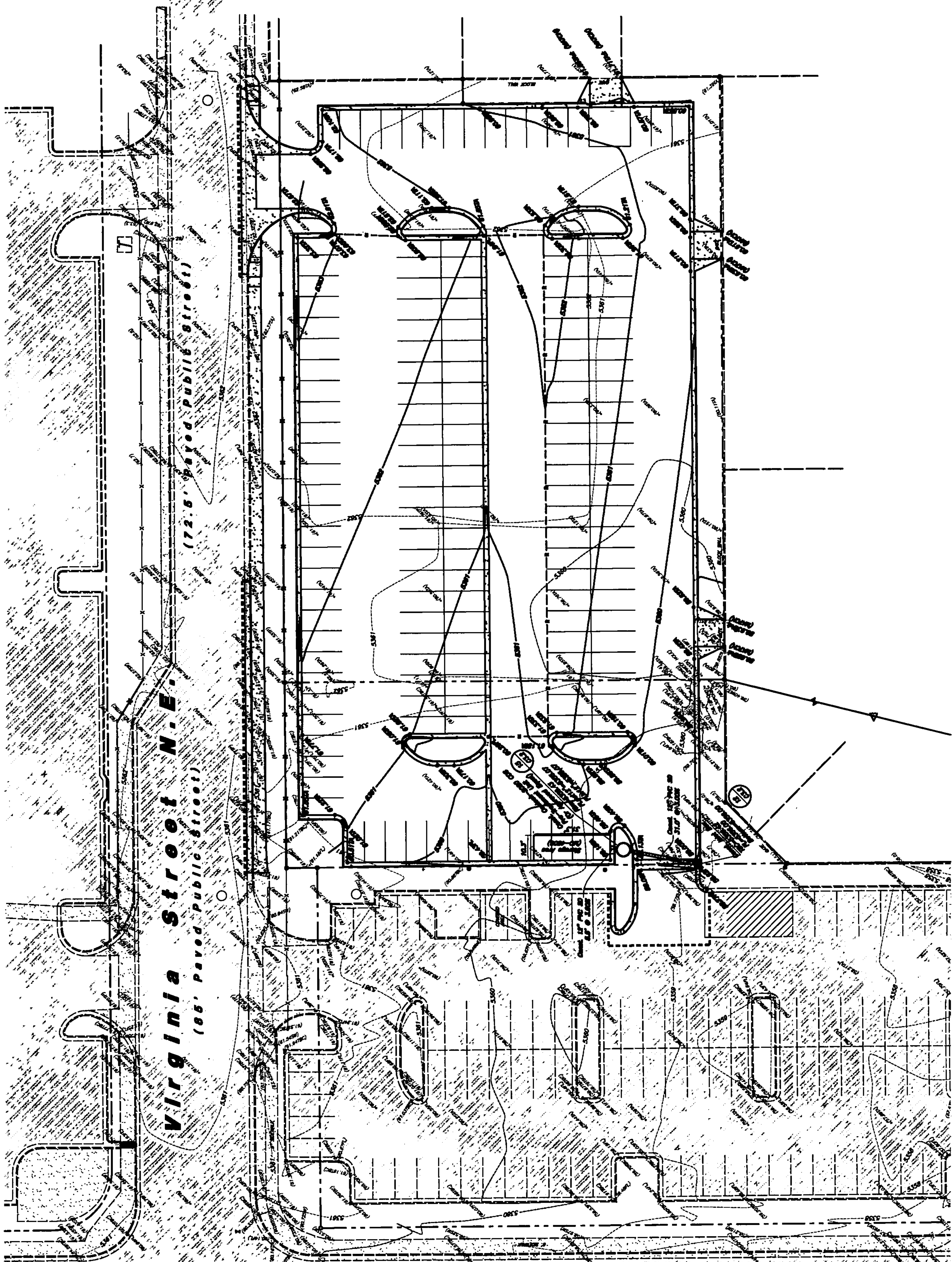




- General Grading Notes:**
1. All grading shall be in accordance with the project preliminary plans.
  2. All slopes shall be no steeper than 3:1 indicated to 1:1 vertical.
  3. All slopes shall be no steeper than 2:1 indicated to 1:1 vertical.
  4. The site shall be prepared for the construction of the proposed building.
  5. Plans to complete the site shall be prepared and approved by a Professional Engineer prior to grading.
  6. Plans shall be submitted for approval to the City Engineer.
  7. All work shall be done in accordance with the City Engineer's specifications.
  8. A preliminary report shall be prepared and approved by a Professional Engineer.
  9. The site shall be prepared for the construction of the proposed building.
  10. The site shall be prepared for the construction of the proposed building.
  11. The site shall be prepared for the construction of the proposed building.
  12. The site shall be prepared for the construction of the proposed building.
  13. The site shall be prepared for the construction of the proposed building.
  14. The site shall be prepared for the construction of the proposed building.
  15. The site shall be prepared for the construction of the proposed building.
  16. The site shall be prepared for the construction of the proposed building.
  17. The site shall be prepared for the construction of the proposed building.
  18. The site shall be prepared for the construction of the proposed building.
  19. The site shall be prepared for the construction of the proposed building.
  20. The site shall be prepared for the construction of the proposed building.

- Curb and Gutter Construction Notes:**
1. Curb and gutter shall be constructed where drainage is directed away from the street.
  2. Curb and gutter shall be constructed where drainage is directed away from the street.
  3. Curb and gutter shall be constructed where drainage is directed away from the street.
  4. Curb and gutter shall be constructed where drainage is directed away from the street.
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  8. Curb and gutter shall be constructed where drainage is directed away from the street.
  9. Curb and gutter shall be constructed where drainage is directed away from the street.
  10. Curb and gutter shall be constructed where drainage is directed away from the street.

NOTES: 1. The site shall be prepared for the construction of the proposed building. 2. The site shall be prepared for the construction of the proposed building. 3. The site shall be prepared for the construction of the proposed building. 4. The site shall be prepared for the construction of the proposed building. 5. The site shall be prepared for the construction of the proposed building. 6. The site shall be prepared for the construction of the proposed building. 7. The site shall be prepared for the construction of the proposed building. 8. The site shall be prepared for the construction of the proposed building. 9. The site shall be prepared for the construction of the proposed building. 10. The site shall be prepared for the construction of the proposed building.



