

CITY OF ALBUQUERQUE



April 13, 2016

Arverd Taylor
Anderson Wahlen & Associates
2010 N. Redwood Rd.
Salt Lake City, Utah 84116

**Re: LHM Jeep Dodge
909 Virginia NE
Traffic Circulation Layout**
Engineer's/Architect's Stamp dated 3-31-16 (K19-D023)

Dear Mr. Taylor,

The TCL submittal received 4-8-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Prior to the issuance of a permanent Certificate of Occupancy, the Transportation Department must receive a complete acceptable submittal package from the applicant including:

- Copy of the shared access/exit agreements for all adjacent properties that will be using the proposed parking lot for access to their properties.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: LHM Jeep Dodge Albuquerque. **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: 909 Virginia Street NE

Applicant: Anderson Wahlen & Associates **Contact:** Arverd Taylor
Address: 2010 N. Redwood Road, Salt Lake City, Utah, 84116
Phone#: 801-410-8515 **Fax#:** _____ **E-mail:** arverdt@awaeng.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☒ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____



RE: LHM Jeep Dodge Albuquerque
TCL City Review Comments
February 3, 2016

John B. Gurule P.E.,

The Site Plan has been changed. The proposed access on the southerly end will not be installed. The existing access to the existing smaller lot to the north will be used. There will be no additional accesses installed along Virginia St, but the two existing accesses to the existing office building will be closed.

The following revisions were made to the Traffic Circulation Layout submitted 1-27-16,
Comments:

Review comments:

Comment 1: List the number of parking stalls required by the zoning code as well as the proposed number of parking spaces.

Response: Information added to sheet C1.1, Site Data. The number of stall required is 0 and the number of stalls provided is 153 (for additional parking and inventory storage).

Comment 2: The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.

Response: Okay, each sheet stamped and signed.

Comment 3: Please identify and dimension sidewalks, curbs, drive pads, walls and anything that influences the parking and circulation on the site. Dimension the drive pad entrances to the proposed parking lot from Virginia St. and from the proposed entry at the northwest corner.

Response: Dimensions added to sheet C1.1.

Comment 4: Identify the right of way widths, medians, curb cuts, and street widths on Virginia St.

Response: Dimensions added to sheet C1.1, right of way is 85' north of our site and 72.5' along our site.

Comment 5: Please list the width for all parking spaces on the south side of the proposed parking lot.

Response: Dimension added to sheet C1.1, all parking stalls are 8.5' wide.

Comment 6: Provide detail of ADA ramps at sidewalks and curbs cut entrances off of Virginia Ave. Truncated domes are required at curb cut ADA ramps.

Response: The existing approach will remain to give access to the site. The existing approach has required ramps. See Sheet C1.1, Site Plan.

Comment 7: Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive isles. Please call this detail.

Response: Sheet C1.1 shows the curbs and the type. The curb details are on sheet C3.1, detail 1 and 6. A 24" Curb and Gutter is proposed for the south and west side of the paved area. And a rolled Curb and Gutter is proposed for the interior. The owner prefers Rolled Curb and Gutter because they don't scuff the tires of the new cars.
Also detail for the new curb along Virginia St. is added to plans. See Sheet C3.2, Detail 13, Albuquerque Standard Drawing 2415A.

Comment 8: Please provide a sight distance exhibit (see the Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance). Please call out this detail for the entrances/exits off of Virginia Ave.

Response: Sight distance exhibit, Clear Sight Triangle, is on sheet 3.1, detail 7. Sheet C1.1 shows the Clear Sight Triangles

Comment 9: Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.

Response: Note added to sheet C1.1, General Site Notes: note 4. (Clear Sight Triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.)

Comment 10: Please include a copy of your shared access agreement with the adjacent property owners.

Response: The owner is working with the adjacent property owners, will provide a copy of the agreement when the agreement is completed.

Comment 11: Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

Response: Sheet C0.1, Demolition Plan, shows the removal of the unused curb cuts and sidewalk to be removed. Sheet C1.1, shows the callouts for replacing the curb, gutter and sidewalk. Sheet C3.2, detail 11, Albuquerque Standard Drawing 2430 is the detail for the sidewalk. Sheet C3.2, detail 13, Albuquerque Standard Drawing 2415A is for the curb and gutter.