**ANDERSON WAHL & ASSOCIATES**  
2010 North Redwood Road, Suite 100, Ukiah, CA 95515  
801-521-8229 - andersonwahl.com

**LHM Jeep Dodge Albuquerque**  
909 Virginia Street N.E.  
Albuquerque, NM

06 Jan, 2016  
**C2.1**

REV	DATE	DESCRIPTION
1	01/06/16	Issue for Review
2	01/06/16	Issue for Review
3	01/06/16	Issue for Review
4	01/06/16	Issue for Review
5	01/06/16	Issue for Review
6	01/06/16	Issue for Review
7	01/06/16	Issue for Review
8	01/06/16	Issue for Review
9	01/06/16	Issue for Review
10	01/06/16	Issue for Review



# Peak Runoff Calculations per City of Albuquerque Development Process Manual (DPM)





ANDERSON WAHLEN & ASSOCIATES

10F4

Project Name CHM JEEP DODGE ALBUQUERQUE Date 18 JAN 2016

SITE ADDRESS - 909 VIRGINIA STREET N.W.  
(PRECIPITATION ZONE 3)

EXISTING SITE CONDITIONS:

PERVIOUS AREA : 3304 SF = 0.08 AC (1%) TYPE B

IMPERVIOUS AREA : 54652 SF = 1.25 AC (94%) TYPE D

TOTAL AREA : 57956 SF = 1.33 AC

PROPOSED SITE CONDITIONS:

PERVIOUS AREA : 9433 SF = 0.22 AC (16%) TYPE B

IMPERVIOUS AREA : 48523 SF = 1.11 AC (84%) TYPE D

TOTAL AREA : 57956 SF = 1.33 AC

EXCESS PRECIPITATION & VOLUMETRIC RUNOFF

EXISTING CONDITIONS : EXCESS PRECIP. - TABLE A-B  
ZONE 3 - 10 YR 6HR

TREATMENT TYPE B : 0.36"

TREATMENT TYPE D : 1.50"

ZONE 3 - 100 YR 6HR

TREATMENT TYPE B : 0.92"

TREATMENT TYPE D : 2.36"

10 YR 6HR

$$E_{10-10} = \frac{0.36(3304) + 1.50(54652)}{57956}$$

$$= 1.44"$$

$$V_{30-10} = 1.44(57956) \left( \frac{1 \text{ AC}}{43560 \text{ SF}} \right) \left( \frac{1 \text{ FT}}{12 \text{ IN}} \right)$$
$$= \underline{0.16 \text{ AC} \cdot \text{FT}}$$



Project Name \_\_\_\_\_ Date \_\_\_\_\_

$$EW_{360-100} = 0.92(3304) + \underline{2.36(54452)}$$

$$57956$$

$$= 2.28"$$

$$V_{360-100} = 2.28(57956) \left( \frac{1'}{48520} \right) \left( \frac{1'}{12"} \right)$$

$$= \underline{0.25 \text{ AC-FT}}$$

### EXISTING SITE CONDITIONS

$$V_{360-10} = \underline{0.16 \text{ AC-FT}}$$

$$V_{360-100} = \underline{0.25 \text{ AC}}$$

### PROPOSED SITE CONDITIONS

$$EW_{360-10} = 0.36(9433) + \underline{1.5(48523)}$$

$$57956$$

$$= \underline{1.31"}'$$

$$V_{360-10} = 1.31(57956) \left( \frac{1'}{48520} \right) \left( \frac{1'}{12"} \right)$$

$$= \underline{0.15 \text{ AC-FT}}$$

$$EW_{360-100} = 0.92(9433) + \underline{2.36(48523)}$$

$$57956$$

$$= 2.13"$$

$$V_{360-100} = 2.13(57956) \left( \frac{1'}{48520} \right) \left( \frac{1'}{12"} \right)$$

$$= \underline{0.24 \text{ AC-FT}}$$





ANDERSON WAHLEN &amp; ASSOCIATES

Project Name \_\_\_\_\_

Date \_\_\_\_\_

# PEAK DISCHARGE RATE FOR SMALL WATERSHEDS (A.L.)

Assume  $t_c = 12 \text{ min}$

ZONE 3

TABLE A-9

PEAK DISCHARGE

10YR 6HR

TREATMENT TYPE B

:

1.19 CFS

TREATMENT TYPE D

:

3.39 CFS

100YR 6HR

TREATMENT TYPE B

:

2.60 CFS

TREATMENT TYPE D

:

5.02 CFS

## EXISTING SITE CONDITIONS

$$Q_p = 1.19(3304) + 3.39(54562)$$

36040                      43560

$$= 4.34 \text{ CFS}$$

$$Q_p = 2.60(3304) + 5.02(54562)$$

36040                      43560

$$= 6.49 \text{ CFS}$$

## PROPOSED SITE CONDITIONS

$$Q_p = 1.19(9433) + 3.39(48523)$$

36040                      43560

$$= 4.03 \text{ CFS}$$

$$Q_p = 2.60(9433) + 5.02(48523)$$

36040                      43560

$$= 6.15 \text{ CFS}$$





ANDERSON WAHLEN & ASSOCIATES

Project Name \_\_\_\_\_ Date \_\_\_\_\_

DIFFERENCE	EXISTING	- PROPOSED
10YR 6HR	4.24	- 4.03
	= <u>0.21</u> CFS	(LESS)
100 YR 6HR	6.49	- 6.15
	= <u>0.34</u> CFS	(LESS)





ANDERSON WAHLEN & ASSOCIATES

Project Name LHM JEEP DODGE ALBUQUERQUE Date 18 JAN 2016

SITE ADDRESS - 909 VIRGINIA ST. N.W.

FIRST FLUSH (90<sup>TH</sup> PERCENTILE STORM EVENT GENERATED  
BY CONTRIBUTING AREA IMPERVIOUS SURFACES)

CHAPTER 22, DEVELOPMENT PROCESS MANUAL

- STORM EVENT (DEPTH) : 0.44 IN.

- INITIAL ABSTRACTION, TREATMENT D : 0.1

- DIRECT RUNOFF :  $0.44 - 0.1 = 0.34$  IN.

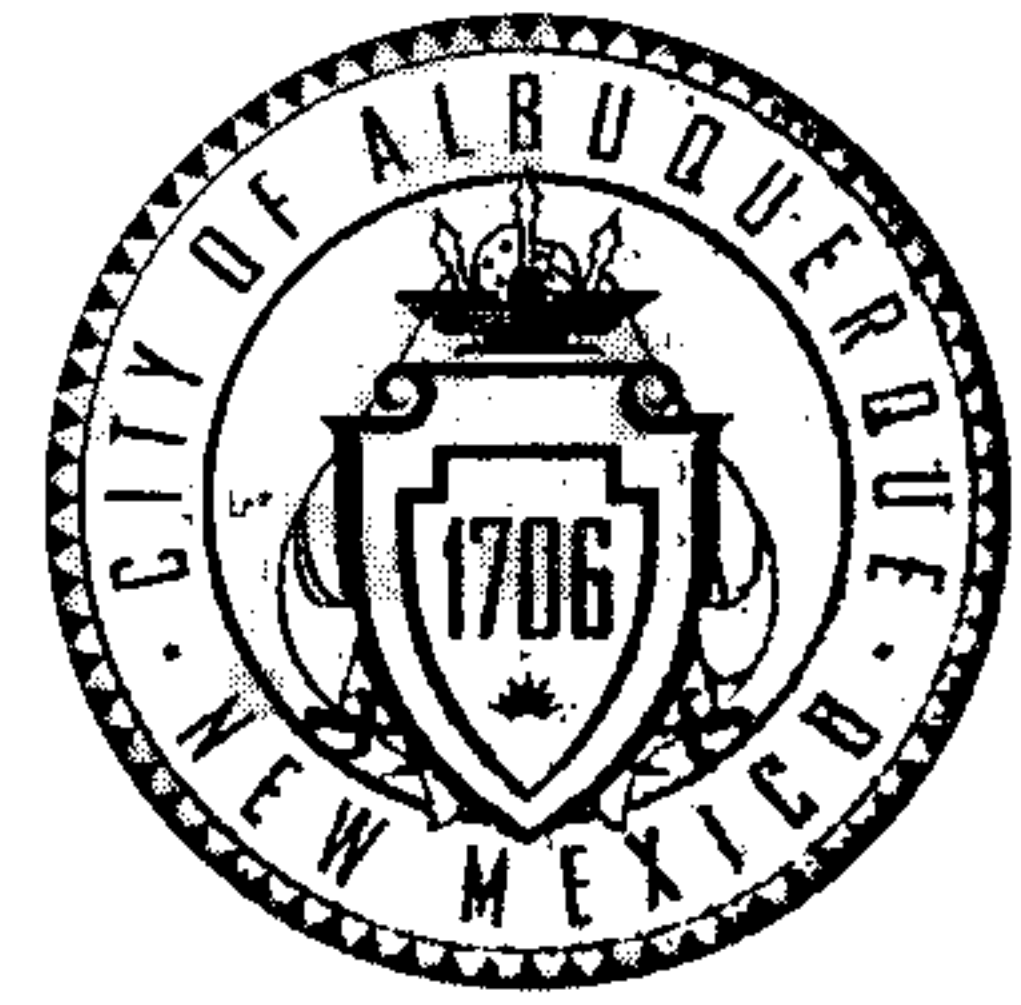
- VOLUME :  $\left(\frac{0.34}{12}\right)^{\text{ft}} 48523 \text{ SF} = 1374 \text{ FT}^3$

- RETENTION FOR 90<sup>TH</sup> STORM EVENT (FIRST FLUSH)

1374 FT<sup>3</sup>



# CITY OF ALBUQUERQUE



March 2, 2017

David G. Anderson, R.A.  
Anderson Whalen & Associates  
2010 N. Redwood Rd.  
Salt Lake City, UT 84116

**Re: LHM Jeep Dodge, 909 Virginia St. NE**  
**Request for Certificate of Occupancy- Transportation Development**  
TCL Stamp dated 04-13-16 (K19-D023)  
Certification dated 02-14-17

Dear Mr. Anderson,

Based upon the information provided in your submittal received 02-14-17 and photos received 03-01-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at (505) 924-3991.

Albuquerque

Sincerely,

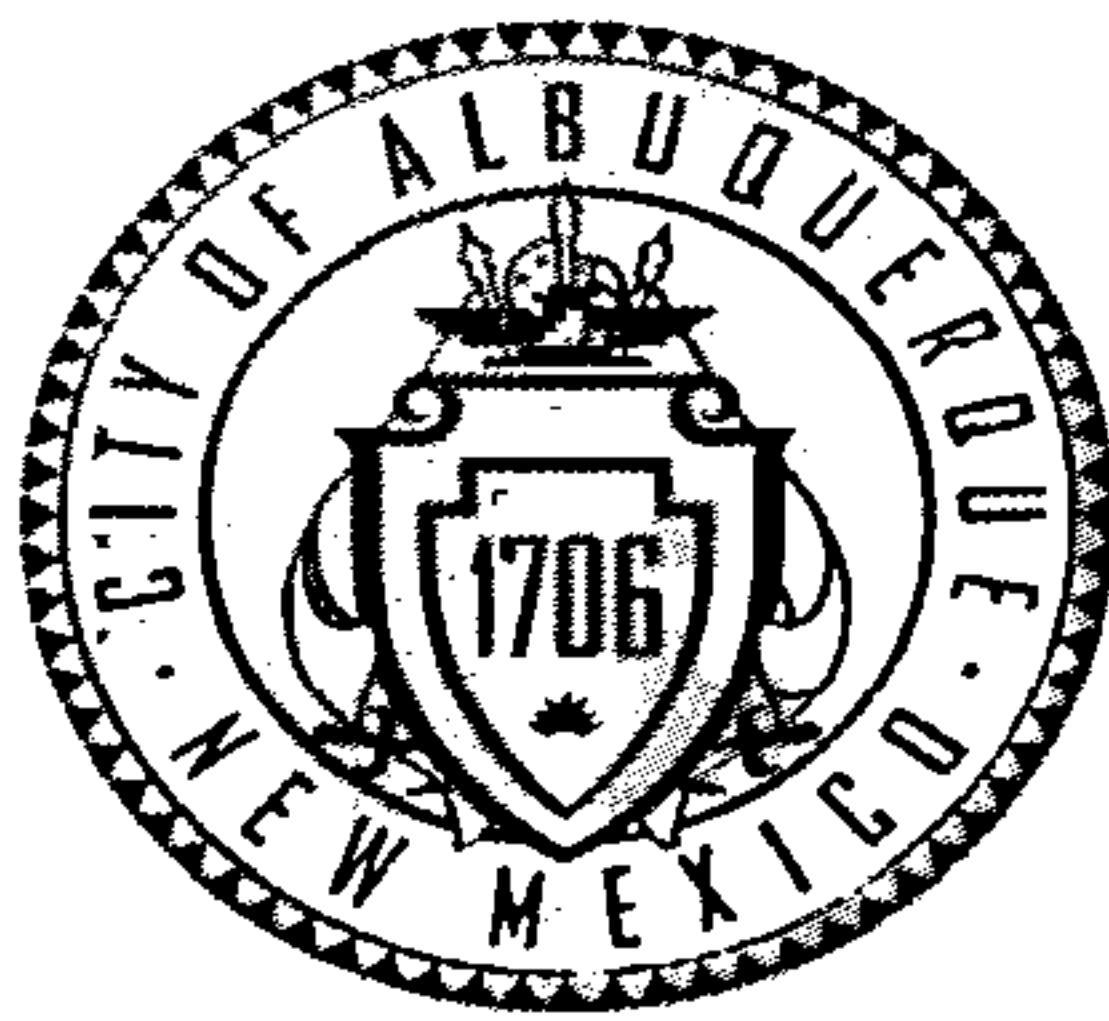
New Mexico 87103

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

/rmm via: email  
C: CO Clerk, File





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LHM Jeep Dodge, Albuquerque Building Permit #: \_\_\_\_\_ City Drainage #: K19D023  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lot numbered Forty-six-A in Block Lettered "C", of BOSQUE REDONDO ADDITION  
City Address: 909 Virginia St NE

Engineering Firm: Anderson Wahlen & Associates Contact: Arverd Taylor  
Address: 2010 North Redwood Road, Salt lake City, UT 84116  
Phone#: 801-410-8515 Fax#: 801-521-9551 E-mail: arverdt@awaeng.com

Owner: Miller Family Real Estate, L.L.C. Contact: Brad Holmes  
Address: 9350 S. 150 E. Suite 1000, Salt Lake City, Utah, 84070  
Phone#: 801-563-4236 Fax#: \_\_\_\_\_ E-mail: brad.holmes@lhm.com

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☒ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SITE FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ SUBDIVISION PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development





ANDERSON WAHLEN & ASSOCIATES

## TRAFFIC CERTIFICATION

I, David G. Anderson, NMPE 20167, of the firm Anderson Wahlen & Associates, hereby confirm that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan date stamped 5-5-16. Any record information edited onto the original design document has been obtained by Gary E. Gritsko, NMPS 8686, of the firm Alpha Pro Surveying LLC. I further verify that I have reviewed the site improvements and personnel under my direct supervision observed the project site on 10-19-16 and have determined by visual observation that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This documentation is submitted in support of a request for Permanent Occupancy Permit.