Comment 12: All Broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A Build note must be provided referring to the appropriate City Standard drawing.

Response: Note added to sheet C1.1, General Site Notes: note 5. (All broken or cracked sidewalk and curb & gutter must be replaced as per city standards.)

Comment 13: Please include two copies of the traffic circulation layout at the next submittal.

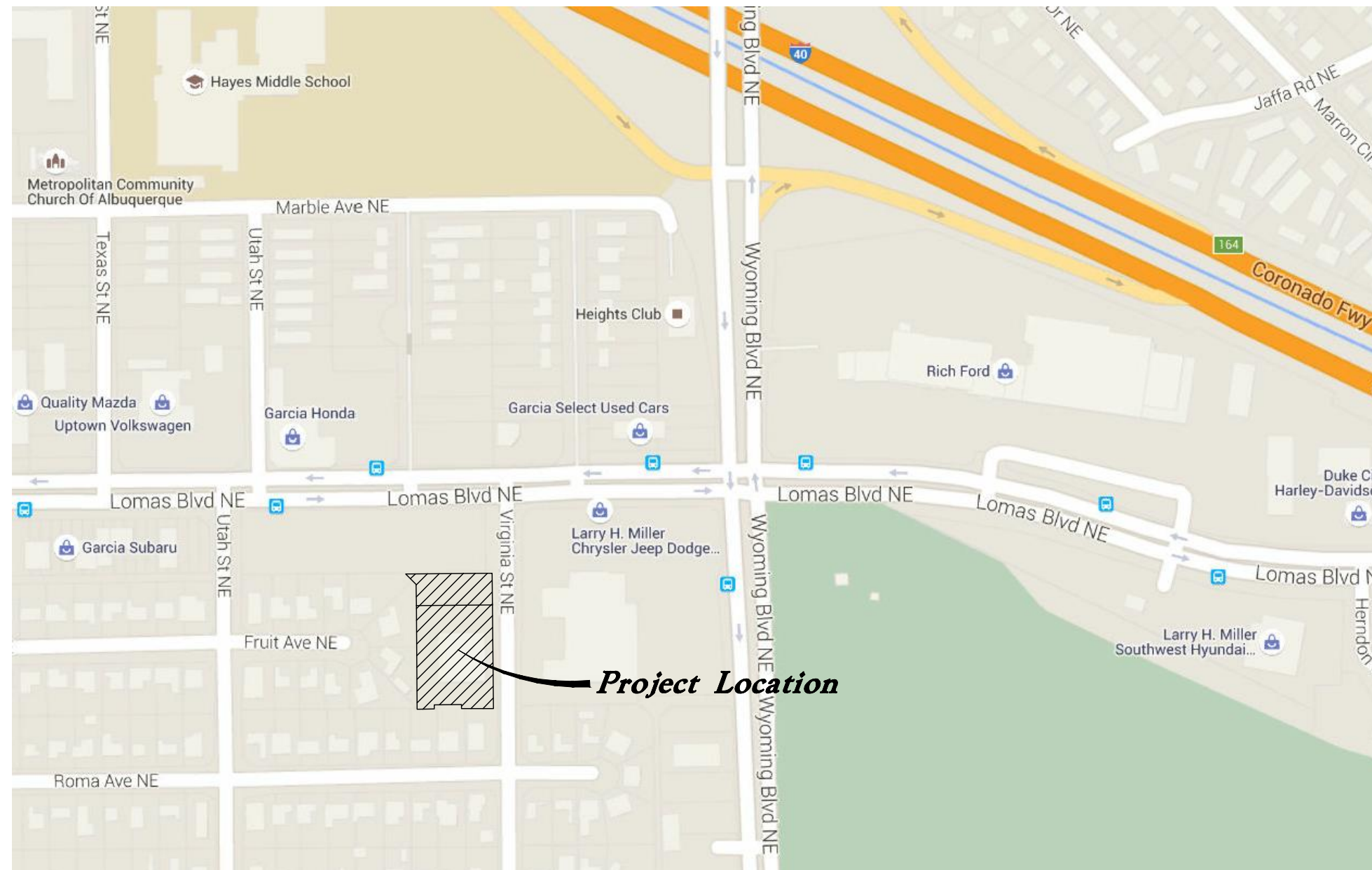
Thanks,

Arverd Taylor
Anderson Wahlen & Associates
801-410-8515

LHM Jeep Dodge Albuquerque

909 Virginia Street N.E.

Albuquerque, NM



Vicinity Map
Not to Scale

Abbreviations

BOL	Ballard	PP	Power Pole
BRW	Finish Grade — Bottom of Retaining Wall	PVC	Polyvinyl Chloride
CATV	Cable Television Box	RCP	Reinforced Concrete Pipe
CB	Catch Basin	RD	Roof Drain
CMP	Corrugated Metal Pipe	SB	Signal Box
COB	Cleanout Box	SD	Storm Drain
COTG	Cleanout to Grade	SDMH	Storm Drain Manhole
EA	Edge of Asphalt	SMH	Sanitary Sewer Manhole
EB	Electrical Box	SP	Signal Pole
ECAB	Electrical Cabinet	SS	Sanitary Sewer
EMH	Electrical Manhole	SVZ	Sight Visibility Zone
FH	Fire Hydrant	SW	Secondary Water
FL	Flowline	TA	Top of Asphalt
G	Ground	TB	Telephone Box
GB	Grade Break	TBC	Top Back of Curb
GM	Gas Meter	TG	Top of Grate
HB	Hose Bib	TMH	Telephone Manhole
I	Irrigation Line	TP	Top of Concrete
ICB	Irrigation Control Box	TRW	Finish Grade — Top of Retaining Wall
Lip	Lip of Gutter	TW	Top of Walk
LP	Light Pole	WL	Waterline
MH	Manhole	WP	Working Point
Mon	Monument	WV	Water Valve
PM	Power Meter		

Legend

Proposed Curb & Gutter	Existing Improvements	
Proposed Open Face C & G	Existing Asphalt	
Proposed Asphalt	Existing Concrete	
Proposed Concrete	Existing Inlet Box	
Proposed Truncated Domes	Existing Catch Basin	
Proposed Inlet Box	Existing Manhole	
Proposed Catch Basin	Existing Fire Hydrant	
Proposed Manhole	Existing Water Valve	
Proposed Transformer	Existing Overhead Power Line	
Proposed Meter Box	Existing Water	
Proposed Water Meter	Existing Secondary Water	
Proposed Combo Box	Existing Sewer	
Proposed Fire Hydrant	Existing Storm Drain	
Proposed Water Valve	Existing Gas	
Proposed Water Line	Existing Power	
Proposed Sanitary Sewer	Existing Telephone	
Proposed Storm Drain	Existing Fence	
Proposed Conduit Line	Flowline	
Proposed Power Line	Centerline	
Proposed Gas Line	Existing Contour	
Proposed Secondary Water Line	Existing Spot	
Proposed Roof Drain	Existing Light Pole	
Proposed Fence	Existing Street Light	
Ridge line	Existing Building	
Grade Break	Existing Telephone Box	
Proposed Contour	Existing Power Meter	
Direction of Drainage	Existing Electrical Box	
Proposed Spot	Existing Electrical Cabinet	
ADA Accessible Route	Existing Gas Meter	
Property Line	Existing Water Meter	
Sawcut Line	Existing Irri. Control Box	
Proposed Light Pole	Existing Bollard	
Proposed Street Light	Existing Hose Bib	
Proposed Building	Working Point	
Existing Power Pole	Existing Deciduous Tree	
Existing Power Pole w/ Guy		
Existing Utility Marker	Existing Coniferous Tree	
Existing Post		

Detail Number
Sheet Number

Civil Sheet Index

CV	Cover Sheet
1 of 1	ALTA Survey
C0.1	Demolition Plan
C1.1	Traffic Circulation/Site Plan
C2.1	Grading and Drainage Plan
C3.1	Details
C3.2	Details
C4.1	Erosion Control Plan - Phase I
C4.2	Erosion Control Plan - Phase II
C4.3	Erosion Control Details
L1.1	Landscape Plan
L2.1	Irrigation Plan
L3.1	Landscape & Irrigation Details

Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Bernalillo County, New Mexico Panel No. 35001C0358H dated August 16, 2012. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual floodplain." (No Shading)

Basis of Bearings

Bearings are New Mexico State Plane Grid (Central Zone) NAD 83 referenced to AGRS Station "17_K19". New Mexico State Plane Coordinates N=1487200.514, E=1548658.688, NAD 83 datum.