(Describe any exceptions and/or qualifications here in a separate paragraph)

-None

(Describe any deficiencies and/or corrections required here in a separate paragraph)

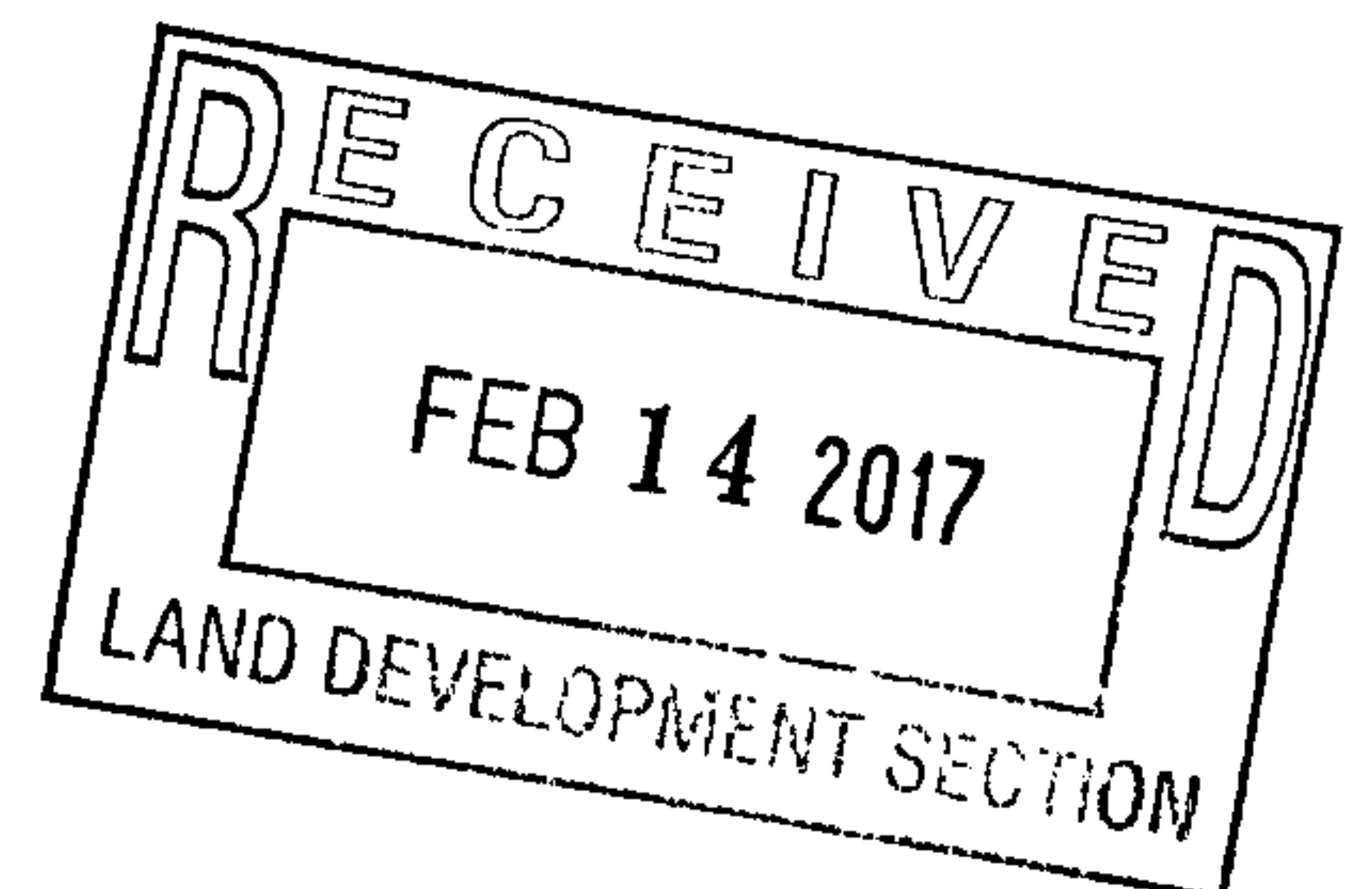
-None

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

David G. Anderson, NMPE 20167

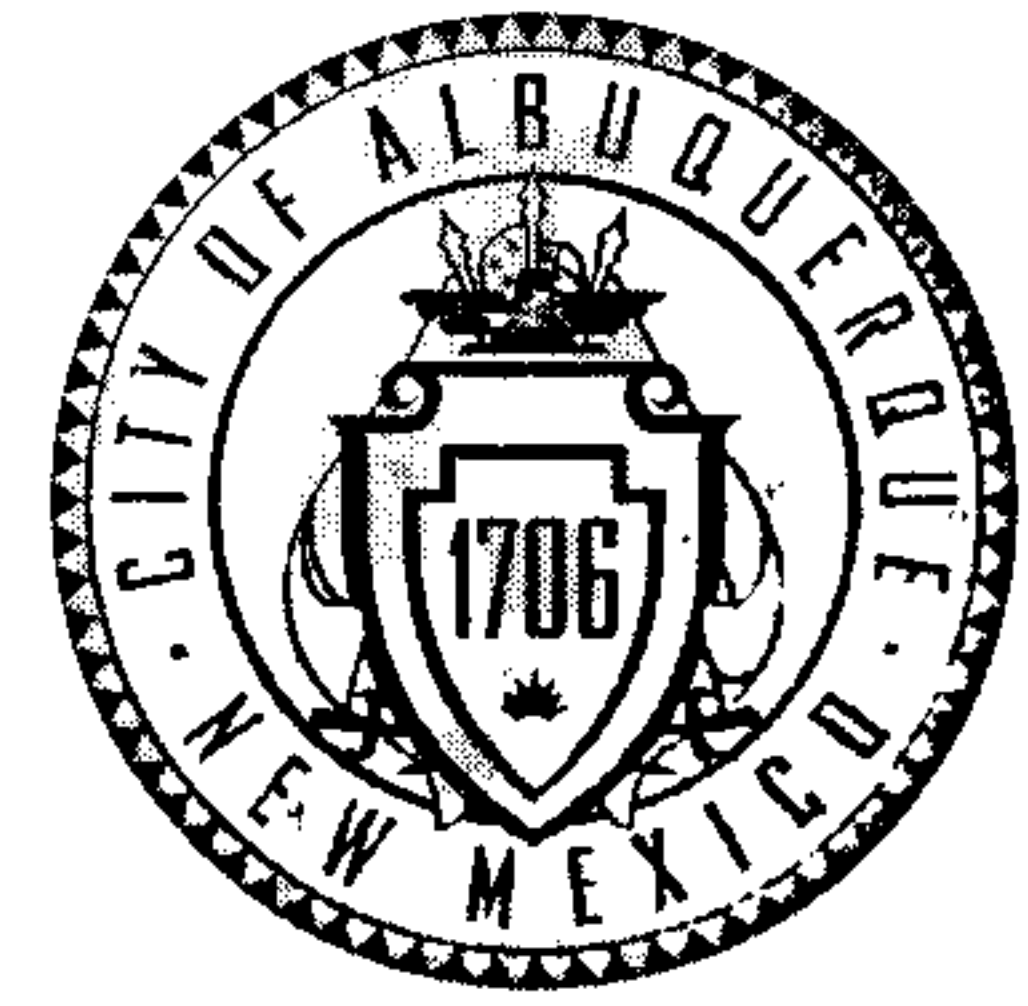
1-17-2017

Date





# CITY OF ALBUQUERQUE



April 13, 2016

Arverd Taylor  
Anderson Wahlen & Associates  
2010 N. Redwood Rd.  
Salt Lake City, Utah 84116

**Re: LHM Jeep Dodge  
909 Virginia NE  
Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 3-31-16 (K19-D023)

Dear Mr. Taylor,

The TCL submittal received 4-8-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Prior to the issuance of a permanent Certificate of Occupancy, the Transportation Department must receive a complete acceptable submittal package from the applicant including:

- Copy of the shared access/exit agreements for all adjacent properties that will be using the proposed parking lot for access to their properties.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File

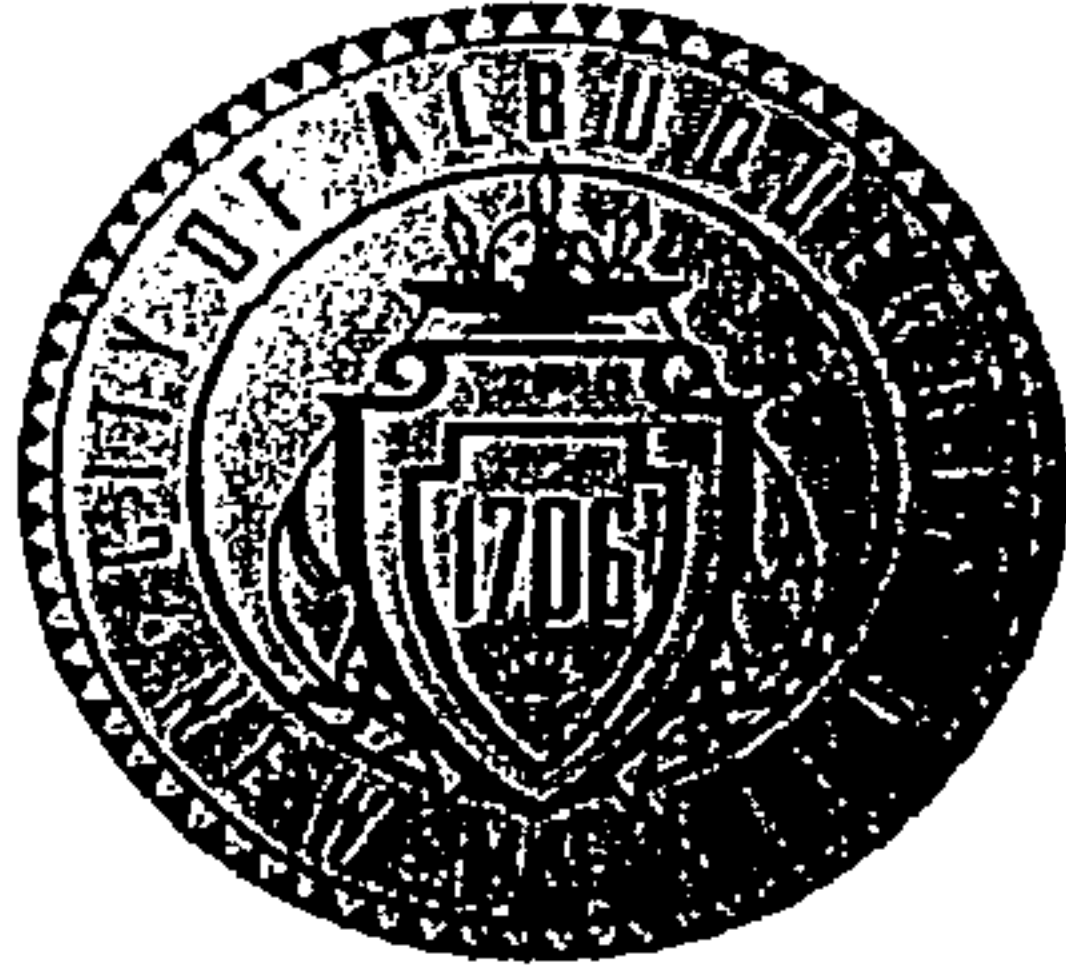
PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: LHM Jeep Dodge Albuquerque. Building Permit #: \_\_\_\_\_ Hydrology File #: K19D023  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: 909 Virginia Street NE

Applicant: Anderson Wahlen & Associates Contact: Arverd Taylor

Address: 2010 N. Redwood Road, Salt Lake City, Utah, 84116

Phone#: 801-410-8515 Fax#: \_\_\_\_\_ E-mail: arverdt@awaeng.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)  
  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ GRADING/ESC PERMIT APPROVAL  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☒ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING?  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