Benchmark

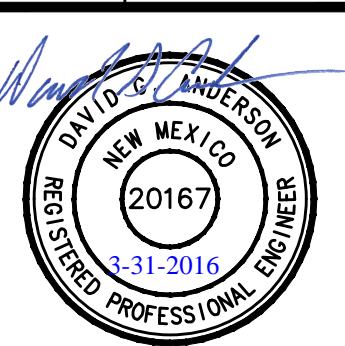
Elevations are referenced to "17_K19". Published elevation of station is 5344.389 ft, NAVD 88 datum.

Legal Description

Lot numbered Forty-six-A (46-A) and Forty-nine-A (49-A) in Block Lettered "C", of Basque Redonda Addition, to the City of Albuquerque, New Mexico, as the same is shown and designated on the Summary plat of Lot 46-A and Forty-nine-A, Block "C" filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 15, 1982, in Plat Book A8, Folio 120.

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801-521-6529 - andersonwahlen.com

Cover Sheet
LHM Jeep Dodge Albuquerque
909 Virginia Street N.E.
Albuquerque, NM



31 Mar, 2016

SHEET NO.

CV

AGRS STATION "17_K19"
NM STATE PLANE COORDINATES
N=1487200.514, E=1548658.688
CENTRAL ZONE (NAD 83)
G-G FACTOR: 0.999657877
MAPPING ANGLE: -0°10'34.73"

LOT 49-A, BLOCK C,
BOSQUE REDONDO ADDITION
FILED 3/30/1999, BK. 99C, PG. 69
OWNER: BOSQUE REDONDO DEV. CORP.
C/O JAMES W. ROGERS

ALTA/ACSM Land Title Survey
Lot 46-A, Block C,
BOSQUE REDONDO ADDITION
Section 19, T.10N., R.4E., N.M.P.M.
City of Albuquerque
Bernalillo County, New Mexico

PROPERTY ADDRESS: 909 Virginia Street NE, Albuquerque, New Mexico

LEGAL DESCRIPTION:
Lot numbered Forty-six-A (46-A) in Block Lettered "C", of BOSQUE REDONDO ADDITION, to the City of Albuquerque, New Mexico, as the same is shown and designated on the The Summary plat of Lot 46-A, Block "C" filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 15, 1982, in Plat Book A8, folio 120.

- NOTES:
- Distances shown hereon are horizontal ground distances in feet.
 - Bearings are New Mexico State Plane Grid (Central Zone) NAD 83 referenced to AGRS Station "17_K19". NM State Plane Coordinates N.=1487200.514, E.=1548658.688, NAD 83 datum.
 - Record measurements are shown in parenthesis (), where record dimensions differ from measured dimensions.
 - Corners shown thus " " are set #4 rebar w/cap stamped "G. Gritsko, PS 8686", unless otherwise noted.
 - Flood Note: The property shown hereon is located in Zone X, areas determined to be outside the 0.2% annual chance flood plain according to the Flood Insurance Rate Map of Bernalillo County, New Mexico, Panel No. 35001C0358H, effective date: August 16, 2012
 - The site is currently zoned O-1 (Office and Institutional Zone) and P (Parking Zone).
 - This was no observed evidence of current earth moving work, building construction or building additions.
 - There was no observed evidence of site use as a solid waste dump, sump or sanitary landfill.
 - Parking data: There are 76 standard spaces and 3 disabled spaces, as marked and striped.
 - Documents used to determine boundary:
 - First American Title Insurance Co. commitment No. 5011635-2050496-AL01, dated 6/29/2015.
 - Plat of Bosque Redondo Addition filed 1/15/1982 in Bk. A8, page 120.