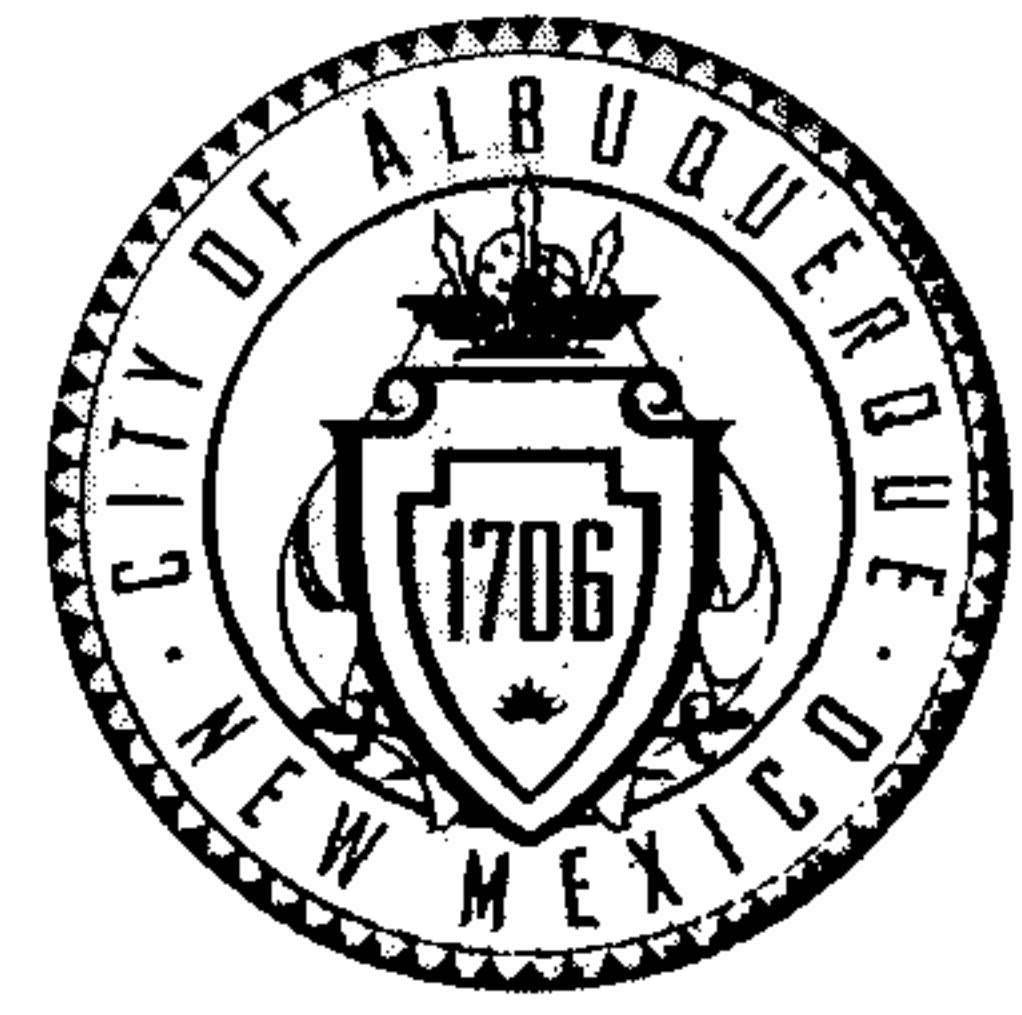
FEE RECEIVED: \_\_\_\_\_



**RECEIVED**  
4-8-16



# CITY OF ALBUQUERQUE



February 3, 2016

Arverd Taylor  
Anderson Wahlen & Associates  
2010 North Redwood Rd.  
Salt Lake City, Utah 84116

**Re: LHM Jeep Dodge, Albuquerque**  
**909 Virginia St., NE**  
**Traffic Circulation Layout**  
**Engineer's/Architect's Stamp (No Stamp/ Date) (K19-D023)**

Dear Mr. Taylor,

Based upon the information provided in your submittal received 1-27-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
2. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
3. Please identify and dimension sidewalks, curbs, drive pads, walls and anything that influences the parking and circulation on the site. Dimension drive pad entrances to the proposed parking lot from Virginia Ave. and from the proposed entry at the north west corner.
4. Identify the right of way width, medians, curb cuts, and street widths on Virginia Ave.
5. Please list the width for all parking spaces on the south side of the proposed parking lot.
6. Provide detail of ADA ramps at sidewalks and curb cut entrances off of Virginia Ave. Truncated domes are required at curb cut ADA ramps.
7. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call this detail.
8. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please call out this detail for the entrance/exits off of Virginia Ave.

PO Box 1293

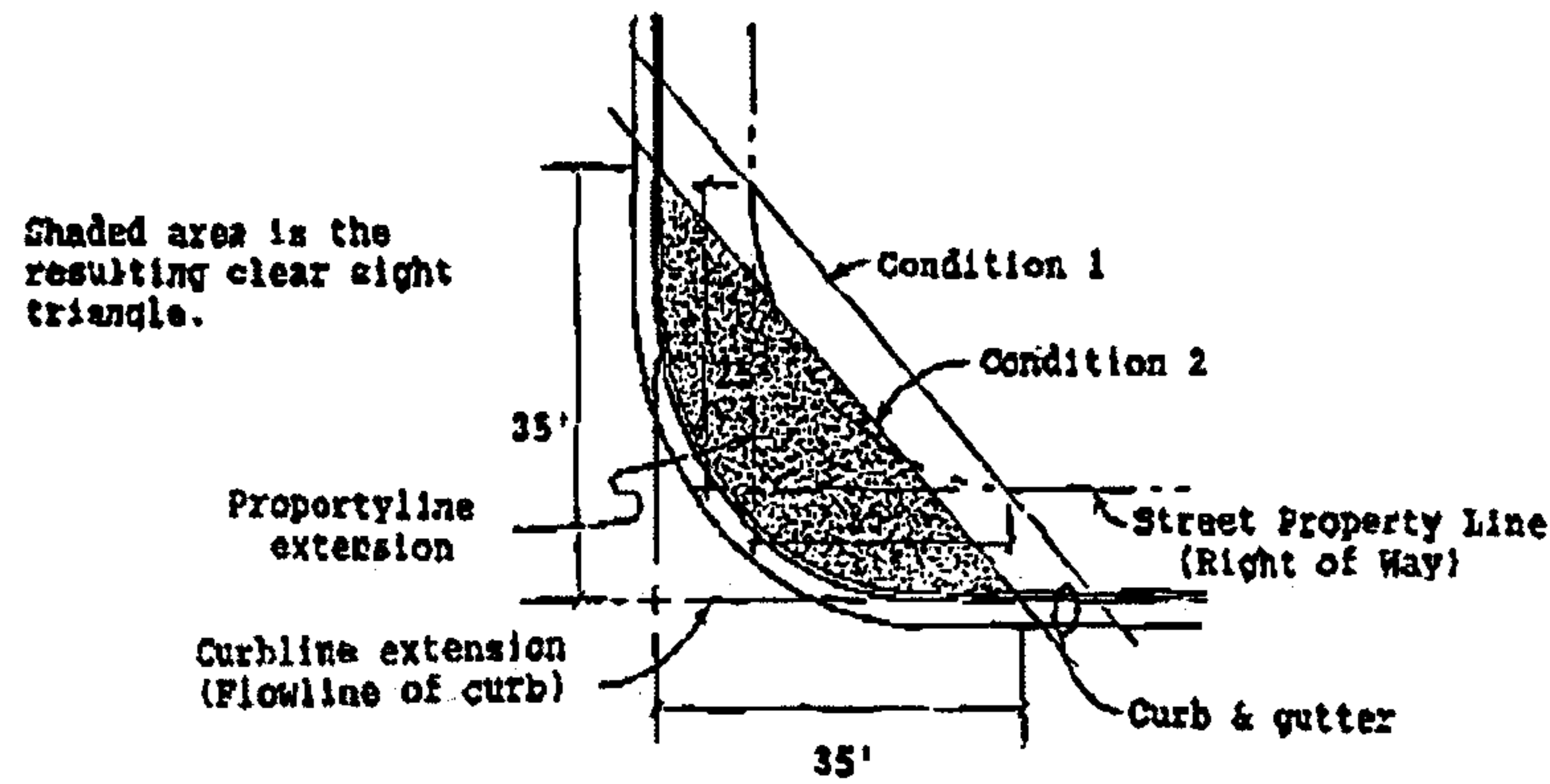
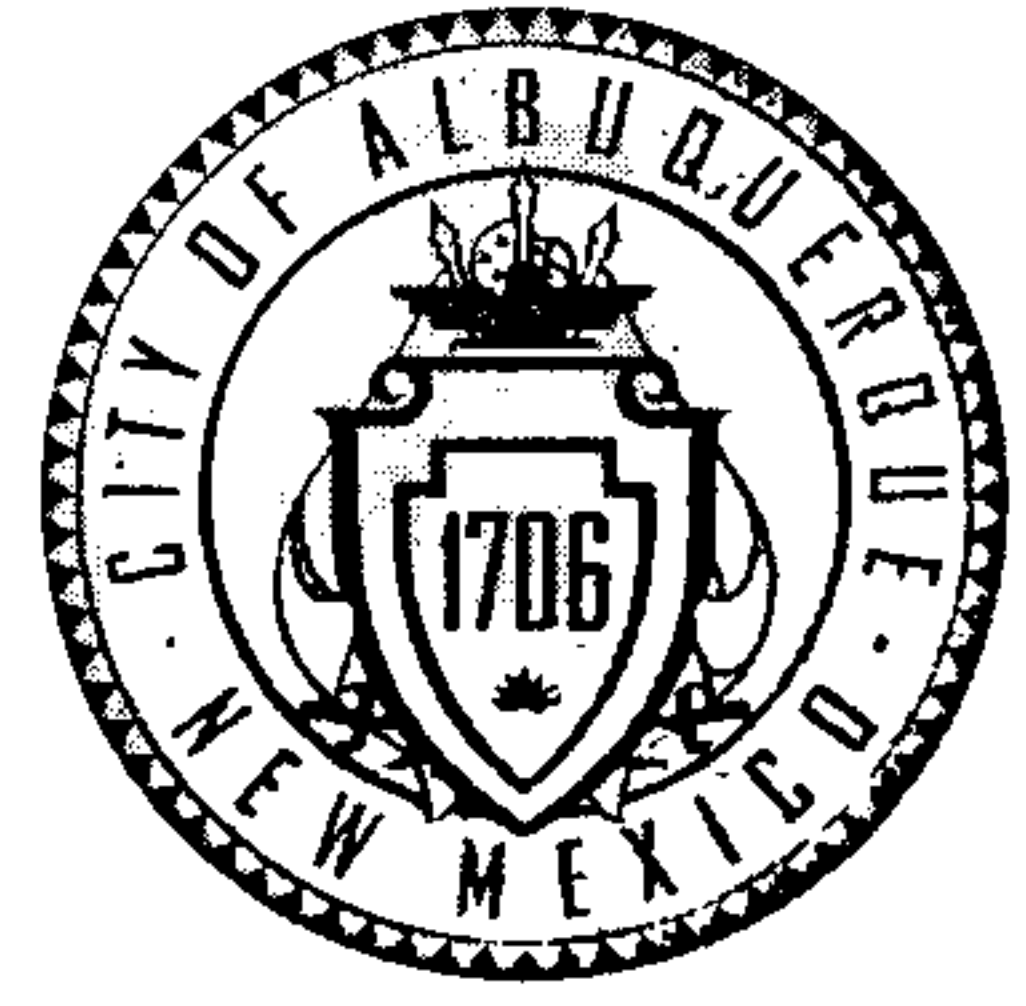
Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# CITY OF ALBUQUERQUE



9. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
10. Please include a copy of your shared access agreement with the adjacent property owners.
11. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
12. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
13. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Albuquerque

New Mexico 87103

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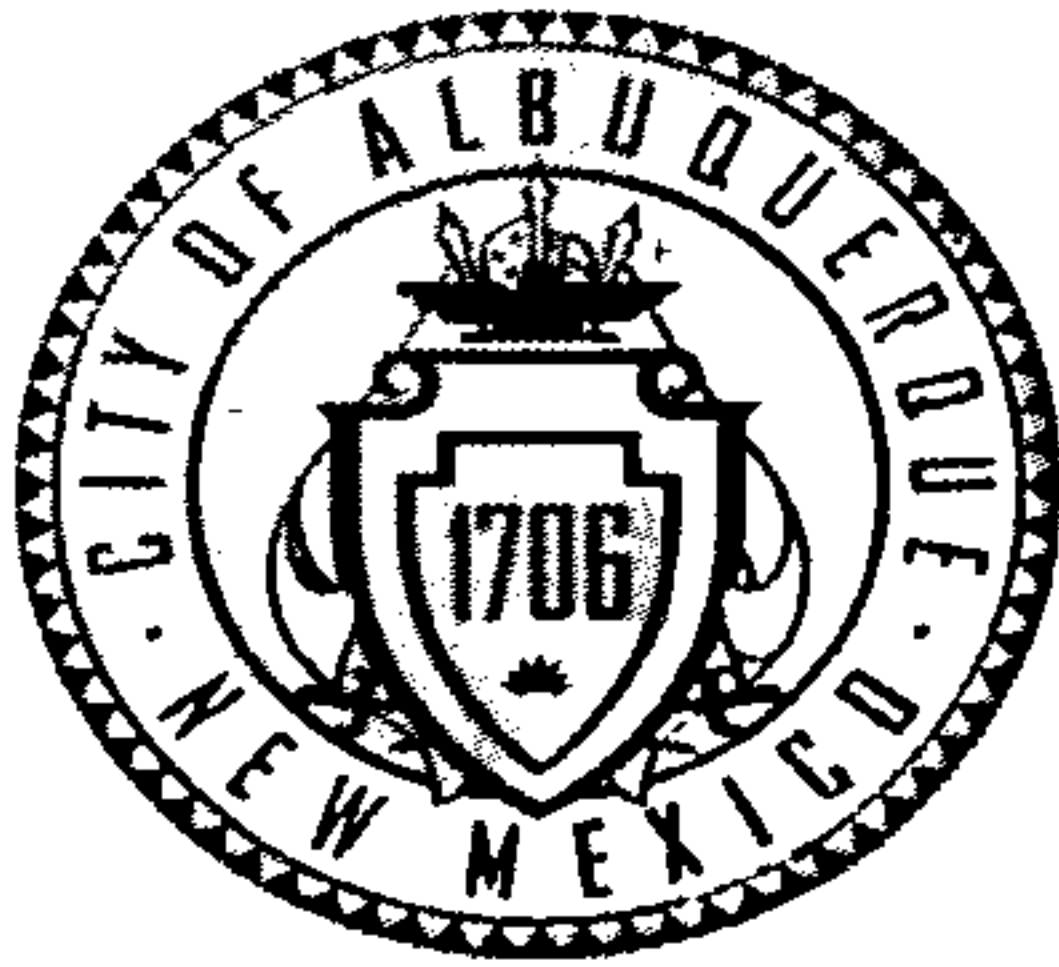
Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3660.