EASEMENTS:
per Schedule B-II of First American Title Insurance Co. commitment dated June 29, 2015 [item #]:

- [11]. Reservations contained in the patent from United States of America, recorded in Book 22, page 284. AFFECTS SUBJECT PROPERTY, NOTHING PLOTTED
- [12]. Utility and Access Easement(s) reserved across the insured land, as shown on the recorded plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 15, 1982, in Plat Book A8, Folio 120. AFFECTS SUBJECT PROPERTY, PLOTTED
- [13]. Easements reserved by the City of Albuquerque, in Vacation Ordinance No. V-81-22, filed April 7, 1982, in Book Misc. 922, page 158, as Document No. 8218277, and by Quitclaim Deed, filed April 15, 1982, in Book D161A, page 107, as Document No. 8219507, records of Bernalillo County, New Mexico. AFFECTS SUBJECT PROPERTY, PLOTTED.

ENCROACHMENT NOTES:

- Freestanding sign encroaches into the Virginia Street public right of way.

SURVEYOR'S CERTIFICATE:

To: Miller Family Real Estate, L.L.C.,
To: CBRS, LLC,
To: First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS in 2005, and includes Items 1, 2, 3, 4, 6(a), 7(a), 7(b)1, 7(c), 8, 9, 11(a), 13, 14, 16 and 18 of Table A thereof. I further certify that this map or plat and the survey on which it is based were made in accordance with the Minimum Standards for Surveys in the State of New Mexico in effect at the time of this certification, and this plat and survey are true and correct to the best of my knowledge and belief. The field work was completed on June 30, 2015.

Date of certification: July 14, 2015

Gary E. Gritsko, N.M. Professional Surveyor No. 8686



ALPHA PRO SURVEYING LLC.
1436 32ND CIRCLE SE, RIO RANCHO, N.M. 87174
PHONE (505) 892-1076 ALPHAPROSURVEYING.COM
DRAWN BY: CS FILE No.:15-148

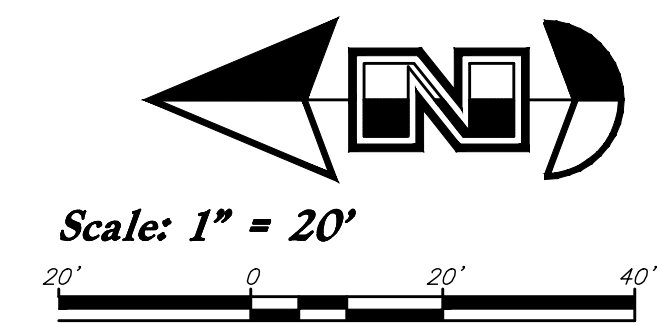
SYMBOLS LEGEND

- ☆ = LIGHT POLE
- = POWER POLE
- OHU- = OVERHEAD UTILITY LINE
- GAS- = UNDERGROUND GAS LINE
- SEWER- = UNDERGROUND SEWER LINE
- WATER- = UNDERGROUND WATER LINE
- = ANCHOR
- ⊙ = SEWER MANHOLE
- ⊠ = WATER METER
- ⊠ = WATER VALVE
- ⊠ = TRANSFORMER
- ⊠ = DUMPSTER
- ⊠ = GAS METER
- ♿ = HANDICAP PARKING SPACE
- = WALL
- x- = FENCE
- ➔ = TRAFFIC FLOW

SCALE: 1" = 20'

0 20 40

LINE TABLE		
LINE	LENGTH	BEARING
L1	10.00	N00°52'38"W (N00°41'00"W)
L2	10.00	S00°40'17"E (S00°41'00"E)



1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
2. Refer to site improvement plans for more details on limits of removal.
3. All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain pipes and structures to be cleared from site unless otherwise shown.
4. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
5. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-78. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
6. Clear and grub trees, shrubs, and vegetation within construction limits, disposal to be off-site except where noted otherwise.
7. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
8. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
9. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where measurements taken in the field, the information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
10. Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
11. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
12. Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
13. Install traffic warning devices as needed in accordance with local standards.
14. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
15. Demolish existing buildings and clear from site. (Including removal of all footings and foundations.)
16. If ASBESTOS is found in existing structures, the Asbestos must be removed in a legal manner by a contractor licensed to handle asbestos materials. (Not a part of contract)
17. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of soil materials or contaminated soil.
18. Replace curb and sidewalk stones to the nearest joint.

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

New Mexico One Call, Inc.
NMOC
 Professional Resources for Damage Prevention
1-800-321-ALERT

[illegible]

Designed by: JT
Drafted by: GRW
Client Name:
Miller Family Real Estate
15-079 DM

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801 521-8529 - AWAengineering.net

Demolition Plan

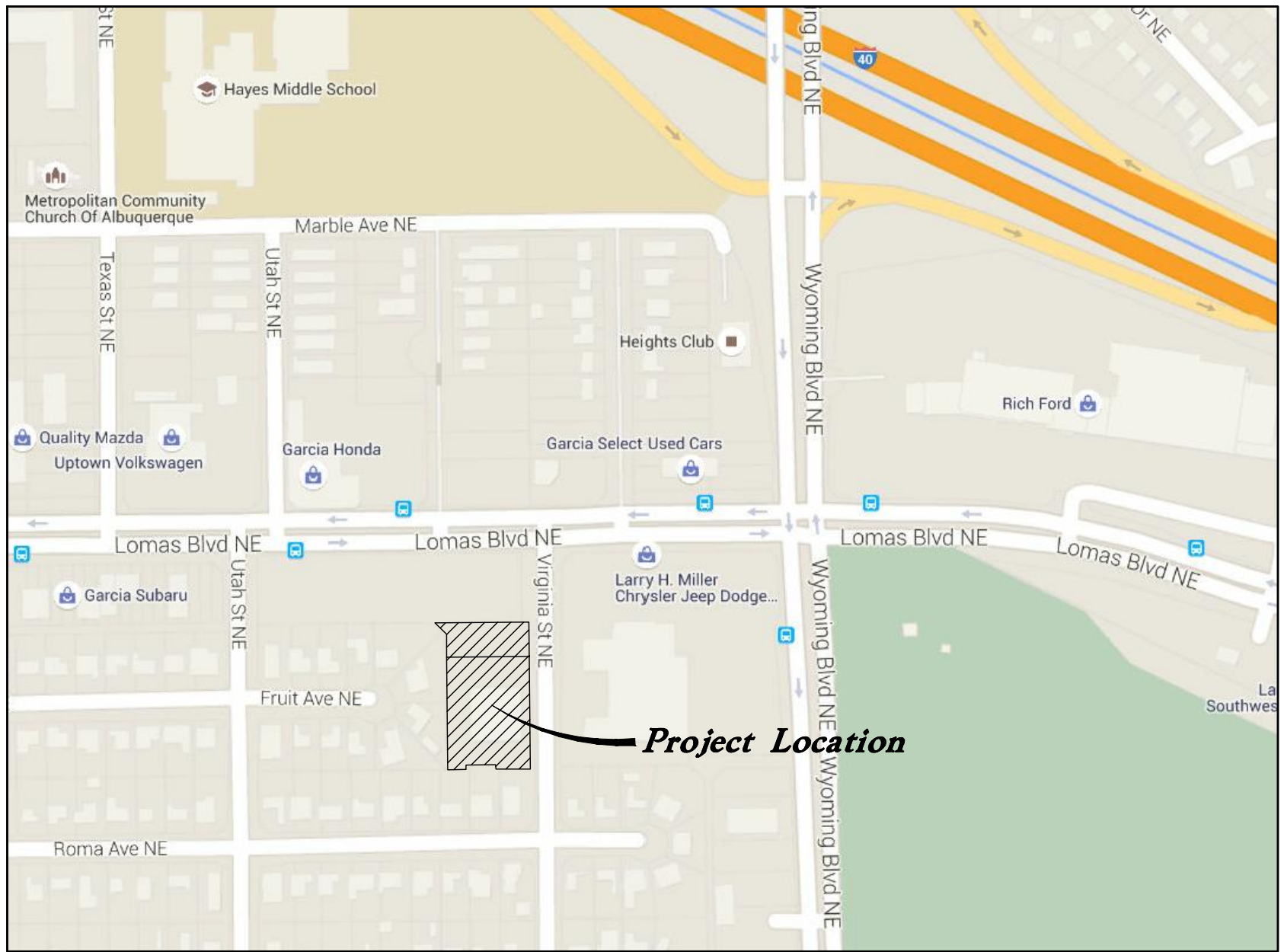
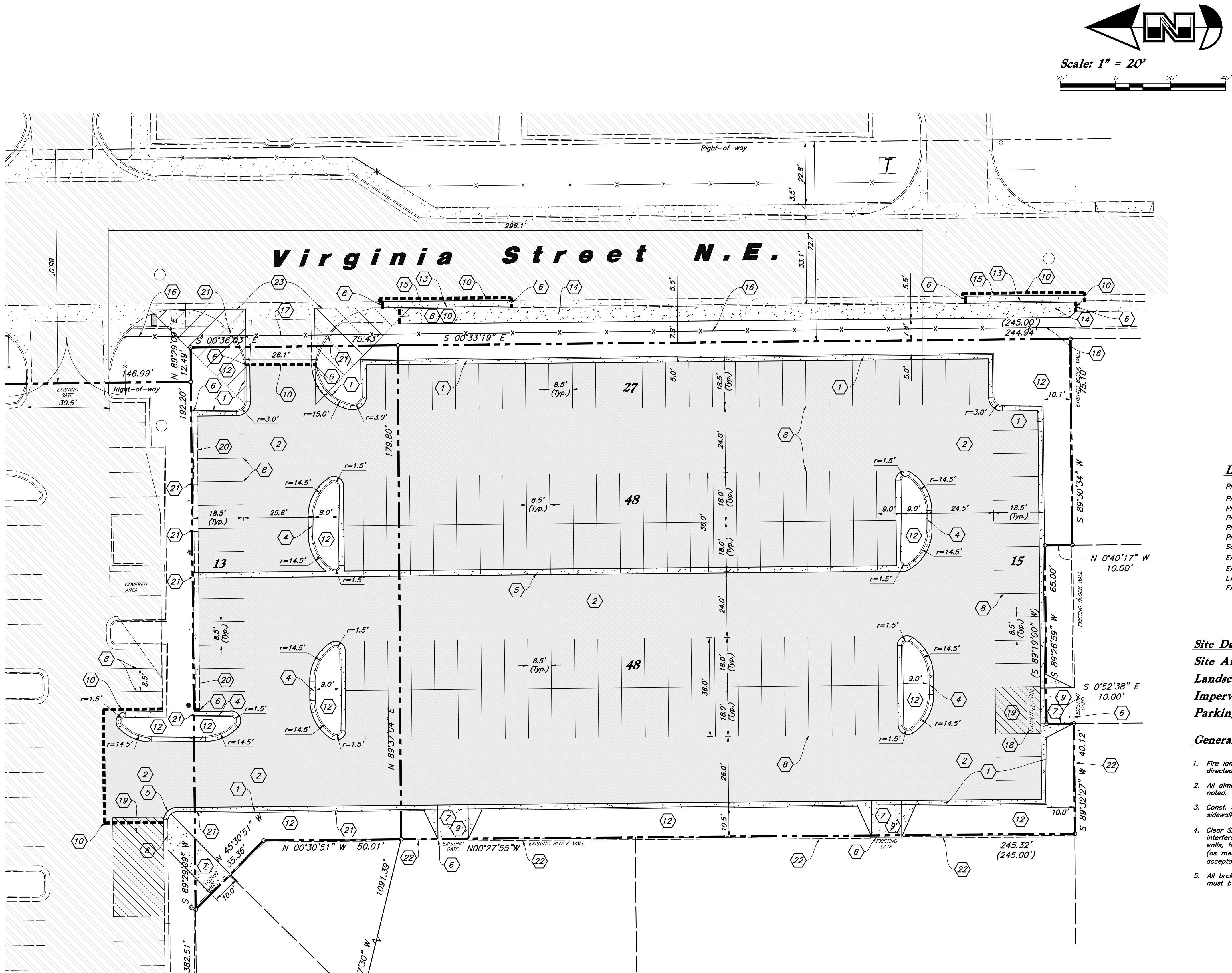
LLHM Jeep Dodge Albuquerque
909 Virginia Street N.E.
Albuquerque, NM

31 Mar, 2016

SHEET NO.