Sincerely,

John B. Gurulé, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LHM Jeep Dodge, Albuquerque Building Permit #: \_\_\_\_\_ City Drainage #: K19-0023

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot numbered Forty-six-A in Block Lettered "C", of BOSQUE REDONDO ADDITION

City Address: 909 Virginia St NE

Engineering Firm: Anderson Wahlen & Associates Contact: Arverd Taylor

Address: 2010 North Redwood Road, Salt lake City, UT 84116

Phone#: 801-410-8515 Fax#: 801-521-9551 E-mail: arverdt@awaeng.com

Owner: Miller Family Real Estate, L.L.C. Contact: Brad Holmes

Address: 9350 S. 150 E. Suite 1000, Salt Lake City, Utah, 84070

Phone#: 801-563-4236 Fax#: \_\_\_\_\_ E-mail: brad.holmes@lhm.com

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

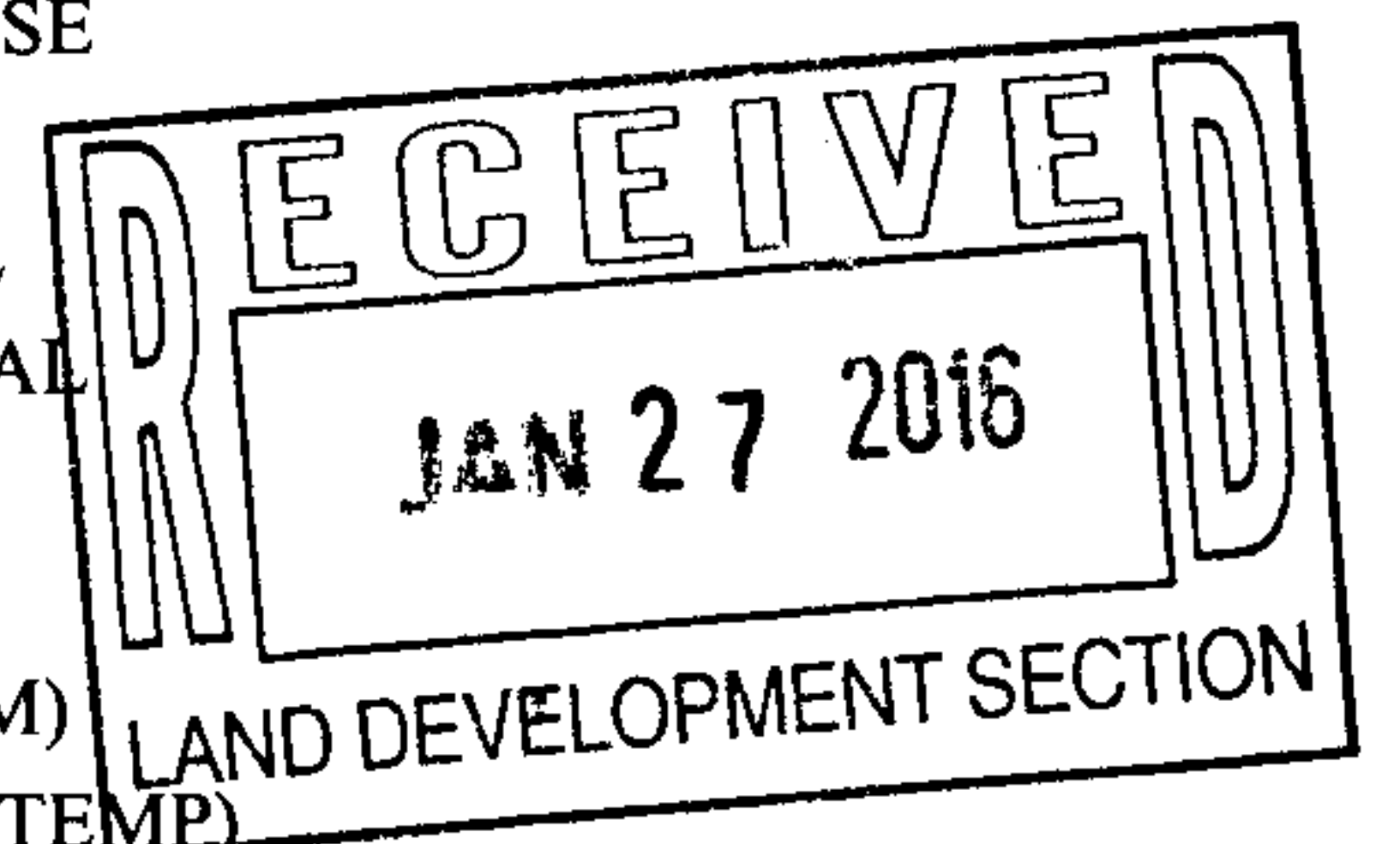
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development





**ANDERSON WAHLEN & ASSOCIATES**

January 25, 2016

City of Albuquerque  
Planning Department  
Development Review Services Division  
600 2<sup>nd</sup> St. NW, Suite 201  
Albuquerque, NM 87102

**RE: LHM Jeep Dodge Albuquerque**  
**909 Virginia St. NE, Albuquerque NM**

TCL Submittal Letter

Miller Family Real Estate group is proposing to construct a parking/inventory storage area at 909 Virginia St, which is across the street from the LHM Jeep Dodge car dealership and south of their existing display/inventory lot. This site is an existing professional office building which will be demolished and a new parking/inventory storage lot will be constructed. The site contains 0.998 acres, and has been rezoned to C-2.

The site will be an extension of the existing parking/inventory lot to the north. The existing parking/storage lot will be enlarged to include this parcel. There are four existing driveways along the west side of Virginia St, and the two middle driveways will be closed limiting the access to Virginia Street.

There are three existing lot owners to the west and south that have an easement to access the rear of their lots through this parcel. They will be able to continue to access their lots.

As the dealership grows this expansion will meet the need for additional parking/inventory storage.

We appreciate your consideration and review and please do not hesitate to contact us.

Sincerely,  
Arverd Taylor  
Senior Project Manager







## Legend

- Bernalillo County Parcels
- Primary Streets
  - Urban Principal Arterial
  - BN and SF Railroad
  - Freeway
  - Urban Minor Arterial
- Other Streets
- Municipal Limits
  - Corrales
  - Edgewood
  - Los Ranchos
  - Rio Rancho
  - Tijeras
  - UNINCORPORATED
- World Street Map

## Notes

0.0 0 0.01 0.0 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
2/1/2016 © City of Albuquerque

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