CO.1

W:\15-079 LHM Albuquerque\dwgs\15-079 SP.dwg, 3/31/2016 9:53:54 AM, 1:1, DWG



Vicinity Map Zone Atlas Page K-19

909 Virginia Street N.E.
Albuquerque, NM 87107
Not to Scale

Legal Description

Lot numbered Forty-six-A (46-A0 in Block Lettered "C", of Bosque Redondo Addition, to the City of Albuquerque, New Mexico, as the same is shown and designated on the Summary plat of Lot 46-A, Block "C" filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 15, 1982, in Plot Book A8, folio 120.

Legend

Proposed Curb & Gutter	
Proposed Heavy Duty Asphalt	
Proposed Asphalt	
Proposed Concrete	
Proposed Fence	
Property Line	
Sawcut Line	
Existing Improvements	
Existing Asphalt	
Existing Concrete	
Existing Fence	

Site Data

Site Area = 57,956 s.f. (1.33 ac.)
Landscape Area Provided = 10,302 s.f. (17.8%)
Impervious Area Provided = 48,523 s.f. (83.7%)
Parking Provided = 151 stalls

General Site Notes:

- Fire lane markings and signs to be installed as directed by the Fire Marshall.
- All dimensions are to back of curb unless otherwise noted.
- Const. curb transition at all points where curb abuts sidewalk, see detail.
- Clear Sight Triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
- All broken and cracked sidewalk and curb & gutter must be replaced as per city standards.

Site Construction Notes

- Const. 24" Curb & Gutter (C3.1)
- Const. Asphalt Paving (C3.1)
- Not Used
- Const. 24" Rolled Curb & Gutter (C3.1)
- Const. 2" Conc. Waterway (C3.1)
- Conn. & Match Existing Improvements (To Nearest Joint)
- Const. Conc. Paving (C3.1)
- Const. 4" White Paint Stripe (Typ.) (C3.1)
- Const. Flared Drive Approach per Albuquerque Std. Dwg. 2425 (C3.1)
- Sawcut; Provide Smooth Clean Edge
- Not Used
- Landscaping (See Landscape Plan)
- Const. Conc. Curb & Gutter per Albuquerque Std. Dwg. 2415A (C3.2)
- Const. 5.5" Conc. Sidewalk (Match Existing) per Albuquerque Std. Dwg. 2430 (C3.2)
- Const. Asphalt Paving per Albuquerque Std. Dwg. 2405B (C3.2)
- Const. 6" Wrought Iron Fence to Match Exist. Across Street
- Const. (2) 18" Rolling Gates (Coordinate with Electrical Contractor for power to gate)
- Const. Striping for "No Parking"
- Const. 4" White Paint Stripe @ 45' 2' Spacing
- Existing Curb & Gutter
- Const. 24" Curb Opening (C3.1)
- Const. Block Wall with Stucco to Match Existing Block Wall to North (by Dealership Parking Area) (Varies, depending on Condition of Existing Block Wall - Height to be Uniform)
- Clear Sight Triangle (C3.1)

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

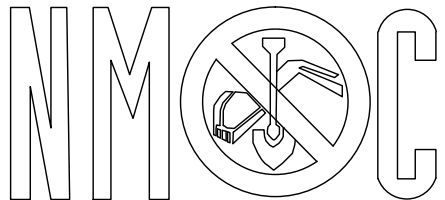
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Accessible Note:

Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately. The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the (ICC/ANSI A117.1-Latest Edition) and/or FHAA.

New Mexico One Call, Inc.



Traffic Circulation/Site Plan

LHM Jeep Dodge Albuquerque

909 Virginia Street N.E.
Albuquerque, NM

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801-521-8529 - alw@andersonwahlen.com

Designed by: JT
Drafted by: GRW
Client Name:
Miller Family Real Estate
15-079 SP

31 Mar, 2016

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